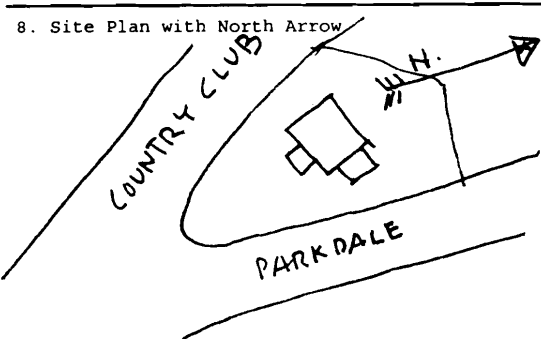


HISTORIC INVENTORY

1. No. SLAS039 - 0200		4. Present Name(s) Merritt, Burdell A. and Mary Beth, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Dvorak, John J. and Dollie, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4501 Parkdale Drive -- Lot 1, Block 26		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1946-1949	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Cape Cod	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Merritt, Burdell A. and Mary Beth	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable - composition shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick-now painted	
		35. Plan Shape rectangular+wing	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, brick house has a new architectural shingle roof and the brick has been painted white. The façade is divided into three vertical divisions with gabled dormers over the outer bays. The side walls of the dormers are also clad in the shingles, but the face appears to be vinyl siding, but it retains the 6 x 6 wood sashed window in each dormer. Centered below, is a pedimented entry with the pediment through the cornice and incorporating the porch light. There are pilaster strips and a narrow entablature below the pediment and around the door, which is a painted wood, 6 panel door. There is a shallow flagstone stoop. To the west of the entry is a canted bay window with a hipped, shingled roof. There is a 1 x 1 aluminum sashed window on each facet of the bay and wood clapboard siding below the window sills. To the east of the entry are two 6 x 9 wood sashed windows. There is a projecting brick stringcourse that forms the base of the entablature under the cornice and aluminum gutters. On the west elevation there are paired 6 x 6 wood sashed windows on the upper level and a similar 6 x 6 wood sashed window on the first floor behind a replacement, larger, 1 x 1 aluminum sashed window. On the east elevation, there is a large, brick, end wall chimney with a brick banded cap. Behind the chimney there is a triple casement window on the upper level. Overlapping the chimney is the one story, side gabled, enclosed sun porch wing that appears to have always been enclosed with the 5 light steel casement windows (6 on the façade) and two sets of four casements on the north end. This frame sun porch appears to be clad with wider wood clapboards. Under the sun porch is an original, 2 car, basement level garage with its original wooden overhead door. An aluminum storm door and aluminum storms windows have been added in recent years. Although the brick has been painted and a few windows replaced without multipaned sashes, the other details of the original design are still intact and it appears that the new roof is a replacement of a similar, original composition shingle roof.

43. History and Significance

Although the assessor estimated the year built as 1932, this Cape Cod style house does not appear in the city directory through 1946. It is first listed in the next directory in 1949 as the home of John J. and Dollie Dvorak. He was a druggist in St. Louis. By 1955, she alone is listed at this address. This is a good example of the 1.5 story cottage variant of Colonial Revival, known as Cape Cod, a very popular style in the mid-twentieth century. As is characteristic of this style, there are gabled dormers and a central, pedimented entry, multipaned windows, and a sun porch wing on the side. Although some of the windows have been replaced with 1 x 1 aluminum sashed windows, most of the multipaned windows on the façade are still intact. The brick has been painted white, which also impacts the historic integrity, but the basic house retains its original forms and features and it is still contributing to the historic district.

44. Description of Environment and Outbuildings

The lot is triangular at the Y intersection of Country Club Drive and Parkdale, with the house facing south into the intersection with the driveway entering the property near the east end of the lot, cut into the ground to access the basement level garage under the sun porch wing. There is a winding sidewalk from the entry to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

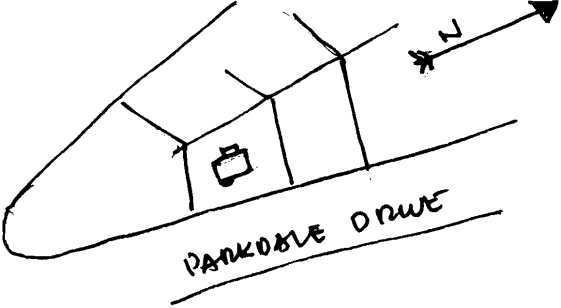
48. Date 49. Revision Dates

Aug. 2002

4501 Parkdale
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0201		4. Present Name(s) Swiney, Lewis B. Jr. and Mary V., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Cummins, Bury L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4515 Parkdale Drive -- P2, Block 26		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1946-1949	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material Concrete
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable - Comp. Shingles
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment multicolored brick, limestone acc
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Swiney, Lewis B. Jr. and Mary V.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, multicolored (red, tan brown) textured brick house has a composition shingle roof that is medium grays in color. This might be the original roof, given the age of the house, but more likely it is a replacement of a slate roof. It has copper gutters and downspouts, and decorative collector boxes (one visible on the façade just south of the vestibule. Although the foundation is concrete, rock faced ashlar limestone is used to accent the façade as the base of the bay window and at the base of the vestibule. The façade is divided into three vertical bays, with paired, 6 x 6 wood sashed windows on the north end. The middle bay is a slightly projecting one story gabled vestibule that has a round arched entry that is outlined with rock faced limestone quoining. Above the arched opening is what appears to be the original porch lantern. The side walls of the vestibule form short wing walls of rock faced ashlar limestone, which also forms the base of the vestibule. The south bay has a two story cross gable with a 6 x 6 wood sashed window on the second floor with basket weave brick above in the gable end. At the base of this window sill is the top of the standing seam, metal roofed, canted bay window that has an 8 x 8 wood sashed window flanked by 4 x 4 wood sashed windows. The door is a round arched wood plank door and there is a broad concrete stoop with two concrete steps and the original iron railings which curve out on each side. On the south side of the house is a concrete patio and another distinctive collector box near the façade. There is an end wall chimney through the roof that has a broad brick band cap. There are multipaned, sashed window near the façade and behind the chimney there are paired 6 x 6 wood sashed windows on the second floor with a side entry, multipaned, wood paneled door. Behind the door are two, small wood casement, stained glass windows. On the north side, there are multipaned sashed windows, one near the front and back on the first floor as well as paired on the second floor. Between, there is a paired, diamond pattern, stained glass, wood casement window. Near the façade, in the basement level of the north elevation there is a one car garage with its original wood paneled overhead door.

43. History and Significance

Although the assessor estimated the year built as 1939, this house was not listed in the city directories until 1949 as the home of Bury L. Cummins. By the time the next directory was published in 1953, and again in 1955, this house was vacant, a rarity in Pasadena Hills at this time where housing was at a premium after World War II. This is a nice example of a Tudor Revival cottage, one that utilizes a number of the distinctive decorative details associated with this style. It has multicolored brick, rock faced limestone accents, a round arched entry, a wood plank door, overlapping and asymmetrical gables, wing walls, and multipaned windows. The Tudor Revival style was the most popular choice for a residential style in the development of Pasadena Hills and while this is one of the smaller homes, it retains a high degree of integrity, even retaining its original splayed iron railings on the entry stoop.

44. Description of Environment and Outbuildings

The lot faces southeast onto Parkdale Drive. There is a driveway that enters the property near the north end that turns to the south and is cut into the ground to access the basement level, one car garage with concrete retaining walls below grade. There is a Y shaped, concrete sidewalk that curves from the front entry to the steps by the street and also connects near the head of the sidewalk to extend to the south side of the house to the patio, which probably is original to the design since there is a side entry door.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

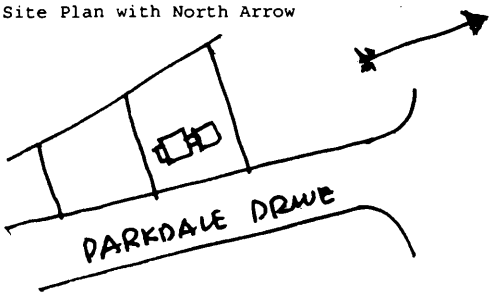
48. Date 49. Revision Dates

Aug. 2002

4515 Parkdale
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS0351 - 0202		4. Present Name(s) Mulqueeny, Michael T. House	
2. County St. Louis		5. Other Name(s) HISTORIC: Clark, Joseph W. and Hazel, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4523 Parkdale -- Lot 3, Pts. 2, 4, 5, Block 26		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1946-1949	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Cape Cod	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Mulqueeny, Michael	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Side gabled, comp.shingles	
		33. No. of Bays FRONT 1+3+2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #421) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, multicolored (red, charcoal, dark red) brick house has a gray composition shingle roof with copper gutters and boxed cornices that have been wrapped with aluminum. Given the age of this house, the original roof on this house could have been composition shingles as well, but there is no current documentation to determine whether or not the roof was originally slate or composition shingles. The façade is divided into three vertical bays, with gabled dormers in each outer bay. There are end wall chimneys on both sides of the house, although the one on the north end is smaller and both now have metal chimney caps. On the south end of the house there is a one story, side gabled, sun porch wing and on the north end there is a side gabled, brick breezeway connecting to the end gabled, two car, brick garage. The entry, located in the center bay, has a one story, gabled, carved timber porch that rests on the concrete slab stoop which has one concrete step. The door is a rectangular, stained oak, wood plank door with a small rectangular light and a limestone sill. The dormers have brick facades that merge with the lower level facades, breaking through the cornices and gutters. The back portion of each side of the dormer walls is narrow clapboard and the windows are 6 x 6 vinyl sashed replacement windows. The bay to the north of the entry a 12 x 18 vinyl sashed window with a flat limestone lintel. The bay to the south of the entry has a canted bay window with a standing seam copper roof, brick walls below the sills and a 12 x 18 vinyl sashed window flanked by 6 x 9 vinyl sashed windows. Although the photographs show a wood framed and screened porch with stained wood vertical board siding below the sill line, as well as narrow wood clapboards in the gable end, this is now a vinyl siding enclosed room completed in recent months. The breezeway has brick walls below the sills and a bank of four 18 light sliding vinyl windows. This connects to the garage which has a circular frieze with basket weave brick centered above the garage door. The two car wood paneled door with glass lights in the upper row appears to be the original door and it has a soldier course brick lintel with a projecting brick cap. On the north elevation of the garage there is a multipaned, sashed window. Although the sun porch has been enclosed, vinyl siding closely approximates the clapboard material already utilized in the gable end and the replacement vinyl windows were selected with the intention of maintaining the multipaned appearance of the original windows.

43. History and Significance

Although the assessor estimated the year built as 1940, this house is not listed in the city directory until 1949, making it more likely that it was completed between 1946 and 1949. In 1949, Hazel Nannie is listed at this address, but is not identified as the owner. Some of the initial occupants of houses in Pasadena Hills were associated with the construction of the home rather than being the first home owners, which may be the case here as well. It may be just a coincidence, but the next directory lists the owners, Joseph W. and Hazel Clark as the occupants and it is possible that this is the same Hazel. Joseph Clark owned the Clark Funeral Home in St. Louis. This is an unusual house, that mixes the features associated with the two most popular styles used in Pasadena Hills development, Colonial Revival and Tudor Revival. The basic shape of the house, side gabled with dormers and side wings (including a breezeway attachment to a garage) is basically a Cape Cod variation of the Colonial Revival style, but the carved, timber, gabled, one story vestibule and a wood plank door are features normally only seen on Tudor Revival houses. Although the windows have been replaced with vinyl sashed windows, the muntin pattern seems to closely match the original windows, and (since the photographs were taken) the sun porch wing on the south elevation has been enclosed with vinyl siding as well. Even so, this house retains its original configuration and basic elements, and as such is still contributing to the historic character of the district. Even though this is one of the few houses in Pasadena Hills with a façade garage entry, the land was sloped to make the driveway at a lower level, camouflaging it in the streetscape, an important consideration in this commuter suburb that depended on the automobile for its development, but wanted to minimize the visual impact of garages on the facades.

44. Description of Environment and Outbuildings

The lot faces southeast onto Parkdale Drive with a façade garage entry to the two car, attached garage. There is a concrete sidewalk that angles from the front entry to a step at the public sidewalk.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

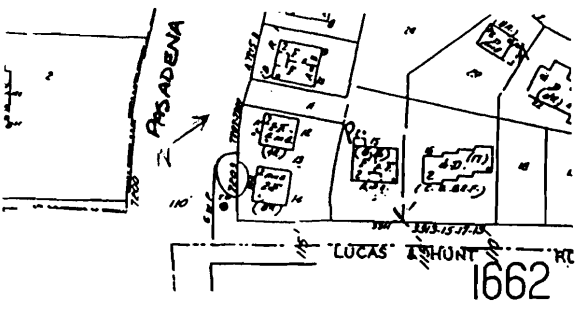
48. Date 49. Revision Dates

Aug. 2002

4523 Parkdale
Pasadena Hills



HISTORIC INVENTORY

1. No. SLA-029 - 0203		4. Present Name(s) Grimes Apartment Building	
2. County St. Louis		5. Other Name(s) HISTORIC: Hartnett Apartments	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7201-7203 Pasadena Blvd. -- Pt13, L14, Block 3		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1955	
8. Site Plan with North Arrow 		18. Style or Design Modernistic	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Apartments	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Grimes, Lucille C., 3935 Canterbury Dr., Pasadena Hills, MO 63121	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction loading bearing masonry-brick	
		32. Roof Type, Material Hip - comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, low pitched, hipped roof, two family apartment building has a composition shingle roof, which was apparently the original roofing material as well, based upon the fire insurance maps. The boxed cornice is finished with the copper gutters and the form the lintels for the upper floor windows. The brick walls are a blend of red, charcoal and tan brick and the foundation is poured concrete. There are flanking end wall, brick chimneys, each with a broad brick banded cap that has a stringcourse near the top. There is also a projecting brick stringcourse that forms a continuous sill on the second floor windows. The façade is divided into three bays with paired, 2 x 2 wood sashed windows (with horizontal lights) on the second floor on either side of the center window that has 12 lights in three vertical rows (horizontal panes as well). On the first floor, there is another pair of 2 x 2 wood sashed windows on the west side of the entry and a picture window with narrow 2 x 2 wood sashed windows flanking the plate glass window to the east of the entry. Both first floor façade windows have a soldier course lintel with a projecting dentil cap. The entry has a flat roof canopy that spans the width of the bay and is supported by decorative wrought iron columns resting on a concrete slab floor. The entry door is painted, wood, with three stacked horizontal panels. Windows on the other elevations are similarly patterned and there are two, 1 car garages in the basement level with wood overhead doors on the rear basement elevation. The only visible alterations to the building has been the addition of aluminum combination storm windows and a full view storm door.

43. History and Significance

There are plans for this two family apartment building on file in city hall, dated 1955 (as well as additional plans, not dated, for this corner location), designed (in both cases) by Julius E. Tarling, the most popular architect in the development of Pasadena Hills, with numerous commissions throughout the community. This particular block of apartments includes a cluster of his designs. In fact, this building is a near mirror image of the apartment building to the west and the one at 7229 Pasadena Blvd., which he also designed, except that this building has a flat canopy instead of a gabled roof on the entry, a slightly different color brick, and a plate glass rather than multipaned window. This is a good example of the use of Modernistic stylistic influences, often known as Streamline Modern, but adapted to a more conservative audience. It utilizes a series of horizontal and rectangular forms, such as banks of windows, the continuous sill course, the banding on the chimney, the low profile of the hipped roof, the flat canopy on the front entry, the horizontal lights in the windows and the stacked rectangular panels on the entry door. The use of a picture window and the decorative wrought iron porch posts are also post-war modern features that were popular on a variety of styles. Although the assessor estimated the year built as 1953, based upon the plans, this apartment building was built around 1955. The building is not listed in the 1955 directory, because it was not finished when the directory was canvassed. It is first listed in the 1957 directory. The two apartments in this building were initially occupied by the owner, a stockbroker, William H. and Lillian Hartnett and by Mrs. Mildred Koprivica, who worked or operated a Tasty Freeze, but she is only listed in the 1957 directory and that apartment was vacant in 1958 before being occupied by William and Olinda Hehmann. Even though this building is not yet 50 years old, it utilizes stylistic features and details that are characteristic of the later, post-war development of the community, and it is one of the designs of Julius Tarling. For both reasons, this building is already considered a contributing building to the district, prominently located along the entrance boulevard.

44. Description of Environment and Outbuildings

The lot is basically level across the façade, but the back yard slopes downhill. The building faces south onto Pasadena Boulevard. There is a straight, concrete sidewalk from the public sidewalk to the front entry. There is a concrete driveway cut into the ground along the west elevation that extends back to access the basement level, two car garage on the rear of the building.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

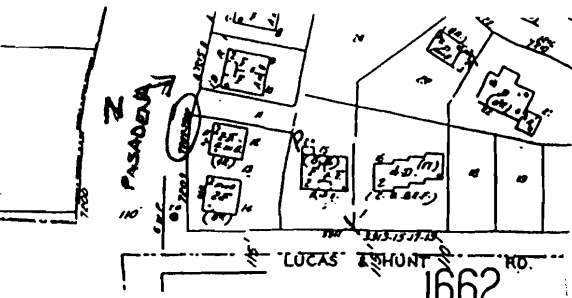
48. Date 49. Revision Dates

Aug. 2002

7201-7203 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0204		4. Present Name(s) Apartment Building	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7207-7209 Pasadena Blvd., -- P13, L12, Block 3		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1954	
8. Site Plan with North Arrow		18. Style or Design Minimal Traditional	
		19. Architect or Engineer Julius E. Tarling	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Apartments	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Apartments	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Walker, Willie and Yuri N., 4387 Varano Dr., Florissant, MO 63033	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction loading bearing masonry-brick	
		32. Roof Type, Material Hipped, comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, low pitched, hipped roof, two family apartment building has a composition shingle roof, which was apparently the original roofing material as well, based upon the fire insurance maps. The boxed cornice is finished with the copper gutters and the form the lintels for the upper floor windows. The brick walls are a blend of red, orange, tan and charcoal brick and the foundation is poured concrete. There are flanking end wall, brick chimneys, each with a broad brick banded cap that has a stringcourse near the top. There is also a projecting brick stringcourse that forms a continuous sill on the second floor windows. The façade is divided into three bays with paired, 2 x 2 wood sashed windows (with horizontal lights) on the second floor on either side of the center window that has 12 lights in three vertical rows (horizontal panes as well). On the first floor, there is another pair of 2 x 2 wood sashed windows on the east side of the entry and a triple window with narrow 2 x 2 wood sashed windows flanking a wide, fixed sash with 9 lights above a horizontal light across the bottom (which looks like it might have held a window air conditioner) to the west of the entry. Both first floor façade windows have a soldier course lintel with a projecting dentil cap. The entry has a shallow, end gable roof canopy that spans the width of the bay and is supported by decorative wrought iron columns resting on a concrete slab floor. The entry door is painted, wood, with two raised molding panels, the taller one is longer. Windows on the other elevations are similarly patterned and there is a two car garage in the basement level with a wood overhead door on the rear basement elevation. The only visible alterations to the building has been the addition of aluminum combination storm windows and a full view storm door, except that the multipaned fixed light window probably had muntins removed from the bottom row.

43. History and Significance

There are plans for this apartment building on file in city hall, dated 1954, designed by Julius E. Tarling, the most popular architect in the development of Pasadena Hills, with numerous commissions throughout the community. This particular block of apartments includes a cluster of his designs and this building is a near mirror image of the apartment building he designed to the east, except for a slight variation in the brick, a gabled canopy on the entry porch, and a multipaned fixed window, instead of a plate glass window. This is a good example of the use of Modernistic stylistic influences, often known as Streamline Moderne, but adapted to a more conservative audience. It utilizes a series of horizontal and rectangular forms, such as banks of windows, the continuous sill course, the banding on the chimney, the low profile of the hipped roof, the horizontal lights in the windows and the stacked rectangular panels on the entry door. The decorative wrought iron porch posts are another post-war detail popular on a variety of styles. Although the assessor estimated the year built as 1953, the drawings and city directory research indicate that the apartment building was finished in 1954. By 1955, Edward W. and Ruth Harting had moved into their apartment in this building. He was a manager of Harting Company in St. Louis. Even though this building is not yet 50 years old, it utilizes stylistic features and details that are characteristic of the later, post-war development of the community, and it is one of the designs of Julius Tarling. For both reasons, this building is already considered a contributing building to the district, prominently located along the entrance boulevard.

44. Description of Environment and Outbuildings

The lot is basically level across the façade but the land slopes downhill in the backyard. There is a concrete driveway on the east side of the property and building that is cut into the ground and extends back to access the basement level two car garage. There is also a straight sidewalk from the entry to the street.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Aug. 2002

7207-7209 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLA5039 - 0205		4. Present Name(s) Vacant Lot	
2. County St. Louis		5. Other Name(s)	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7211 Pasadena Blvd.-Lt. 11, Block 3		16. Thematic Category	28. No. of Stories
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period	29. Basement? YES <input type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design	30. Foundation Material
		19. Architect or Engineer	31. Wall Construction
		20. Contractor or Builder	32. Roof Type, Material
		21. Original Use, if apparent	33. No. of Bays FRONT SIDE
		22. Present Use	34. Wall Treatment
		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape
		24. Owner's Name and Address, if known Simms, Charles and Ida B.; 7230 Henderson Ave., St. Louis, MO 63121	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>
9. Coordinates Lat Long		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input type="checkbox"/> Object <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	14. District Potent'l? Yes <input type="checkbox"/> No <input type="checkbox"/>		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District			41. Distance from and Frontage on Rd.

HISTORIC INVENTORY

42. Further Description of Important Features

This is a vacant lot.

43. History and Significance

This lot has always been vacant and separately deeded from adjacent properties, but is currently owned by the same owner as 7215 Pasadena Blvd., directly adjacent on the west.

44. Description of Environment and Outbuildings

The lot faces south onto Pasadena Boulevard and slopes downhill toward the rear of the lot.

45. Sources of Information

46. Prepared by / Organization


Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Aug. 2002

7211 Pasadena Hills
Pasadena Hills

HISTORIC INVENTORY

1. No. SLA5039 - 0206		4. Present Name(s) Simms Apartments	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7215 Pasadena Blvd. --Lot 9,10, Block 3		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1940	
8. Site Plan with North Arrow		18. Style or Design Colonial Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Apartments	
		22. Present Use Apartments	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Simms, Charles and Ida B.; 7230 Henderson Ave., St. Louis, MO 63121	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
15. Name of Established District Pasadena Hills Historic District		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material concrete	
		31. Wall Construction loading bearing masonry-brick	
		32. Roof Type, Material Gable, orig.slate, now comp.shingle	
		33. No. of Bays FRONT 3 SIDE 5	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular+front ba	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled façade, multicolored (red, tan, charcoal) brick building has a replacement, brown, composition shingle roof, but it originally appears to have had a slate roof (based upon fire insurance maps). The foundation is actually poured concrete, but on the façade, the raised foundation is veneered with rock faced ashlar limestone. The boxed cornices and fascia boards have been wrapped with aluminum, but the building retains its original copper gutters (one downspout is now aluminum). Intersecting the side gabled façade is a broad gabled roof across the back two-thirds of the building, together forming five bays on the side elevations while the façade is three bays wide. Centered on the façade, is a slightly projecting two story, gabled vestibule with replacement vinyl siding in the gable end, but retaining the broken cornice appearance created by the copper gutters and boxed cornices. The second floor of this bay has a series of recessed courses that create a brick quoin effect and surround a triple window unit of 4 x 4 wood sashed windows flanking a 6 x 6 wood sashed window. Narrow pilasters with capitals and plinth blocks flank the outer sides of this window unit, supporting the plain lintel that provides the appearance of an entablature. At the base of the window unit, there is a projecting brick stringcourse that forms the sill and creates the illusion of an overhanging bay above the entry. The entry has a relieving arch, soldier course lintel with a brick cap as well as brick compound arched opening. The door is a rectangular, stained oak wood door that has a small rectangular light in the upper portion of the door that is aligned with two vertical rails below. There is a concrete slab stoop. On either side of the entry bay are two story canted bay windows that attach to the sides of the entry bay. Each bay window has a flat roof and continues the brick walls and stone foundation under the brick sills of the first floor windows. The face of each bay has paired, 6 x 6 wood sashed windows with 4 x 4 wood sashed windows on the outer angled side of the bay windows. Between the first and second floor windows in each bay the walls have been reclad with vinyl siding. Splitting the front two bays on each side elevation and the gable ends, is an end wall brick chimney that has a brick dentil course near the cap. On either side of the chimneys, both levels, are glass block porthole windows. Windows on the side elevation, back three bays are multipaned wood sashed windows, some of which appear to have horizontal lights. Basement windows are wood casements. On the back of the building are two, 2-car garages that have replacement steel overhead doors. The only alterations on the façade appear to be the small amount of vinyl siding on the gable end and bay windows, as well as the aluminum combination storm windows.

43. History and Significance

There are plans on file in city hall for this four unit apartment building, but unfortunately the architect is not identified on the plans. This building appears to have been designed by the same architect as 7219 Pasadena Boulevard, with the same basic plan, but with different brick and stylistic treatments on the façade. The plans are dated 1940, which coincides with the information gathered from the assessor and city directories. The assessor estimated the year built as 1941, which may be the year finished, but it must have been early since the building is not listed in the 1939 directory, but is listed in the 1941 directory and in that year there were four men listed as occupants, none identified as owners. By 1943, there were five names listed, with Herman A. and Addie B. Lueking listed as the owners and in one of the four units. He was active in the trucking business. By 1946, when the next directory was published, the occupants had changed again, with C.A. Hecker as one of the occupants, but not identified as the owner. By 1953, Mrs. Flora Hecker (the widow of James Hecker) is listed as both an occupant and owner, along with four other occupants. The design is an interesting adaptation of the Colonial Revival style, utilizing what is often termed the center gable form of that style, which is noted for its side gable and symmetrical façade with a center gable. This particular example even utilizes the flanking end wall chimneys with decorative brick dentil courses near the cap as well as the characteristic multipaned sashed windows and pilaster strips on the center façade window. The raised, ashlar limestone veneer over the concrete foundation is unusual for this style, but common on other examples in this neighborhood, and the treatment of the entry bay is stylized, influenced by Modernistic trends, especially the recessed brick courses that normally would look like brick quoining, but are wider, creating a banding on the second floor around the window. Also the entry is not drawn from Colonial Revival motifs, but has a highly unusual rectangular pattern and the glass block porthole windows on each side utilize a repetition that is distinctly modern in both material and pattern, although porthole windows are frequently used as a single highlight on later Colonial Revival houses in the neighborhood. Like other buildings in this neighborhood, the garages are relegated to the rear, to minimize the visual impact on the streetscape, which in this case is one of the major entry boulevards into Pasadena Hills. Although the gable end and bays have been reclad with vinyl siding, the building retains its overall form and distinctive features and as such is a contributing building in the district.

44. Description of Environment and Outbuildings

The lot slopes downhill toward the back and while the ground across the façade is fairly level, the land slopes steeply on the east side of the lot as well. There is a concrete driveway along the west side of the property that extends back to access the basement level garage entries on the rear elevation of the building. There is a straight concrete sidewalk from the entry to the street.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

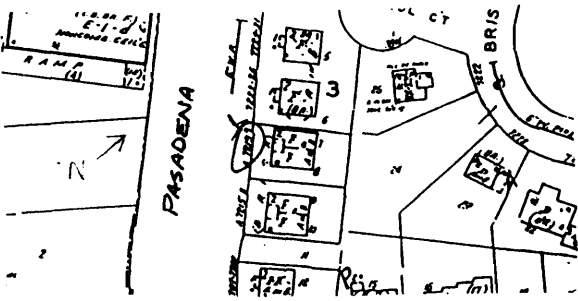
Aug. 2002

7215 Pasadena Blvd.
Pasadena Hills





HISTORIC INVENTORY

1. No. SLAS039 - 0207		4. Present Name(s) Apartment Building	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7219 Pasadena Blvd., -- Pt6, Lots 7,8, Block 3		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1940	
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Apartments	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Apartments	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Williams, Sylvester, Jr., 2018 Lunenburg Dr., Saint Peters, MO 63376	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction loading bearing masonry-brick	
		32. Roof Type, Material gable, orig.slate,now comp.shingles	
		33. No. of Bays FRONT 3 SIDE 5	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular+entry b	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled façade, multicolored (red, yellow, cream, and brown) brick building has a replacement, reddish brown, composition shingle roof, but it originally appears to have had a slate roof (based upon fire insurance maps). The foundation is actually poured concrete, but on the façade, the raised foundation is veneered with rock faced ashlar limestone. The boxed cornices and fascia boards have been wrapped with aluminum, but the building retains its original copper gutters (one downspout is now aluminum). Intersecting the side gabled façade is a broad gabled roof across the back two-thirds of the building, together forming five bays on the side elevations while the façade is three bays wide. Centered on the façade, is a slightly projecting two story, gabled vestibule with replacement vinyl siding in the gable end, but retaining the broken cornice appearance created by the copper gutters and boxed cornices. The second floor of this bay has a series of recessed courses that create a brick quoin effect and surround a triple window unit of 4 x 4 wood sashed windows flanking a 6 x 6 wood sashed window. Narrow pilasters with capitals and plinth blocks flank the outer sides of this window unit, supporting the plain lintel that provides the appearance of an entablature. At the base of the window unit, there is a projecting brick stringcourse that forms the sill and creates the illusion of an overhanging bay above the entry. The entry has a relieving arch, soldier course lintel with a brick cap as well as brick compound arched opening. The door is a rectangular, stained oak wood door that has a small rectangular light in the upper portion of the door that is aligned with two vertical rails below. There is a concrete slab stoop. On either side of the entry bay are two story canted bay windows that attach to the sides of the entry bay. Each bay window has a flat roof and continues the brick walls and stone foundation under the brick sills of the first floor windows. The face of each bay has paired, 6 x 6 wood sashed windows with 4 x 4 wood sashed windows on the outer angled side of the bay windows. Between the first and second floor windows in each bay the walls have been reclad with vinyl siding. Splitting the front two bays on each side elevation and the gable ends, is an end wall brick chimney that has a brick dentil course near the cap. On either side of the chimneys, both levels, are glass block porthole windows. Windows on the side elevation, back three bays are multipaned wood sashed windows, some of which appear to have horizontal lights. Basement windows are wood casements. On the back of the building are two, 2-car garages that have replacement steel overhead doors. The only alterations on the façade appear to be the small amount of vinyl siding on the gable end and bay windows, as well as the aluminum combination storm windows.

43. History and Significance

There are plans on file in city hall for this four family apartment building, but unfortunately the architect is not identified on the plans. They are dated 1940. This building appears to have been designed by the same architect as 7215 Pasadena Boulevard, with the same basic plan, but with different brick and stylistic treatments on the façade. Although the assessor estimated the year built on this building as 1952, the date on the plans and the listings in the city directories indicate that it was completed in 1940. It first appeared in the 1941 city directory. The design is basically Tudor Revival with a boldly contrasting, multicolored brick that is further detailed with half timbering of a variety of brick patterns. It also has the characteristic wood plank door and contrasting use of stone at the base of the entry vestibule as well as multipaned windows. Otherwise, this is a fairly simple rendition of this popular style, which helped characterize this community's development. The building has lost one of its more distinctive Tudor Revival features, the slate roof, and unfortunately the replacement roofing was not selected to mimic the color and pattern of the original slate, but even so, the building retains its basic Tudor Revival features and is contributing to the district.

44. Description of Environment and Outbuildings

The lot is basically level across the façade and faces south onto Pasadena Blvd., but the back slopes downhill with a driveway along the east side of the property to access the basement level garages on the rear of the building. There is also a straight sidewalk and entry landing from the entry to the street.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

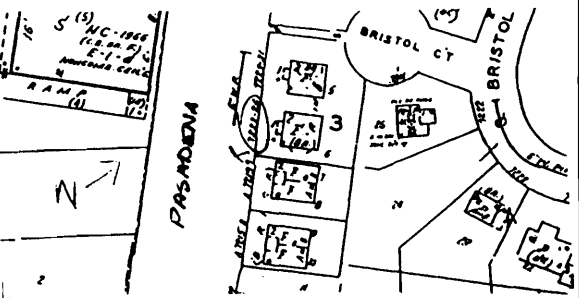
48. Date 49. Revision Dates

Aug. 2002

7219 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0208		4. Present Name(s) Jones Apartments	
2. County St. Louis		5. Other Name(s) HISTORIC: Stevenson Apartments	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7223-7225 Pasadena Blvd. -- Pts. 5, 6, Block 3		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1952-1953	
8. Site Plan with North Arrow		18. Style or Design Modern Movement	
		19. Architect or Engineer Julius E. Tarling, probably	
9. Coordinates Lat Long		20. Contractor or Builder	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Apartments	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Jones, Lori	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction loading bearing masonry-brick	
		32. Roof Type, Material hipped, comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular +porche	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, hipped roof, multicolored (red, charcoal, tan) brick house has a gray composition shingle roof (and the original roofing was apparently also composition shingles) with boxed cornices and copper gutters and downspouts. The façade is divided into three bays with the central entry having a standing seam copper, swayback hipped roof supported by decorative wrought iron posts on the outer corners and a grade level concrete slab porch floor. The door is painted wood with three stacked raised molding rectangles. Above the entry is a large, rectangular window of glass blocks. On either side of this window are paired, 4 x 4 wood sashed windows (with horizontal lights). There is a matching paired window on the first floor east of the entry. The window on the first floor west of the entry is a triple window, with a fixed 12 horizontal light window flanked by narrow 2 x 2 wood sashed windows (horizontal lights). The only decorative brickwork on the façade is the darker brick sills, a treatment used on the side windows as well, which appear to be multipaned windows. The poured concrete foundation is not visible on the façade but is on the side elevations because of the slope of the land. There are wood casement windows in the basement level. On the back, there is a shed roofed, one story, brick, enclosed porch wing, elevated of brick piers, creating a covered patio/slab underneath since the land slopes steeply at the back. This appears to be an early addition, but one that was completed after the 1967 fire insurance map was published. Also on the back there are two garages, one 1-car and the other being a 2 car garage, both of which are in the basement level of the building. Both have wooden overhead doors. On both ends there are small, end wall, brick chimney flues with brick corbelled and banded caps. The only alterations to this building appear to be the porch lights and the aluminum storm windows.

43. History and Significance

There are plans on file in city hall, addressed as 7221 Pasadena Blvd., but there is no such address. It is likely that these plans are actually for this building. The plans were drawn by Julius E. Tarling in 1953, which coincides with city directory research. The initial occupants of this house included the owners, Clyde G. and Catherine M. Stevenson. He was the manager of Hill-Behan, a major lumberyard in St. Louis. The other unit was occupied by John and Elnora Fritsch. He was the manager of D. & J. Wilkinson Inc. Tarling was the most popular architect in Pasadena Hills development and this block contains a number of his apartment designs and this design is very similar to the others at 7201, 7207, and 7223 Pasadena Blvd. This is one example of his post-war Modern designs that utilizes the preferred simplicity of wall treatment and decorative elements, such as horizontal lights in the windows, glass block as a major feature, and a simple entry porch with wrought iron supports. The design of this two family apartment building is difficult to classify by a particular style, beyond the Modern Movement, but it is characteristic of the later designs that helped complete the development of this neighborhood and is a prominently located building along one of the two entrance boulevards into Pasadena Hills. The addition on the back is not very visible from the street and blends well with the historic features of the building, thus not impacting the historic integrity of the façade.

44. Description of Environment and Outbuildings

This lot faces south onto Pasadena Boulevard and the lot is basically level across the façade, but there is a paved driveway cut deeply into the west side that slopes downhill with the land to access the basement level garages that are at grade because of the slope to the rear of the property. There is also a straight concrete sidewalk from the front entry porch to the street.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

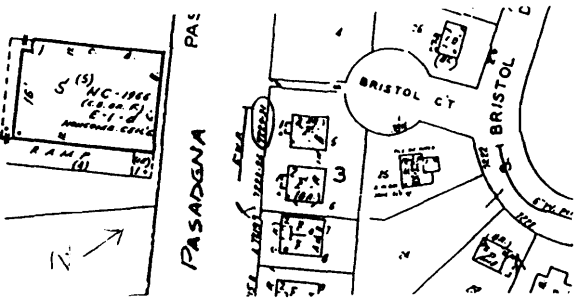
48. Date 49. Revision Dates

Aug. 2002

7223 - 7225 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLA5039 - 0209		4. Present Name(s) Apartment Building	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7229 - 7231 Pasadena Blvd., -Pt. 5, Block 3		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1954	
8. Site Plan with North Arrow		18. Style or Design Modernistic	
		19. Architect or Engineer Julius E. Tarling, probably	
9. Coordinates Lat Long		20. Contractor or Builder	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Apartments	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Grimes, Lucille C., et.al., J.T., 1148 Appleseed Lane, St. Louis, MO 63132	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction loading bearing masonry-brick	
		32. Roof Type, Material hipped, comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, low pitched, hipped roof, two family apartment building has a composition shingle roof, which was apparently the original roofing material as well, based upon the fire insurance maps. The boxed cornice is finished with the copper gutters and forms the lintels for the upper floor windows. The brick walls are a variegated red and the foundation is poured concrete, but it is not visible on the facade. There are flanking end wall, brick chimneys, but these are severely deteriorated and the west one has lost the upper portion of the chimney shaft and both are missing the original caps. The facade is divided into three bays with paired, 2 x 2 wood sashed windows (with horizontal lights) on the second floor on either side of the center window that has 12 lights in three vertical rows (horizontal panes as well). On the first floor, there is another pair of 2 x 2 wood sashed windows on the east side of the entry and a picture window with narrow 2 x 2 wood sashed windows flanking the plate glass window to the west of the entry. Both first floor facade windows have a soldier course lintel with a projecting dentil cap. The entry has a flat roof canopy that spans the width of the bay and is supported by decorative wrought iron columns resting on a concrete slab floor. The entry door is painted, wood, with three stacked circular molded panels. Windows on the other elevations are similarly patterned and there are two, 1 car garages in the basement level with wood overhead doors on the rear basement elevation. The only visible alterations to the building has been the addition of aluminum combination storm windows and a full view storm door.

43. History and Significance

There are plans on file in city hall, addressed as 7227 Pasadena Blvd., but there is no such address. It is likely that these plans are actually for this two family apartment building. The plans were drawn by Julius E. Tarling in 1954, which coincides closely with city directory research. Tarling was the most popular architect in Pasadena Hills development and this block contains a number of his apartment designs. This apartment building appears to be the same plan as these other designs at 7201, 7207, and 7223 Pasadena Blvd., and this particular building is a near mirror image of the apartment building at 7201 Pasadena Blvd. This is a good example of the use of Modernistic stylistic influences, often known as Streamline Modern, but adapted to a more conservative audience. It utilizes a series of horizontal and rectangular forms, such as banks of windows, the continuous sill course, the banding on the chimney, the low profile of the hipped roof, the flat canopy on the front entry, the horizontal lights in the windows. In addition, it has a door with a series of circular panels. The use of a picture window and the decorative wrought iron porch posts are also post-war modern features that were popular on a variety of styles. Although the assessor estimated the year built as 1960, based upon the plans and city directory research, this apartment building was built around 1954. The two apartments in this building were initially occupied by an employee of Ansul Chemical Company, Arnold B. and Caroline Kibby as well as Harry J. Frederic, the president of Frederic Co., Inc. The building utilizes stylistic features and details that are characteristic of the later, post-war development of the community, and it is one of the designs of Julius Tarling. For both reasons, this building is already considered a contributing building to the district, prominently located along the entrance boulevard.

44. Description of Environment and Outbuildings

The ground is level across the front elevation and there is a driveway leading along the side to the basement level garage entry. There is a curved sidewalk leading from the front entry to the driveway along the east side of the building. The back lot slopes downhill.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

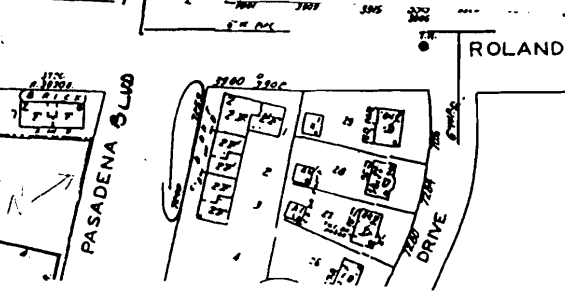
48. Date 49. Revision Dates

Aug. 2002

7229-7231 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0210		4. Present Name(s) Skiles Apartments	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7249-7259 Pasadena Blvd., -- Lots 1, 2, 3, 4, Block 3		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1961	
8. Site Plan with North Arrow 		18. Style or Design Modern Movement	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Apartments	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Skiles, M. L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block-brick faced	
		32. Roof Type, Material Gable Hip, Tile-Asbestos	
		33. No. of Bays FRONT 9 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This twelve unit, two story, corner, apartment building has an L-shaped plan with light gray asbestos tile roofing and multicolored (red, tan, charcoal) brick walls. The foundation is concrete, but that is not visible on the street elevations. The gutters and downspouts are copper and there are 3 brick interior chimneys near the ridge that are broad and have four chimney pots each. All of the sashed windows are 2 x 2 wood windows that have horizontal muntins. The longer façade is along Pasadena Blvd., which is divided into 10 bays of different widths, mirrored from the center where there are two bays of small sashed windows on each level. On each side of these bays are picture windows (plate glass window flanked by narrow sashed windows) on each level. The next bays from the center are the entry bays with a flat roof canopy supported by decorative wrought iron corner posts on top of the concrete slab porch floors. The doorways are simply designed and are original but the doors have been replaced with aluminum framed, glass, commercial doors. Above, there is a wood sashed window. Between the entry bays and the corner bay is another picture window unit on each level and the corner bay is again a shorter sashed window on each level. The Roland elevation repeats these elements with an additional entry, two picture window bays and bays of small sashed windows. On the back of the building there are 8 one car garages and 2, 2 car garages, all with the original wood overhead doors that in the basement level. The only alteration appears to be the entry doors and even the roofing may be the original.

43. History and Significance

According to the assessor and the city directories this twelve unit apartment building was finished in 1961. Even though it is not yet 50 years old, it utilizes the design features that helped characterize the post-World War II period that completed the development of Pasadena Hills. This design utilized features associated with the Modern Movement, such as the lower pitched hipped roof, horizontal lights in the sashed windows, the picture windows (a large plate glass window flanked by narrow sashed windows), and the flat roofs on the porch and the decorative wrought iron support posts. As was common in buildings of this era, there are broad chimneys near the ridge. Because this is part of the design tradition of the community, and an important building located at the intersection of the two main boulevards that provide access into the community, this building is already a contributing building in the district. The only visible alteration has been the replacement of the entry doors with glass doors, a significant loss, but it still retains its other important original features.

44. Description of Environment and Outbuildings

This property forms the northeast corner of Pasadena and Roland Boulevards, with two entries facing south on Pasadena Boulevard and one on Roland. Each has a tiered concrete sidewalk from the entry to the public sidewalk at the street. The land is basically flat along the street elevations, with an paved driveway along the Roland Boulevard, north end of the lot, to access the asphalt parking area and basement level garage entries on the rear.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

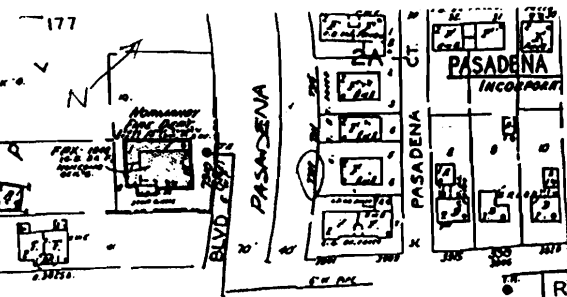
48. Date 49. Revision Dates

Aug. 2002

7249-7259 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0211		4. Present Name(s) Thompson Apartments	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7307 Pasadena Blvd. -- Pts 5, 6, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1950-1956	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Apartments	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Thompson, Victor B. and Nancy H.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block-brick faced	
		32. Roof Type, Material Gable - orig.slate,now comp.shingle	
		33. No. of Bays FRONT 3 SIDE 5	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, four family apartment building has a side gable façade with an intersecting gable across the back of the rectangular plan building. The roof is composition shingles, but it apparently was originally slate. The raked, dark red brick walls have few embellishments, with simple soldier course lintels on the façade and brick sills, as well as the rowlock brick with compass keystones around the glass block porthole window above the entry. The building has boxed cornices with copper gutters, but the downspouts have been replaced with aluminum. The foundation is poured concrete, which is not visible on the façade, but is exposed on the sides due to the steep slope of the land. The façade is divided into three bays with the entry located in the center bay. The six panel wood door is flanked by paired, fluted pilasters which support an entablature and pediment. The porch lantern centered above the door appears to be the original. There is a concrete slab stoop with an iron railing featuring a circular form. On either side, both levels, there are 8 x 8 wood sashed windows. On the side elevations, there are no windows in the bay nearest the façade and the chimneys with the brick banded caps are located behind the gable ridge. There are four bays of windows behind the end wall chimneys, all 6 x 6 wood sashed windows. The basement level windows are steel casements. On the back, there are two basement level garages. The only alteration appears to be aluminum combination storm windows.

43. History and Significance

Although the assessor identified the year built on this four family apartment building as 1950, this address is not listed in the city directories until 1957 (the previous directory was published in 1955). This seems to indicate that the building was not completed until the middle of the decade. The first occupants of the building were identified as Robert E. and Susie Parry who was a Prudential Insurance agent in 1957. The next year, James J. Magee and Earl H. Becker were listed at this address and it was only in 1959 that all four units were occupied according to the city directories, apparently all by single adults (Mrs. Sue Sheppard, Roberta LaRue, Mrs. Mae Draper, and William Buchmueller). Although the building permits have not been located for this building nor the architect identified, this apartment building and the two adjacent on the west are identical plans, utilizing different stylistic details to distinguish the buildings, which seems to indicate that they were designed by the same architect. The design of this apartment building is characteristic of the variant of the Colonial Revival style residences that was popular throughout the development of the community, the Georgian Revival style. This style is characterized by the three bay façade on a side gabled form, but in accommodating a four family unit, this building intersects this side gable with a wide gable that triples the depth of the building beyond what is normally found on a single family residence. The design utilizes other characteristic Georgian Revival features (boxed cornices, flanking end wall chimneys, multipaned sashed windows, and a pedimented entry with pilasters on either side of the door), but also makes some concessions to the post-war modern trends with the use of a glass block porthole window and a circular motif on the entry stoop railing. The fact that the railing is still intact is significant since most of these metal railings are missing throughout the community. As is characteristic of the development in Pasadena Hills, the garages are discretely positioned on the back, in the basement of the building, avoiding any impact on the façade streetscape. Even though this building may not be 50 years old, because its style is typical of the architectural development of this community and it retains most of its historic integrity, this building is a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot is basically level across the façade, which faces south on Pasadena Blvd. Because Pasadena Court is along the back side of this lot, it provides ground level access to the back of the building where there are basement level garages, but because of the slope of the land steeply downhill toward the north, making the entries at ground level. There is a straight sidewalk from the entry stoop to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

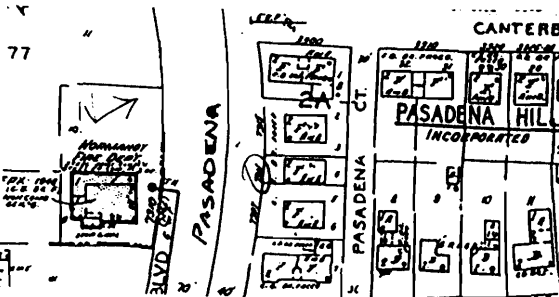
48. Date 49. Revision Dates

Aug. 2002

7307 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0212		4. Present Name(s) Morgan Apartments	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7311 Pasadena Blvd., -- Pts 3, 5, Lot 4, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1950-1956	
8. Site Plan with North Arrow 		18. Style or Design Moderne	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Apartments	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Morgan, Leslie	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block-brick faced	
		32. Roof Type, Material Gable - orig.slate,now comp.shingle	
		33. No. of Bays FRONT 3 SIDE 5	
		34. Wall Treatment brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, four family apartment building has a side gable façade with an intersecting gable across the back of the rectangular plan building. The roof is composition shingles, but it apparently was originally slate. The red brick walls are embellished by the lighter rowlock bricks which form a pattern on the walls. The simple soldier course lintels on the façade and brick sills are laid in the darker brick, and the lighter brick is used around the opening and as the compass keystones around the glass block porthole window above the entry. The building has boxed cornices with copper gutters and downspouts. The foundation is poured concrete, which is not visible on the façade, but is exposed on the sides due to the steep slope of the land. The façade is divided into three bays with the entry located in the center bay. The entry is framed with dressed stone blocks laid with a splayed keystone, in an Art Deco motif. The door is a painted wood door with two small rectangular lights stepped on the upper portion of the door. There is a concrete slab stoop with an iron railing which appears original. On either side, both levels, there are 2 x 2 wood sashed windows. On the side elevations, there are no windows in the bay nearest the façade and the chimneys with the brick banded caps are located behind the gable ridge. There are four bays of windows behind the end wall chimneys, all 2 x 2 wood sashed windows. All windows have horizontal muntins. The basement level windows are steel casements. On the back, there are two, 1 car, basement level garages with original wooden overhead doors. The only alteration appears to be aluminum combination storm windows.

43. History and Significance

Although the assessor identified the year built on this four family apartment building as 1950, this address is not listed in the city directories until 1957 (the previous directory was published in 1955). This seems to indicate that the building was not completed until the middle of the decade. The first occupants of the building listed in the 1957 directory were identified as Augusta F. Reiche, Mrs. Mary A. Ernest, Gladys Meyer, and Robert E. Marr. It seems to be a pattern that these one bedroom units were rented to single adults, mostly women. Although the building permits have not been located for this building nor the architect identified, this apartment building and the two adjacent on the west are identical plans, utilizing different stylistic details to distinguish the buildings, which seems to indicate that they were designed by the same architect. The design of this apartment building is based upon the Georgian Revival form, but does not utilize the stylistic details associated with this Colonial Revival variant, other than having a side gabled form with a three bay façade. The design utilizes detailing that is influenced by the Moderne movement, the round glass block window, the horizontal lights in the sashed windows, the tiered lights on the simple entry door, and the stepped stone on the entry surround. The fact that the porch railing is still intact is significant since most of these metal railings are missing throughout the community. As is characteristic of the development in Pasadena Hills, the garages are discretely positioned on the back, in the basement of the building, avoiding any impact on the façade streetscape. Even though this building may not be 50 years old, because its style is typical of the later, post-war architectural development of this community and it retains most of its historic integrity, this building is a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot is basically level across the façade, which faces south on Pasadena Blvd. Because Pasadena Court is along the back side of this lot, it provides ground level access to the back of the building where there are basement level garages, but because of the slope of the land steeply downhill toward the north, making the entries at ground level. There is a straight sidewalk from the entry stoop to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

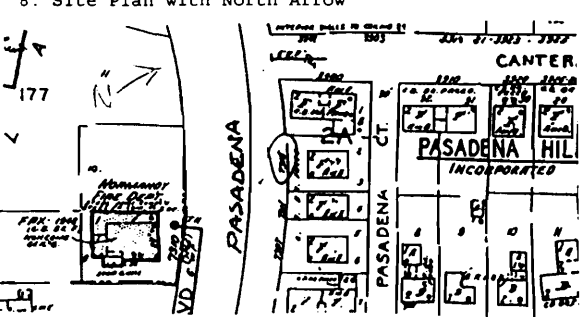
48. Date 49. Revision Dates

Aug. 2002

7311 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0213		4. Present Name(s) McLaughlin Apartments	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7315 Pasadena Blvd. -- Pt.2, Lot 3, Block 1		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1950-1956	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Apartments	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known McLaughlin, Patrick A., et.al., 4214 Breton Dr., St. Louis, Mo 63121	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block-brick faced	
		32. Roof Type, Material Gable - orig.slate,now comp.shingle	
		33. No. of Bays FRONT 3 SIDE 5	
		34. Wall Treatment brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Fair Exterior Fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, four family apartment building has a side gable façade with an intersecting gable across the back of the rectangular plan building. The roof is old gray composition shingles, but it apparently was originally slate. The multicolored (red, green, and charcoal) brick walls have few embellishments, with simple soldier course lintels on the façade and brick sills, as well as the rowlock brick with compass keystones around the glass block porthole window above the entry. The building has boxed cornices with copper gutters and downspouts. The foundation is poured concrete, which is not visible on the façade, but is exposed on the sides due to the steep slope of the land. The façade is divided into three bays with the entry located in the center bay. The wood slab door appears to be a replacement, since it is uncharacteristically plain. It is flanked by fluted pilasters which support an entablature. The porch lanterns on either side of the door appear to be the originals. There is a concrete slab stoop with an iron railings that appear to be the originals. On either side, both levels, there are 8 x 8 wood sashed windows. On the side elevations, there are no windows in the bay nearest the façade and the chimneys with the brick banded caps are located behind the gable ridge. There are four bays of windows behind the end wall chimneys, all 6 x 6 wood sashed windows. The basement level windows are steel casements. On the back, there are two, 1 car basement level garages with the original wood doors as well as a rear entry door into the basement. The only alteration appears to be aluminum combination storm windows.

43. History and Significance

Although the assessor identified the year built on this four family apartment building as 1950, this address is not listed in the city directories until 1957 (the previous directory was published in 1955). This seems to indicate that the building was not completed until the middle of the decade. The first occupant of the building was listed in the 1957 directory as William E. Moore who was identified as a physician, publisher of the Rural Electric Missourian, and with Butler Baby Safety Chair. No other occupants are listed through 1961, although this is a four family apartment building. Although the building permits have not been located for this building nor the architect identified, this apartment building and the two adjacent on the west are identical plans, utilizing different stylistic details to distinguish the buildings, which seems to indicate that they were designed by the same architect. The design of this apartment building is characteristic of the variant of the Colonial Revival style residences that was popular throughout the development of the community, the Georgian Revival style. This style is characterized by the three bay façade on a side gabled form, but in accommodating a four family unit, this building intersects this side gable with a wide gable that triples the depth of the building beyond what is normally found on a single family residence. The design utilizes other characteristic Georgian Revival features (boxed cornices, flanking end wall chimneys, multipaned sashed windows, and a pedimented entry with pilasters on either side of the door), but also makes some concessions to the post-war modern trends with the use of a glass block porthole window. The fact that the railing is still intact is significant since most of these metal railings are missing throughout the community. As is characteristic of the development in Pasadena Hills, the garages are discretely positioned on the back, in the basement of the building, avoiding any impact on the façade streetscape. Even though this building may not be 50 years old, because its style is typical of the architectural development of this community and it retains most of its historic integrity, this building is a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot is basically level across the façade, which faces south on Pasadena Blvd. Because Pasadena Court is along the back side of this lot, it provides ground level access to the back of the building where there are basement level garages, but because of the slope of the land steeply downhill toward the north, making the entries at ground level. There is a straight sidewalk from the entry stoop to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

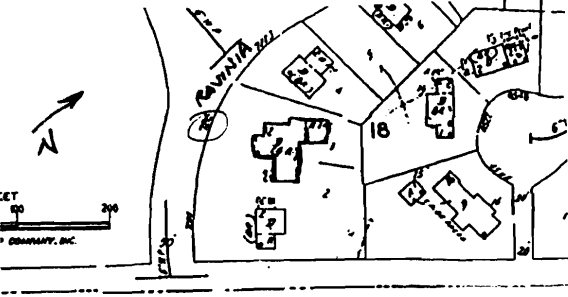
48. Date 49. Revision Dates

Aug. 2002

7315 Pasadena Blvd.
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0214	4. Present Name(s) Bennett, Jeffrey K. & Jeannine M., House	
2. County St. Louis	5. Other Name(s) HISTORIC NAME: Lueking, Herman A. and Addie B., House	
3. Location of Negatives Missouri Historic Preservation Office		
6. Specific Location 7215 Ravinia Dr. -- Pt 2, Lot 3, Block 18	16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills	17. Date(s) or Period 1934-1938	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 	18. Style or Design Tudor Revival	30. Foundation Material Stone
9. Coordinates Lat Long	19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>	20. Contractor or Builder	32. Roof Type, Material cross gabled - slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	22. Present Use Residence	34. Wall Treatment multicolored brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	24. Owner's Name and Address, if known Bennett, Jeffrey K. & Jeannine M.,	36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District	25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
	26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
		41. Distance from and Frontage on Rd.

HISTORIC INVENTORY

This two story, multihued gray slate cross gabled house with copper gutters has a high rock faced, ashlar limestone foundation (with scattered dark stones) that extends up at the corners to merge into the brick walls. The highly unusual clinker(or skintled) brick in red and burnt red is laid in a twisted and random projecting pattern as well as with undulating mortar lines. Most of the windows are leaded glass, diamond pattern steel casement windows with stained glass on the second floor windows and rectangular lights with stained glass inserts in the transoms above the first floor casement windows. The façade is basically divided into three bays with the primary roof being a side gable with an intersecting two story gabled wing projecting at the west end, but with its gable terminating before the end of the façade so that there is a narrow, shed roofed extension of the main roof at the west edge of the façade. There is a 1.5 story end gabled screened porch wing that projects from the east end of the façade with a roof extension on the east side. Between these two projecting wings is a large, raised, flagstone porch with brick sitting walls and brick steps with the entry in this recessed area, which forms the middle bay. There are two eyebrow dormers on the roof edge of the façade wall of this middle bay which is half-timbered brick. There is also a very shallow shed dormer on the east side of the west gabled wing within this same porch enclosure. The entry door located in this middle bay's façade wall, has a multipaned, horizontal, clear glass transom and a rectangular, stained, solid oak, door with a shoulder arched stained glass panel above the large wood panel on the lower half of the door. It has a full view aluminum storm door which has been added to protect the door. On the east elevation is a massive brick chimney and on the west is a 1.5 story projecting wing that includes the two car garage that retains 2 original wood doors below the maid's quarters. There is also a side entry next to the driveway. On the rear, there is another large framed, screen porch with another large stone patio that forms a courtyard between this porch and the garage wing. This screened porch appears to be original to the house, although it does not show on the 1967 fire insurance map (which does have a few mistakes on it elsewhere in the community). The 3 kitchen casement windows have been replaced with vinyl insulated windows that try to match the muntin pattern and are still casement type windows, although the framing is thicker than the original. Since this is not on the façade, it does not seriously impact the historic integrity of this building.

43. History and Significance

Although the assessor estimates the year built as 1934, this address does not appear in the city directories until 1939. Because of some understandable confusion about the address of the house, it was sometimes listed as 7215 N. Roland Boulevard but it was always listed as the home of Herman A. and Addie B. Lueking. He was the secretary-treasurer of Lueking Transfer Company in St. Louis. The family continued to live in the house at least through 1955 when city directory research ended. This is an excellent example of one of the largest Tudor Revival designs in Pasadena Hills, utilizing the characteristic features that define this style, such as a steeply pitched slate roof, the various rooflines, the projecting wings on the façade, the mixture of masonry materials (stone, multicolored brick, half timbered walls), multipaned windows, and a massive chimney, but this house has a number of unique features as well, especially the unusual brick patterning creating by laying the brick in uneven rows and by varying the surface depth of the brick as well. This house may be individually eligible to the National Register, but it would be difficult to justify unless the architect can be identified and if the major living spaces on the interior retain their historic integrity as well, both of which cannot be determined at this time. Without doubt, it is one of the most significant, contributing buildings in the historic district.

44. Description of Environment and Outbuildings

This large lot faces the largest of the parks in Pasadena Hills and the lake which is one of the major landscaping features of this community. The lot slopes downhill toward the street, elevating the house which is deeply set back into the lot. There is a driveway that curves around to the back attached garage entry and a serpentine, tiered, flagstone walkway leading up the hill to the front porch.

45. Sources of Information

[Featured article in Real Estate Section] St. Louis Post-Dispatch. June 28, 1992, p. G1.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002

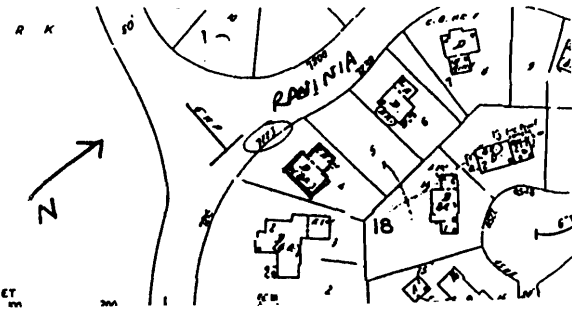
49. Revision Dates

7215 RAVINIA DR.
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0215		4. Present Name(s) McFadden, Arthur B. & Marjesta A., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Eschmann, Frederick H. and Edna, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7223 Ravinia Dr. -- Lots 4, 5, Block 18		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Morasi-Newman, Associated	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known McFadden, Arthur B. & Marjesta A.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material hipped, cross gabled/orig. slate no	
		33. No. of Bays FRONT 1+2+1 SIDE	
		34. Wall Treatment Brick - Buff	
		35. Plan Shape	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, hipped roof house has a large, cross gabled, two story wing on the façade as well as a side gabled, two story garage and sunroom wing and a one story hipped roof side porch. The walls are variegated buff color brick and the roof is asphalt composition shingles, but the roof material seems to be a replacement of what was probably originally a tile or slate roof. The house has copper gutters and downspouts. The façade is divided into four bays: the garage wing, the entry bay, the gabled wing, and the side porch. The two car garage wing has paired, wood framed, arched openings with 4 pairs of 8 light, wood casement windows (with corresponding transoms above in the arched opening) on the second floor façade. The two car garage door is the original, wood paneled door with paired lights in each panel of the upper row. It has a soldier course lintel above the slightly recessed opening and there is an original, lantern style light between the floor levels. The entry bay has a shuttered, 6 x 6 wood sashed window on the second floor above the entry. This entry has brick quoin-like pilasters supporting the capped entablature. The brick of the entablature is laid to look like a splayed lintel in the center. There is another original porch lantern centered above the door in the entablature. The wood paneled door has three small lights across the top and it has a 4 light shallow transom. The porch stoop is concrete and it has a distinctive iron railing that matches the second floor balcony in front of the French doors on the second floor of the gabled bay. Most porch railings have been lost in Pasadena Hills, and this distinctive element is especially significant because of its rarity today. The tiered, buff brick sidewalk curves from the entry porch to the middle of the driveway. The gabled bay has a pediment with modillions above the dentil course at its base. There are brick quoined corners and a pair of wood, French doors with a round arched, fanlight transom on the second floor (with the iron railed balcony). Below is a triple window unit with a soldier course lintel that has 4 x 6 wood sashed windows flanking a 6 x 9 wood sashed window. There is another sashed window on each level on the sides of this wing and end wall brick chimney on the south elevation. The hipped roof, screened porch has clustered, squared columns supporting the fascia framework and resting on the poured concrete floor of the porch (with brick foundation walls). Although this porch does not appear on the 1967 fire insurance map, it appears to be original to the house, with matching brick and detailing (and the fire insurance map has other errors on it). The rock faced, ashlar limestone foundation is visible on the façade gabled bay only. There is another, smaller brick chimney between the main house and the garage/sunroom wing. The gable end of the garage wing is either weatherboard siding or replacement siding.

43. History and Significance

Morazi-Nauman, Associated (2700 N. Grand Blvd.) received the building permit for this house on March 7, 1936. Although this address was not listed in the 1936 city directory, probably because it was not completed at the time the directory was canvassed, it was listed in the 1938 directory as the new home of Frederick H. and Edna Eschmann. He was initially listed as the paper director for Knollman Company of St. Louis, but was promoted to secretary-treasurer by 1939 and by 1949 was listed as executive president. The 1955 listing recorded him as president of Norman Company of St. Louis and city directory research terminated with that issue. This is a good example of the popular Colonial Revival style, but in a form not frequently found in Pasadena Hills, one that utilizes many classical details, such as the brick quoining, clustered columns on the side porch, the pediment with modillions, and the entablature on the entry. Like most of the Colonial Revival houses of this era, it is less derivative of colonial precedents, while using many of these features. This house is unusual because of the façade garage entry, since most homes in the early development of Pasadena Hills tried to locate the entrance to the garage on the side or back where it was not a prominent feature on the façade, despite the importance of the automobile in the development of this commuter suburb.

44. Description of Environment and Outbuildings

The lot is level from side to side, but slopes downhill slightly toward the street. The house faces west at the intersection of N. Roland Boulevard and Ravinia Drive. There is a single car width concrete driveway that widens near the garage door on the façade. There is a tiered, brick sidewalk leading from the driveway to the front entry stoop.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, March 7, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

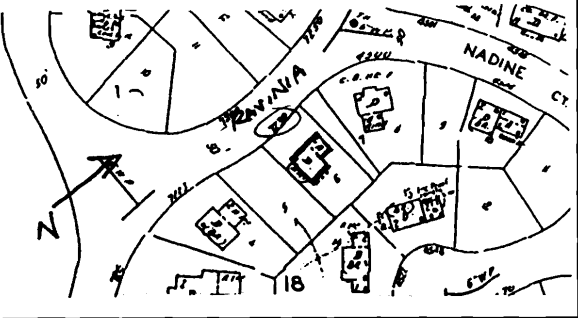
Sept. 2002

49. Revision Dates

7223 RAVINIA DR.
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0216		4. Present Name(s) Hill, Kimberly, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Guenther, Ella C., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7239 Ravinia Dr. -- Lot 6, Pt 7, Block 18		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hill, Kimberly	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gabled, orig.slate now comp.s	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment red brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, red brick house has a gray asphalt composition shingle roof, that seems to be a replacement of a slate roof, but it could be the original material given the construction date. The façade is divided into three bays and the two story garage bay on the north has a hipped roof that is slightly lower than the main roof. The one car garage has a soldier course lintel capped with projecting brick cap above the original wood paneled, overhead door that has paired lights in the two inner upper row panels. Above, there are paired, wood sashed windows. The middle bay is a slightly projecting gabled, two story vestibule with three stacked, stained glass, awning windows above the entry. There is a brick and stone belt course separating the first and second floor below the iron railing balcony below the second floor window unit. The entry has a brick compound arch on top of the dressed limestone sides to the entry. These stones are unusual since they begin as a very large stone at the base and tier up and get smaller at the top of each side, as well as angling into the recessed opening. The round arched, wood plank door has a small rectangular glass light. There is not an true entry stoop, but brick waterfall steps at the entry. The south bay has paired, 9 x 9 wood sashed windows (note that the vertical muntins form narrower center lights). Below is a hipped roof (shingled), canted bay window with brick walls below the windows and exposed, rock faced ashlar limestone foundation, like the main house. The bay window has 12 x 16 wood sashed windows flanking the front 24 x 32 light sashed window. This window has leaded muntins and decorative stained glass details centered in the upper sashes. There is a pair of brick, end wall chimneys on the south elevation which continue the limestone foundation treatment and there is a small, limestone wing wall. On the back is a frame porch. The only visible alteration is the aluminum storm windows, which do not match the sash lines on the sides of the bay window.

43. History and Significance

The assessor estimated the year built as 1939, which is probably accurate since the house was not listed in the 1939 directory, but was listed in the next directory in 1941 as the new home of Ella C. Guenther. She was a private secretary for Mercantile Commerce Bank and Trust. This is one of a number of homes in Pasadena Hills that was sold to a female head of household, some of whom were widows, but others who were working women in an era when that was not yet common. Obviously, the promotion of this suburb as a safe, clean, pastoral environment worked well with these women. Ella Guenther continued to live in the house through at least 1953. By 1955, Carl G. and Nellie Momberg had moved into the house. He was the district manager for F. W. Dodge Company in St. Louis. The house's design is an interesting interpretation of the Tudor Revival style, which often utilized the side gabled form and multipaned windows, but this example has a stacked, stained glass window and more modern interpretation to the arched entry. It has the characteristic multipaned windows, stained glass detailing, round arched door, wing wall, and massive chimneys as well as juxtaposing a variety of roof forms. Another uncommon feature, the façade entry to the garage is an indication of the importance of the automobile in this commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically flat and faces west onto Ravinia. There is a concrete driveway leading from the street to the façade garage entry.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date


Sept. 2002

49. Revision Dates

7239 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0217		4. Present Name(s) Thompson, Jean Y., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Bindner, Charles M. and Ida, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7250 Ravinia Dr. -- Pts 13, 14, Block 16		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1955-1957	
8. Site Plan with North Arrow 		18. Style or Design Minimal Traditional	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Thompson, Jean Y.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction concrete block. brick faced	
		32. Roof Type, Material Cross Gable, comp.shingles	
		33. No. of Bays FRONT 4 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This 1.5 story side gabled, red brick house has a rock faced ashlar limestone foundation that extends up to the base of the windows, a façade that is divided into four visual bays, and enclosed eave overhangs. It also has a cross gable (no overhang) on the south end with replacement siding in the upper gable end (above the second floor window) and it has a gabled dormer centered in the side gabled section (third bay). The cross gable, with its 2 x 2 (horizontal lights on all windows) aluminum sashed window on the second floor, has a large picture window unit on the first floor that has narrow, 2 x 2 aluminum sashed windows on either side of the stationary window and the whole unit is framed by dressed stone similar to the entry in the next bay. The entry has a simple wood door with an equally large sidelight of decorative bubble glass protected by the eave overhang and there is a shallow, concrete stoop with rock faced ashlar sidewalls that are too low to call them sitting walls. The next bay to the north of the entry has a spoked round window with stone keystones at the compass points. The dormer above has a 2 x 2 aluminum sashed windows. The north bay has paired, 2 x 2 aluminum sashed windows. The north side elevation has two window units on the first floor and one centered on the second floor. The south elevation has a brick end wall chimney with a broad brick band cap. There is a basement level garage under the back one story, brick wing with the garage door facing the south side. The house has aluminum combination storm windows and storm doors. The cross gable end and the dormer have been resided with what appears to be vinyl siding. Although the siding is probably of a similar proportion to the original wood siding, it covers over the framing around the dormer window, changing the relationship of wall to void (glass). However, this a minor alterations do not drastically alter the historic appearance of the façade.

43. History and Significance

There are plans on file for this address in city hall that are dated 1955, but unfortunately the architect is not identified. The assessor estimated the year built as 1957 and the house is first listed in the 1957 city directory as the home of Charles M. and Ida Bindner. He was the president of Hammermills, Inc., in St. Louis. In either case, it is not yet 50 years old, but it is still considered a contributing building the historic district, because it is a very nice example of Minimal Traditional styling, a style that was popular on later homes in this community, in part because it merged elements of Tudor Revival and Cape Cod styles, both earlier styles that were extremely popular in Pasadena Hills, with the newer, more modern trends, especially the popular Ranch style. For example, the intersecting gable and dormer that create an asymmetrical façade on this façade are common to Tudor Revival designs, but this house has shallower pitched rooflines and a more horizontal façade, both features that became popular on Ranch houses. Also, the division of the façade with a center entry and flanking window bays, all without façade wall projections, is something found on Cape Cod houses, along with the side gable and dormers. But, again, this house is less symmetrical and the window patterns vary on each side. Other modernistic influences are evident in the porthole window and the original aluminum sashed windows with horizontal lights (rather than wooden, multipaned windows), in part because of the post-war popularity of aluminum (conversion of wartime airplane industry). This particular example, except for the siding on the dormer, has retained all of its original elements, especially these windows, and has a design that balances well the gable end with the rest of the façade. It accentuates its horizontal form even further with the raised limestone foundation.

44. Description of Environment and Outbuildings

The lot slopes uphill toward the façade but appears to be lower in the back yard and the sloping hillside is tiered between the adjacent properties, downhill toward the south. There is a driveway along the south side of the house, which faces east onto Ravinia. There is a tiered concrete sidewalk, essentially a series of wide steps, from the front entry down to the public sidewalk.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

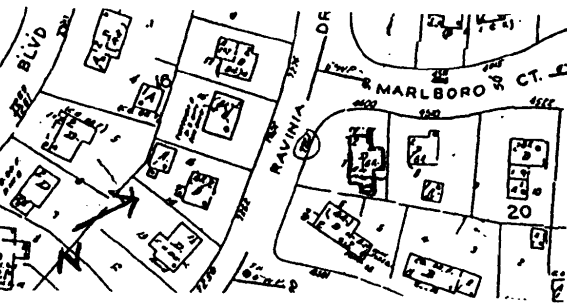
Sept. 2002

49. Revision Dates

7250 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0218		4. Present Name(s) Vaughn, James H., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Ritter, Dennis F. and Carrie, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7261 Ravinia Dr. -- Pt 7, Block 20		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Vaughn, James H., et.al. J/T	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Cross Gable - Slate	
		33. No. of Bays FRONT 4 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This tall, two story, side gabled, steeply pitched slate roof house has multihued red brick walls and copper gutters and downspouts with decorative collector boxes. At each gable end is a large brick chimney with corbelled caps and chimney pots. The foundation is rock faced stone. The façade is divided into four bays. There is a hipped roofed, two story wing on the northwest elevation and a slightly projecting gabled, two story bay on the opposite end of the façade. The gable ends have cornice returns created by the copper gutters and the stepped brick stringcourses under the eaves. There is a brick half wall terrace that projects out from this gabled bay, which forms the façade wall of the basement level two car garage below that has a large segmental arched opening. There are four French doors onto this terrace from the house and above is a triple window unit of 4 x 4 wood sashed windows. This gabled bay has projecting diamond pattern brick walls. Unfortunately, a metal canopy has been added with metal post supports over this terrace. The entry is located in the next bay to the west (the center bay of the main house) and has dressed stone, quoining on either side of the door and a tiered dressed stone lintel with crowned cap. The unusual wood door has stained glass inside of a large bubble glass light. The stoop is concrete and the steps lead at an angle from the stoop (which is connected to the terrace) to the tiered sidewalk angled to the corner of the street. Above the door is a 6 x 6 wood sashed window. The bay to the west (the west end of the main house) has a triple window on the second floor with 4 x 4 wood sashed windows flanking a 6 x 6 window. Below is a canted bay window with a standing seam metal roof that has a 6 x 9 window flanking the 4 x 6 windows and a brick wall below the sills. The two story, hipped porch wing has what appears to be the original wood shingle siding on the second floor, but the openings to this sunporch have been enclosed by newer 1 x 1 windows. Below, the triple unit, multipaned windows appear to be original with brick piers and walls. There is a small wing behind the chimney on the southeast elevation that is another enclosed porch wing. The rock faced stone retaining walls to the basement level entry are tiered and appear to be original to the house.

43. History and Significance

Although the assessor estimated the year built as 1939, this address was not listed in either the 1939 or 1941 city directories. By 1943, it was now listed as the home of Dr. Dennis F. and Carrie Ritter. He was a chiropractor with offices at 1506 Hodiarnont Ave. in St. Louis. They continued to live in the house at least through 1955 when city directory research ended. This Tudor Revival design has a number of distinctive features, most especially the diamond pattern brickwork, the dressed limestone quoining and stepped lintel around the door and the original two story side porch wing. However, certain alterations, especially the enclosure of this side porch and the canopy added over the front terrace have impacted the original balance to the design. Because it projects out on the façade, the canopy is of greatest concern. Even so, the house is still contributing to the historic district, in part because the prominence and size of the house overall still dominate the façade, despite these alterations. But the loss of any additional historic integrity, such as the loss of the slate roof or replacement windows, could be enough to change this to a noncontributing building.

44. Description of Environment and Outbuildings

The lot faces southwest onto Ravinia south of the intersection with Marlboro Court, which forms the north side of the property. The house is elevated from the street and there are rock faced stone retaining walls cut into the hillside to access the façade entry to the garage in the basement level, below a front terrace. There is also a tiered concrete sidewalk angling off to the intersection of the two streets that leads to the front door.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commissio

48. Date

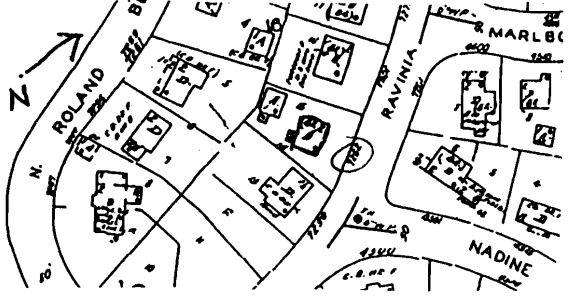
Sept. 2002

49. Revision Dates

7261 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0219		4. Present Name(s) Dale, Lynn, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Dobbin, Alex and Vera, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7262 Ravinia Dr. -- Pts 14, 15, Block 16		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	30. Foundation Material limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Cross Gable, comp. shingle
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment red, yellow, green brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular-orig.
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Dale, Lynn	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.

HISTORIC INVENTORY

This two story, cross gabled, multicolored (red, mustard yellow and various greens) brick house has what appears to be a replacement, gray, composition shingle roof (which was probably a slate roof originally). The foundation is rock faced ashlar limestone, which is exposed on the north side because of the slope of the land and the adjacent driveway cut lower on the lot. The façade is divided into two bays with a gable end bay having wide siding in the gable end, as well as an attic level porthole window (with grid work muntins). Below, on the second floor are two sashed windows, both 6 x 6 wood sashed windows. The first floor has a canted, hipped roof bay window with a replacement composition shingle roof and brick walls below the sill line. The bay window has 4 x 4 wood sashed windows flanking the 8x8 wood sashed window. The north bay has a small gabled wall dormer with a round arched transom above the second floor 3 x 6 wood sashed window. Together these form the classical Palladian arched window. There is a brick lintel with stone keystone and stone bases to the arched lintel. The entry door below has a broken pediment with urn and entablature above flanking flat pilasters. The pediment has deep crown molding. The door is a wood paneled door with two shoulder arched, leaded glass lights in the upper door. The concrete stoop and steps have been modified, replacing what was probably originally a decorative iron railing with a turned wood railing that extends down both sides of the steps as well as surrounds the top of the stoop. There is a tiered, curved, concrete sidewalk out to the single car, concrete driveway that abuts the north side of the house. On the south side is a large end wall brick chimney. There is a secondary entry at the grade on the north side that has a shed roof supported by decorative braces. On the back is a one-story frame porch wing that now has siding. At the west corner of the lot is a detached, two car, end gabled, matching brick garage that has multipaneled overhead door that has paired lights in the upper panels. The gable end has siding. It is not clear if the siding in both the house and garage gable end is original or not, but if not, it replaces a similar material and retains the molding trim around the edge of the eave. The house does have aluminum combination storm windows, but the sash line of the round arched window does not align with its storm window, an unfortunate visual effect on this prominent detail. The most significant alteration was the selection of turned wood porch railings, a treatment that was not used on houses of this era or anywhere else in Pasadena Hills. Because of its visual prominence, this minor alteration seriously affects the visual balance of the façade design, drawing attention away from the entry door and away from the other façade wall details. However, this is not significant enough to make this a noncontributing building in the historic district.

43. History and Significance

The assessor estimated the year built as 1938, which is fairly accurate, but it must have been started at least in 1937 since it appears in the 1938 city directory as the home of Alex and Vera Dobbin. His occupation was listed as commission merchant. They continued to live in the house at least through 1943, but the next directory was not published until 1946, after the war, and by then, William F. and Mary M. Scheff had moved into the house. He was originally listed as president of Scheff Manufacturing (also manager of Universal Manufacturing Company), but by 1955 he was simply identified as on the board of directors for the Norwood Hills Country Club, one of the nearby suburban country clubs that was attracting residents to these new suburbs, including Pasadena Hills. This house is a nicely proportioned, Colonial Revival design, utilizing the characteristic multipaned windows and classical details (pedimented entry and Palladian arched window), but it is more loosely interpreted than earlier examples. It is highly unusual to have both an attached garage and a detached garage at the rear of the property.

44. Description of Environment and Outbuildings

The lot faces northeast onto Ravinia near the intersection with Nadine Court. The ground is slightly elevated on the façade, with the driveway graded at a lower level to lessen the impact of this feature. It is a concrete driveway that extends from the street to the rear, detached, two car, end gabled, brick garage. There is a curved, tiered concrete sidewalk leading up to the front entry stoop. The driveway has a concrete filler between this property and the adjacent property's driveway near the front of the property.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002


49. Revision Dates

7262 RAVINIA DR.
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0220		4. Present Name(s) Harold, Warren M. & Angie Walker, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Kempfer, Edwin Y. and Olinda A., House	
3. Location of Negatives Missouri Historic Preservation Office		16. Thematic Category	
6. Specific Location 7264 Ravinia Dr. -- Pts 15, 17, Lot 16, Block 16		17. Date(s) or Period 1931-1932	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		18. Style or Design Italian Renaissance influenced	
8. Site Plan with North Arrow 		19. Architect or Engineer Julius E. Tarling	
9. Coordinates Lat Long		20. Contractor or Builder	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Harold, Warren M. & Angie Walker	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
27. Other surveys in which included None		28. No. of Stories 2	
29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		30. Foundation Material limestone	
31. Wall Construction load bearing masonry-brick		32. Roof Type, Material hipped; clay tile	
33. No. of Bays FRONT 3+1 SIDE		34. Wall Treatment Brick/ Limestone	
35. Plan Shape asymmetrical		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
37. Condition Interior Exterior Good		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
41. Distance from and Frontage on Rd.			

HISTORIC INVENTORY

This two story, red textured brick house has a French interlocking clay tile, hipped roof with wide eaves. Although the roof tile is basically red, there are other colors laid in a regular pattern to break up the red roof color. The foundation is rock faced ashlar limestone that extends up the brick walls at the corner. The façade is divided into three bays with an additional one story sunroom wing on the north side (this sunroom does not show up on the 1967 fire insurance map but it has the same foundation and appears original to the building's construction). The south bay actually projects slightly with a hipped two story high roof that is not as tall as the main roof. It has paired, sashed, 3 x 1 wood windows (vertical lights) on the second floor and a large canted bay with a tile roof and brick walls with stone sills and quoined corners and brick walls below the sills. The bay window has paired casements on either side of double paired casements all with transoms and diamond, patterned lights. The center bay has a paired casement window with transom above the entry, again with leaded glass. The entry has a hipped tiled roof over the entry stoop and slightly recessed entry. The rectangular door has an interesting leaded glass pattern. The porch floor is limestone and connects to a tiered, concrete serpentine sidewalk to the street. The north bay has paired, 3 x 1 wood sashed windows (vertical lights) over the double paired casement windows with transoms with diamond pattern, beveled glass on the first floor. This window has a broad, dressed stone lintel. There is a large, brick end wall chimney on the north. The one story, brick porch wing on the north side is screened. There is also a small concrete porch off the back door. The two car garage in the basement of the house is accessed from the south side and has a small red tile overhang over the entry. There is also a decorative brick wall with limestone caps on the side of the house.

43. History and Significance

The building permit for this house was issued to Edwin H. Kempfer on September 17, 1931. He and his wife, Olinda A. moved into their new home before 1934, but were not listed in the 1932 city directory (many in Pasadena Hills were omitted in that directory). The family continued to live in this house and by 1953 she resided here as a widow. City directory research ended in 1955, but Olinda Kempfer still lived in the house at that time. This was apparently their retirement home since he was only identified by occupation in 1936 and 1938 as a superintendent. They contracted with Julius E. Tarling to design their house. He was a popular architect in Pasadena Hills, but this is one of his earlier commissions and one of his more unusual designs. It reveals the influence of the Italian Renaissance style, popular at this time, a style that is noted for its massive, tile, hipped roof with wide eaves, second floor windows that are shorter than the first, classical design details (such as quoining) as well as arched window openings especially above entrances, features that can be seen in this design. However, the limestone foundation extends up at the corners, it has casement windows with leaded glass transoms, and a massive end wall chimney, all more commonly found on Tudor Revival designs; the vertical lights in the upper sashes are a Craftsman influence. Despite the eclectic nature of the design, Tarling's design is a nice composition, slightly more formal than others in the neighborhood. As is characteristic of the early development of this commuter suburb, this house has the 2 car garage designed into the basement, in this case, clearly identified as "fireproof construction."

44. Description of Environment and Outbuildings

The lot elevates the façade slightly from the street and disguises the driveway cut along south side elevation to connect to the basement level garage entry. There is also a tiered, serpentine, concrete sidewalk extending from the front entry to the street. There is a brick wall with limestone caps and ball on the side of the house.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 17, 1931.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

49. Revision Dates

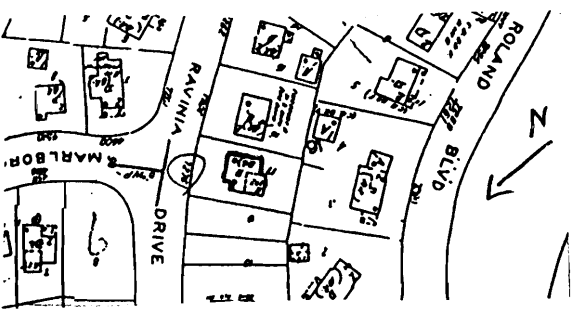
Sept. 2002

7264 LAVINIA DR
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0221		4. Present Name(s) Stuart, Theresa, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Vitale, Nicholas S. and Marie, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7276 Ravinia Dr. -- Pts 17, 19 Lot 18, Block 16		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935-1936	
8. Site Plan with North Arrow 		18. Style or Design French Eclectic	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Moresi and Nauman	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Stuart, Theresa	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material cross gable, orig.slate now comp.s	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. ADDITION <input type="checkbox"/> Changes (explain in #42) ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

This two story cross gabled house has multicolored (reddish orange, burnt red, cream) brick walls that in some areas are treated as half timbered accents and in other areas contrasted by the rock faced ashlar limestone of the foundation and tower. The façade is divided into three bays with the south bay being the side gabled section with a gable through the cornice above the paired, second floor, 6 x 6 wood sashed windows. The second floor of this bay is brick, half timbered with varied decorative brick patterns. Below is a triple window unit of 4 x 4 wood sashed windows with a scalloped timber lintel that is off-centered to the north end of this bay, which is actually a side porch with French doors on the south side wall of the middle gabled bay. There is a limestone patio floor with rock faced, ashlar stone sitting walls. The middle, gabled bay is actually a projecting wing which is split by a massive end wall, tapered, brick chimney with a soldier course cap. This bay is also divided horizontally by a projecting continuous lintel course above the first floor windows. On each side of the chimney is a 6 x 6 wood sashed window on the second floor with wood beam lintels and a 6 x 9 wood sashed window on the first floor where the rock faced, ashlar stone foundation extends to the sill. The north side of this wing has a matching set of windows. The north bay on the façade is made of overlapping elements with the back layer formed by a shorter side gabled wing that houses what used to be the attached garage wing (its entry has been closed off with vinyl siding on the back elevation) and in front of this is the rock faced, ashlar stone, round tower that has two narrow slit windows, one 4 light transom over a 10 light casement and the other 4 lights over 6 lights. In front of this tower is a shed roof extension of the middle gable roof, that forms a shallow vestibule entry. The entry has contrasting rock faced surround on the doorway with a slightly arched lintel and slightly flared sides at the top on each side. The door is recessed in the opening and is an oak, plank door with rectangular, leaded glass light. It has a wood screen door. The entry stoop is flagstone and there is a curved, tiered sidewalk over to the concrete driveway that extends from the street along the north side of the house to access what was originally a rear garage entry. There is another massive brick chimney on the south elevation. The windows have aluminum storm windows, which appear to be the only alterations visible on the façade, but these are minor. The fire insurance map appears not to be drawn correctly since it omits the south end of the house (the south bay of the façade) but this appears to be original to the design. The house currently has a composition shingle roof but it is unclear whether this was the original roofing material; more likely it was red tile or slate.

43. History and Significance

The building permit for this house was issued to Moresi and Nauman (2700 N. Grand Blvd.) on June 3, 1935. It is one of the few examples of a less popular style known as French Eclectic which shares many of the characteristics of Tudor Revival but is derived from the French country houses. It utilizes a variety of masonry materials and patterns (half timber brick, multicolored brick, rock faced ashlar stone), steeply pitched and varied rooflines, massive end wall chimneys, multi-paned windows and the distinctive interior corner tower with a conical roof. This house was built for Nicholas S. and Marie Vitale. He was a physician with offices at 3861 St. Louis Avenue. They continued to live in the house at least through 1955 when city directory research ended. Because of its uncommon architectural style, if the house retains its original roofing material and if the historic interior is basically intact, this house might be individually eligible to the National Register as long as the architect can be identified.

44. Description of Environment and Outbuildings

The lot faces northeast onto Ravinia and is basically level. There is a concrete driveway extending along the north side of the property and adjacent to the north wall to access what was originally a rear entry, attached garage. There is a short, curved, tiered, concrete sidewalk to the front door from the driveway.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 17, 1931.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Sept. 2002

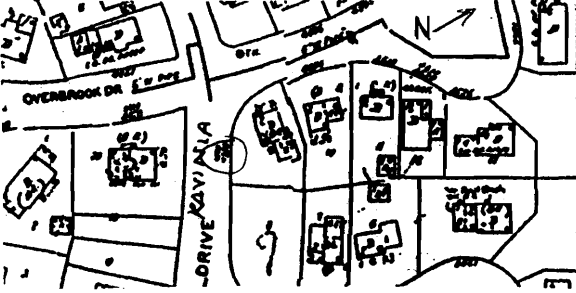
49. Revision Dates

7276 RAVINIA DR
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0222		4. Present Name(s) Hanrahan, Debra., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Hausstette, Elmer H. and Lucille, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7289 Ravinia Dr. -- Lot 9 and Pt. 10, Block 21		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937-1938	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hanrahan, Debra A., et.al.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable - Slate	
		33. No. of Bays FRONT 1+3+1 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior <input type="checkbox"/> Exterior <input checked="" type="checkbox"/> Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, multicolored (red, dark red, cream) colored brick, house has a side gabled, multicolored (grays and red) slate roof. The foundation is rock faced, ashlar limestone as is the lower half of the first floor entry vestibule. The house has a copper gutter system. The façade is divided into 5 bays, three on the main house side gable and one wing on each side: a two story hipped roof sun porch on the west and a one story, side gabled garage on the east, both of which are recessed back from the main façade. The main house façade has a central, two story, slightly projecting gabled bay which has a decorative bargeboard and boxed cornice. On the second floor is a stained glass, wood casement window with a soldier course lintel. Below, it appears that there was originally a small iron faux balcony that has been removed recently. The first and second floor are separated by a brick soldier course with a brick dentil course under the slight overhang. The entry has a compound brick round arch above dressed stone, angled sides into the entry. The door is recessed in this opening and made of stained, oak. It is a round arched, wood paneled door with a stained glass light. There is a concrete slab stoop which barely steps down to the concrete sidewalk that angles off toward the street. The west bay has a gabled wall dormer with paired 1 x 1 replacement aluminum insulated windows on the second floor above a triple wood framed, leaded glass casement window unit with triple casements. These have some stained glass in the upper portion of the casements. The both window units have soldier course lintels and the first floor window has a projecting dentil course cap. The east bay has a barrel arched wall dormer and a single 1 x 1 aluminum replacement window with soldier course lintel on the second floor that visually connects and aligns with the top of the swayback standing seam metal, hipped roof of the canted bay window. This bay window has similar casement windows with one on each side and two in the middle, but they are larger than the ones in the west bay. There is a two story, hipped roofed, brick sun porch wing on the west elevation that has been enclosed within the openings with simple 1 x 1 aluminum sashed windows, maintaining much of the transparency of what was probably either completely open or screened. There is also a large end wall brick chimney on this side of the house. There is a two car, attached, side gabled brick garage wing on the east side that has an entry on the east side, rather than the façade. It has a replacement steel garage door. On the rear, are leaded glass casement windows and an bay window (overhanging) that has its original wood siding but with new insulated aluminum sashed window. The front entry has an aluminum storm door that obscures the view of the unique front door and where there are aluminum insulated replacement windows, the outside trim has been wrapped with aluminum. While the replacement of the some of the original windows with simple 1 x 1 sashed windows is regrettable since the originals were probably multipaned, the alterations on this house have not severely impacted the historic integrity of the building, because it still retains its original massing and major visual elements (masonry details, size of openings, slate roof, unique front door and casement windows. However, the additional loss of any more historic elements could make this a noncontributing building, whether that is the replacement of the slate roof (with non-slate), casement windows, or the door. It is hoped that the removal of the iron balcony on the façade is a temporary measure since it affects the balance of that portion of the façade.

43. History and Significance

The building permit was issued to Mr. H. Pueser of 6809 Natural Bridge Road on April 26, 1937. Since Pueser never lived in the house, it is likely that he was either the developer or the contractor on this property. The assessor estimated the year built as 1938, which is probably accurate since it was listed as vacant in the 1938 directory. By 1939, it was listed as the home of Elmer H. and Lucille Hausstette. He was an agent for Cannon Mills, Inc., at least by the mid-1940s. This house is a nicely balanced Tudor Revival design, with more reserved detailing than many other examples in the neighborhood. The multicolored brick and slate as well as the contrasting rock faced ashlar and dressed limestone on the entry provide the visual variety that helps characterize this as a Tudor Revival design, as do the various rooflines and façade setbacks. Unfortunately, the replacement of some of the upper sashed windows with simple 1 x 1 windows, instead of what was probably a multipaned design, creates visual voids where before there would have been a textural pattern and visual variety. However, this alternation does not substantially change the overall architectural integrity of this complex house form and it is still a contributing building in this historic district.

44. Description of Environment and Outbuildings

There is a concrete driveway along the east side of the property back to the side entry to the attached garage. There is also a concrete sidewalk that angles from the entry to the street near the corner of Ravinia and Overbrook where this lot is positioned on the northeast corner. The house faces Ravinia, to the south.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, April 26, 1937.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date


Sept. 2002

49. Revision Dates

7289 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039-0223		4. Present Name(s) Carr, Curtis Jr, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: O'Bar, Oliver	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7301 Ravinia Dr. -- Lot 13, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1940	
8. Site Plan with North Arrow 		18. Style or Design Prairie	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Carr, Jr., Curtis	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material hipped, orig.slate now comp.shing	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This is a two story, shallow hipped roof house with extremely wide, enclosed eaves. The walls are textured, buff colored brick and the house retains its original copper gutters and collector box, but the roof has been replaced with asphalt shingles, which seems like it is a replacement material, although it could be originally composition shingles given the age of the house. The façade is divided into four bays. The two story, roofed section of the house includes the west bay of the house as well as the middle bay with a one story bay on the east that has a full length terrace on the second floor that was originally open, but has been enclosed as a greenhouse. The west bay has a large corner window that has been replaced with a vinyl sliding window. Below on the first floor is the entry porch with its shallow, wide eaves, shed roof that wraps the corner and overhangs with simple posts to the brick half wall on the porch, with its multicolored quarry tile entry at grade. The entry door is a wood door with inverted V grooved lines. It has an aluminum storm door. There is a narrow window to the west of the entry door. The two upper bays of the façade are connected by a series of brick stringcourses, the bottom one being a continuous sill line. The middle bay has a glass block window on the second floor and a large picture window (with narrow lights flanking the large middle pane (now vinyl replacement windows)). The east bay has a glass block window that wraps the corner onto the east elevation. At the back of this elevation is another entry with a shallow hipped roof with very wide eaves with simple corner posts. This has French doors (5 lights each with a wood panel side lights. The floor is concrete. The one story hipped roof garage wing on the west side includes a one car garage with its original inverted V paneled wood door as well as the original open carport. There is fluted glass block "window" around the top of the sides and rear of the garage. The architectural integrity of this house has been seriously impacted by later alterations, especially the greenhouse and vinyl replacement windows. It appears that the glass block is original to this house. Because of these alterations, the house is no longer individually eligible to the National Register, but because its Prairie style design is so distinctive and the basic form of the house is still intact, the house is still a contributing building to the historic district.

43. History and Significance

There are blueprints on file in city hall, dated 1939, for this building, but the architect is not identified. The assessor estimated the year built as 1940, which seems accurate given these plans and the fact that the house is not listed in the 1939 city directory, but is listed in 1941 as the new home of Dr. Oliver O'Bar, a physician. He would continue to live in the house through 1953. By 1955, John G. and Kathryn Linsin had moved into the house. Without the loss of original windows and the addition of a greenhouse, this house would most likely be individually eligible for the National Register because of its unusual styling, as a distinctive example of what is often termed Prairie style or Wrightian, named after Frank Lloyd Wright, the architect most closely associated with the development of this style. In this example can be found many of the features that distinguish these designs from other popular styles of the same period, features that emphasize the horizontal lines and the transparency between the interior and exterior, seemingly merging the two spaces. This house has a low pitched hipped roof with extremely wide eaves and even shallow hipped and shed roof porches that extend the horizontal appearance far beyond the actual body of the house. This horizontality is also emphasized by brick banding, terraces and clustered, broad expanses of windows. The use of second floor terrace and corner windows help make the exterior and interior spaces merge. Despite the addition of a greenhouse roof on the second floor terrace and the vinyl framed replacement windows, this house is one of the most distinctive homes in Pasadena Hills, done in a style that is not seen elsewhere in the community.

44. Description of Environment and Outbuildings

This corner lot is located on the northwest corner of Overbrook and Ravinia. It is basically flat. There is a driveway extending from Ravinia to the façade garage door. There is a sidewalk from the driveway to the front entry porch.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

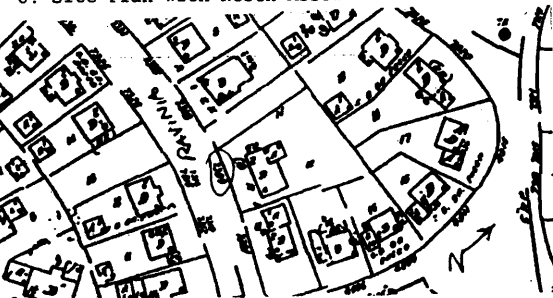
Sept. 2002

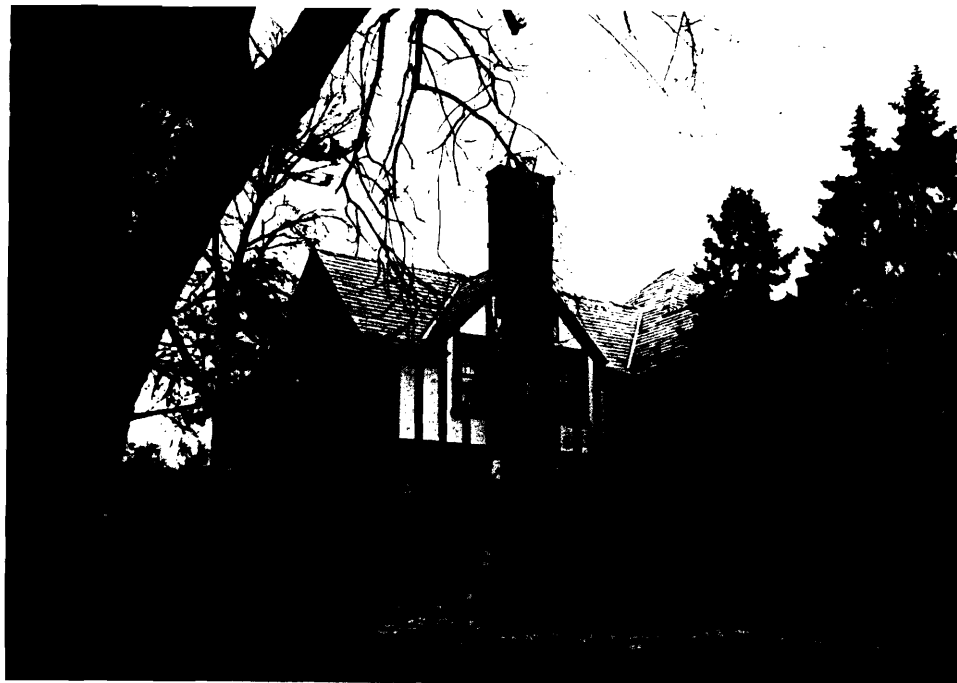
49. Revision Dates

7301 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0224		4. Present Name(s) Thomas, Leyland A. & Bettye J., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Twiellenmeier, Claude V. and Irene, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7309 Ravinia Dr. -- Pt 11, Lot 12, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Thomas, Leyland A. and Bettye J.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry brick	
		32. Roof Type, Material Hip & Gable - Slate	
		33. No. of Bays FRONT 5 SIDE	
		34. Wall Treatment Multicolored Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, multicolored (red, mustard, green) textured brick house is divided into two primary bays, the east half hipped with the west half side gabled as well as having a hipped roofed, one story sunroom on the west side of the house and another two story wing on the back that has a ground level, two car garage below a second floor sun porch. Unlike most other examples in Pasadena Hills, this house has a slight eave overhang on the multicolored slate roof (grays with red tiles). The east half of the façade is divided into two bays with the west half being a projecting gabled vestibule. There is a gabled wall dormer on the east half that has half timbered stucco gable end and paired, sashed windows that have leaded, (small rectangular lights) upper sashes. The wood beam lintel is scalloped to give it a hand hewn appearance. Below is a bay window that is actually a slightly projecting triple window unit with a standing seam, flared, hipped roof. It has three, wood sashed windows with leaded panes in the upper sash that create a multipaned appearance but also have stained glass sections. Below this window is a dressed stone sill that caps a rock faced, ashlar limestone wall that forms a slight wing wall on the east in front of the façade wall and has stacked stone on the west end on top of the ledge created by the extension of the dressed stone sill. Behind, the east corner of the façade a stone wing wall that extends up the side nearly halfway to the roof. The gabled vestibule to the west has a projecting brick diamond pattern on the upper level façade wall and a bay window on the second floor with leaded glass windows on both sides of the triangular shaped bay. The entry is recessed with dressed stone quoins and a slightly arched top that is outlined with a crowned molding trim around the stone lintel. The door is wood paneled with a small rectangular window. The front entry has a wood screen door which may be original. The floor of the recessed entry is also limestone and there is a slab entry porch, barely above grade that has wrought iron railings in a twisted rod pattern that was commonly installed in the 1960s, but not in the 1930s. On either side of the entry is a narrow, leaded glass (diamond pattern) window with an inverted splayed lintel. There is a stone wing wall at the base of each side of the vestibule and the brick at the top, gable end also flares out. To the west, the façade is side gabled and it is divided into two bay by a massive end wall chimney with decorative chimney pots and elaborate brickwork detailing on the tiered chimney, especially on the upper portion above the roofline. The chimney also has stone creating the appearance of wing walls at its base and rock faced stone at each corner step up the shaft. Behind and split by this chimney is a wide, gabled wall dormer with a wood sashed window on each side that has multipaned, leaded glass in the upper sash and a clipped corner on each upper sash, rounding the corners. To give the upper level the appearance of an overhanging bay, most of this level is faced with stucco half timbering (including the gabled wall dormer) and has small modillions at the base. The first floor on each side has paired, sashed, transomed, segmental arched windows. The transoms and upper sashed are leaded multipaned units and the upper sashes have stained glass details. Several stones are clustered on each side at the base of the segmental arched openings. There is an additional stone wing wall on the west end of the façade, similar to the one on the east end and the rock faced ashlar limestone foundation connects across the façade and these wing walls. The west elevation has a sashed window on the second floor and wavy butt wood siding in the upper gable end. The gables actually flare out with the eave overhang. The first floor has a screened (probably originally) one story hipped porch with brick walls and a rock faced ashlar limestone foundation. The east elevation has another, smaller end wall, stepped brick chimney that is not as elaborately detailed, but still has a decorative chimney pot to match the façade chimney. The chimney splits asymmetrically, the massive, hipped wall dormer that spans most of this elevation and there are sashed windows near each edge of this wall dormer. There are also additional windows on the first floor near each corner. On the back is a wing that projects off the west end of the back elevation that has an enclosed sun porch on the second floor (all windows between the brick piers) and a two car garage.

43. History and Significance

The assessor estimated the date of construction for this house as 1936, which is fairly accurate since the house does not appear in the 1936 directory (no one living there at that time), but does appear in the 1938 directory as the new home of Claude V. and Irene (recorded once as Veronica) Twiellenmeier. He was listed as working for Crescent Planing Mill as the secretary-treasurer. They would continue to live in the house at least through 1955 when city directory research ended. This is a nicely detailed Tudor Revival design, which combines gabled and hipped roofs as well as both hipped and gabled wall dormers to create the visual variety on the roofline that defines this style. It also utilizes the characteristic variation of wall materials, the patterned brick, the contrasting ashlar stone and half timbered stuccoed wall surfaces, as well as typical masonry details such as the wing walls of stone, and massive decorative chimneys. Even the windows are elaborately detailed with leaded and stained glass, as well as a variety of shapes.

44. Description of Environment and Outbuildings

The lot is basically level and faces south onto Ravinia with a concrete driveway on the west side of the property that extends back to the rear entrance garage in the back wing of the house. Much of the façade is hidden behind the overgrown evergreen shrubs,

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002

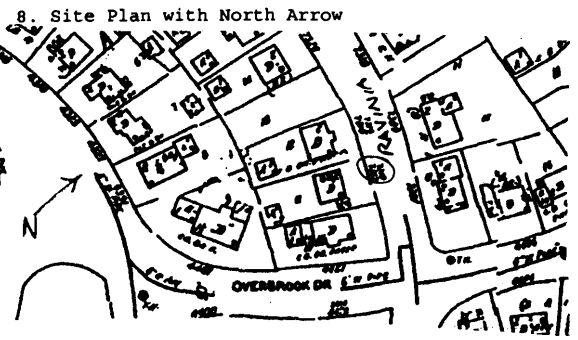
49. Revision Dates

7309 RAVINIA DR.
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0225		4. Present Name(s) Hearn, Mark A. & Melissa A., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Sprich, Charles E. and Hazel M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7312 Ravinia Dr. -- Lot 11, Block 15		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937	
8. Site Plan with North Arrow 		18. Style or Design French Eclectic	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor Moresi-Nauman, Associated or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hearn, Mark A. and Melissa A.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Stone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hipped, Brown Slate	
		33. No. of Bays FRONT 4 SIDE 2	
		34. Wall Treatment Brick, red, brown, tan.	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, steeply pitched hipped roof house has multicolored (red, brown, tan) brick walls with a brown slate roof and copper gutters. The foundation is rock faced ashlar limestone. The façade is divided into four visual bays with the west bay having a 6 x 6 wood sashed window on both levels. The second floor window, like those on the west elevation, extends up to the eaves. The first floor window has a splayed brick lintel. Below the second floor window is a window box. The bay to the east has a large, conical roofed tower that has half timbered walls and a two diamond pattern leaded and stained glass (green, yellow, red) wood sashed windows, but it overhangs the flat, first floor brick façade where there is a simple, segmental arched, recessed opening for the entry door. The arched wood plank door has a large, diamond pattern leaded glass light in the upper portion of the door. The door is aligned centered under the conical roof, but the façade wall overlaps a portion of the tower to make it look asymmetrical. There is a low brick stoop and one step extending down to the sidewalk. To the east of the entry is a diamond pattern stained glass window (green, yellow, red) and it has a inverted splayed lintel and brick sill. The east bay of the house has a gabled wall dormer with half timbering in the gable end and paired, 6 x 6 wood sashed windows. This dormer creates a slight overhang, with small modillions underneath. On the first floor are paired, wood sashed windows with both diamond pattern and 6 x 6 leaded glass patterning. Above is an inverted splayed lintel. The east bay forms the porte cochere that has a shed roof that is an extension down from the hipped roof over the eastern half of this bay. This porte cochere only extends back about half the width of the east elevation. The front opening to the porte cochere is a round arch, outlined with brick, while the side and back openings are rectangular. There is a wood side entry door with leaded glass light under this porte cochere and behind it are sashed windows on both levels of the east elevation. The west elevation has a tapered brick chimney with a corbelled cap that splits that elevation into two bays with 6 x 6 wood sashed windows on each level. There is a small, frame porch on the rear. The concrete driveway extends through this porte cochere to access the detached, hipped roof, two car garage at the rear of the property. The garage has matching brick walls and slate roof. The two doors are wood paneled with a top row of glass.

43. History and Significance

On March 7, 1936, the building permit for this house was taken out by Moresi-Nauman, Associated (2700 N. Grand Boulevard), apparently the builders on this project. They also built several other homes in the neighborhood. There are also plans on file in city hall, dated 1937, for this address, but unfortunately, the architect is not identified on the plans. Since the permit was taken out the previous year, these must represent a revised set of plans. There are also plans on file for an addition to the porch designed by Harry H. Kelly, but these plans are not dated. It is interesting to note that the permit was actually issued for 7304 Ravinia Drive, although that address was identified as lot 11, block 15 on the permit, which is now addressed as 7312 Ravinia. On the 1967 fire insurance map, the old address number of 7300 was also identified, along with 7312. However, it was always listed as 7312 in the city directory, first in 1938 as the home of Charles E. and Hazel M. Sprich. He was identified as a clerk in St. Louis, later as a clerk for the SF Railway. The Sprichs continued to live in this house through 1949, at least. With the publication of the next directory in 1953, Harry H. and Dorothy Kelly had moved into the house. He was an industrial engineer for Granite City Steel Company. This is one of the few examples of the French Eclectic style in Pasadena Hills, a style that is very similar to Tudor Revival, but derived, as the name implies, from French country homes, not English. As evidenced in this house, the style is characterized by a steeply pitched hipped roof, and conical roofed tower with simple brick walls. Even the visual fold in the roof, created by the shed roof extension over the outer half of the arched side porch is characteristic of this style. The use of multipaned windows, a simple doorway, and even the half timbering are common features found on French Eclectic designs.

44. Description of Environment and Outbuildings

The lot is basically level, with a concrete sidewalk from the front door to the street and a one car, concrete driveway from the street through the porte cochere to the detached, slate hipped roof, two car brick garage at the southeast corner of the lot.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, March 7, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002

49. Revision Dates

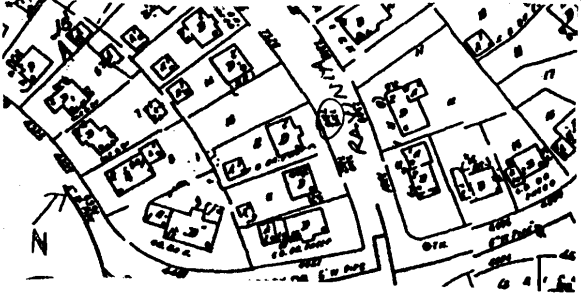
7312 RAVINIA DR
PASADENA HILLS







HISTORIC INVENTORY

1. No. SLAS039 - 0226		4. Present Name(s) Sargent, Edward & Benita, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Kenny, Patrick S. and Stella M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7316 Ravinia Dr. -- Lot 12, Block 15		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1954	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Sargent, Edward and Benita	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material concrete block	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material side gabled, comp.shingles	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Brick, yellow, brown, red	
		35. Plan Shape rectangular orig.	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, multicolored (yellow, brown, red) brick house has a brown composition shingle roof. Given the age of the building it is likely that this is a replacement of a similar, original roofing. The foundation is concrete block. The façade is divided into three bays with an 8x12 wood sashed window with shutters on the first floor of the west bay. This window has a soldier course lintel similar to that of the first floor window in the east bay, which is a triple window unit with shutters (4 x 6 wood sashed windows flank a 6 x 9 wood sashed window). Above, in each outer bay is a shuttered, 8 x 8 wood sashed window. The center bay is gabled and projects slightly. The fascia board and cornice forms gable end returns. There are two small 6 x 6 wood sashed windows on the second floor above the entry. The entry has flanking fluted pilaster strips supporting an entablature. The door is a painted, wood paneled door with four shoulder arched small lights across the top of the door. The original porch lanterns have been replaced. There is a concrete stoop with a wrought iron railing which is probably original. The east side elevation has sashed windows, two on the second floor and one near the rear on the first floor. There is also an attic level, fluted rectangular vent. The west elevation has a brick end wall chimney that barely extends above the gable peak and has a broad brick cap and paired chimney pots. There are sashed windows on both levels on either side of the chimney. Aluminum awnings have been added to all windows on this elevation. On the back of the house is a one story, sided, addition with a composition shingle roof (black) that has been added at some point after the 1967 fire insurance map was completed. At the southeast corner of the property is a detached, two car, brick, end gabled garage with weatherboard siding in the gable end and an aluminum overhead door. The only visible alterations to the house are the addition of aluminum combination storm windows and a full view storm door.

43. History and Significance

The assessor estimates the year built as 1954, which must be fairly accurate since the house is not listed in the 1953 city directory, but is listed in the 1955 directory as the home of Patrick S. and Stella M. Kenny. He was a grocer at 3942 Parnell in St. Louis. This is a nice example of the popular Colonial Revival variation known as Georgian Revival, which is characterized by its side gable, two story form. Georgian Revival style houses usually had symmetrical facades, but this example has a slight variation created by the triple window to the east of the entry. However, it has many of the distinguishing features associated with this style: multipaned and shuttered windows, classical revival entry details, and even a minimal entry stoop. In this case, the slightly projecting gabled entry bay creates a more prominent entry than found on most other examples in Pasadena Hills.

44. Description of Environment and Outbuildings

The lot is basically flat and faces north onto Ravinia. There is a single car width concrete driveway along the east side of the property and adjacent to the east elevation of the house that extends back to the southeast corner where there is a detached, two car, end gabled, brick garage with weatherboard siding in the gable end and an aluminum overhead door. There is also a concrete sidewalk that curves from mid-driveway to the front entry.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date


Sept. 2002

49. Revision Dates

7316 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0227		4. Present Name(s) Dehne, Ralph E. & Dorothea K., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Rutkowski, Walter L. and Evelyn J., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7319 Ravinia Dr. -- Lot 10, Pt 11, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931	
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	
		19. Architect or Engineer A. F. & Arthur Stouder	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Dehne, Ralph E. and Dorothea K.	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		28. No. of Stories 1.5	
15. Name of Established District Pasadena Hills Historic District		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material cross gable, brown orig.slate now	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Textured brick, yellow, red, brow	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This 1.5 story, side gabled house has multicolored (yellow, red, brown) textured brick walls with a rock faced, ashlar limestone foundation that is capped by a brick stringcourse. The roof is brown composition shingles and the gutter system is copper. The original roof may also have been composition shingles given the age of the house, but most houses in Pasadena Hills of this era had slate roofing. The façade is divided into three bays with a 1.5 story, wide, cross gabled, slightly projecting wing on the west end that has a slight flaring of the brick out at the gable ends. This bay has a single, 1 x 1 wood sashed window on the second floor with a soldier course lintel that extends to the edges of the roof. Above, the gable end is finished with basket weave brick patterning. Below there are two, triple window units framed with dressed stone sills, lintels, and quoining. Each unit has stained glass (yellow, blue, green) transoms above the diamond pattern, beveled, clear glass casement windows. Each section is divided by a heavy wood mullion. The center bay steps back from the west bay and is the most complex since it serves as the entry vestibule. Its steeply sloped, end gable roof sways down on the east side to meet the end of the gable on the side porch to the east and on the west side it merges into the stepped chimney shaft that has a dressed stone cap and single spiral chimney pot. Unlike most chimneys in Pasadena Hills, this one is internal, flush with the façade wall. There is a soldier course that extends across the façade of this bay, including the chimney and intersects the base of the round arch, brick lintel (there are dressed stone blocks at this intersection) of the round arched, diamond pattern stained glass (green, yellow, blue) wood framed window. This window has a iron railing faux-balcony that mirrors the diamond patterning of the window. This window and balcony are centered under the gable ridge. On the west half of the lower level of this vestibule bay are two small, vertical, diamond pattern stained glass, wood framed windows with stepped triangular shaped lintels with a distinct decorative brick pattern. These windows are tiered, with the west one higher (possibly indicating a staircase inside). To the east is the round arched doorway which is framed in dressed limestone that forms quoins on the sides. The door is a stained wood plank door with three small diamond pattern stained glass lights. The two outer ones are smaller and rectangular while the middle one is round arched. There is a broad porch stoop that has a rock faced, ashlar limestone foundation and flagstone floor and steps that extends across the width of the vestibule bay and to the far east corner in front of the arched side porch wing of the east bay. The stoop has iron railings surrounding both the porch floor and on the steps, but the twisted rod design is one that was popular in the 1960s, not the 1930s, and it is probably a replacement of the original, which was probably similar to the balcony above. To the east of the door is a small porch lantern that appears to be original. Above, behind the gabled vestibule, on the main side gable of the roof is a shed roofed dormer with two diamond pattern single light wood framed windows. The shed roof has a narrow eave overhang. Some of the windows on this house have aluminum combination storm windows and others have wood screens and it is likely that the screens are original while the storms are additions. The east bay is a corner porch that has paired round arched openings on each elevation and a corner brick pier. The arches are outlined with stone molding and then an arched brick course and rest on round columns in the center. The columns have Ionic capitals while the brick corner pier and brick pilasters on the outer ends all have crowned stone caps. This porch floor is also flagstone and there is a side entry door facing east as well as a wood sashed window on the north wall. The east elevation has paired sashed windows on the second floor and two sashed windows on the first floor before the wall steps back slightly. The back section across the house has an intersecting gabled, 1.5 story roof. The east elevation of this section has additional sashed windows and also an interior brick chimney that has a stone cap similar to the front but with two spiral chimney pots. The west elevation has a 1.5 story end gabled bay created by the main house gable which is flanked by the side gables of the intersecting gables on the front and back of the house. At the front, there is an additional triple, transomed, casement window unit matching the ones adjacent on the façade, including the stone framing and quoining. The gabled bay in the middle has a spiral chimney pot and matching stone chimney cap barely visible in the gable ridge. It has two sashed windows on the second floor and below are two elaborate, round arched, diamond pattern beveled and leaded glass, paired casement windows with elaborate stained glass, half round transoms. In the back bay on this elevation, there is a side entry door with another half round transom. Behind is a triple casement window. On the back there is a screened porch with brick supports and a concrete floor. The porch wing is only one story tall and it has a bead board ceiling. There is also a basement level, two car garage on the rear.

43. History and Significance

The building permit for this house was issued to Walter L. Rutkowski on April 29, 1931. At the time he was living in the Fairgrounds Hotel in north St. Louis. He and his wife, Evelyn J. Rutkowski moved into their new home by 1936. The city directory published for 1932 did not list many of the known buildings already completed in Pasadena Hills, so it is not unusual that it would not list this house, but the 1934 directory listed this address as vacant, usually an indication that the house was nearing completion at the time of canvassing for the directory. By the time the next directory was published in 1936, they had moved in. He was listed as president, but it did not list the company that year. Later, this was clarified, he was president and general manager of R. C. Can Company. It is likely that with the depth of the depression hitting just as they took out their building permit, that it took longer for them to complete their new home, but the end result was a nice example of a Tudor Revival design, one that utilizes a number of intersecting gable lines and contrasting stone details with multicolored brick walls, several round arched openings as well as a variety of leaded and stained glass window forms to highlight the design. Especially unusual on this house is the small iron balcony on the decorative window over the entry and the decorative chimney pots. The house was designed by fifth generation architects, still in business in Kirkwood, Missouri, A. F. and Arthur Stouder and it is the only known example of their work in Pasadena Hills. They completed the plans on April 24, 1931.

44. Description of Environment and Outbuildings

The lot is basically level and faces south onto Ravinia Drive. There is a concrete driveway along the east side of the house that extends to the back entry of the attached, two car, basement level garage. There is also a straight concrete sidewalk from the entry to the street.

45. Sources of Information

Dehne, Ralph and Dorothea, Personal Collection. [Plans for 7319 Ravine [sic] A. F. & Arthur Stouder, April 24, 1931]; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, April 29, 1931.

46. Prepared by / Organization

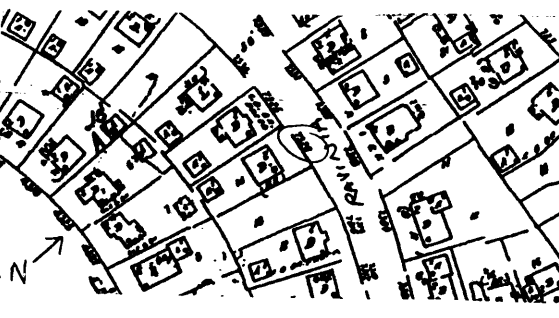
Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date 49. Revision Dates
Sept. 2002

7319 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0228		4. Present Name(s) Hodgson, Louise M., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Prior, Orlando H. and Katherine J., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7322 Ravinia Dr. -- Lots 13, 14, Block 15		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937 ca.	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hodgson, Louise M.,	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gabled, gray slate	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Textured Brick, red & light brown	
		35. Plan Shape rectangular-orig.	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, multicolored (red and light brown) textured brick house has a gray slate roof and aluminum replacement gutters. At each corner of the façade there is brick laid to create quoining and the side elevations have flanking, brick end wall chimneys with brick corbelled caps. The façade is divided into three vertical bays with 12 x 12 wood sashed windows with shutters on both floors of both outer bays and the first floor windows have splayed brick lintels with stone keystones. The center bay has a 6 x 6 wood sashed window above the elaborate entry. On either side of the slightly recessed, basket handle arch opening are fluted pilasters with crowned capitals supporting the pediment roof that has a heavy crowned cornice trim on the gables, but does not have a horizontal division or base above the arched opening. There is a small, original, porch light above the arch. The door has flanking wood sidelights of 8 lights with wood panels below. The door is a six panel wood door and there is a wooden storm door as well. Spanning this opening, both door and sidelights is a shallow arched fanlight. The entry stoop is concrete with a quarry tile cap and the two steps are on the east side and lead to a sidewalk adjacent to the façade that connects with two more steps down to the driveway along the east side of the house. The side elevations are both divided into two bays by the chimneys with multipaned sashed windows on each floor in each bay of the west elevation (east elevation was not visible because of the large trees). On the back of the house, east end is a two story addition that has been added since the 1967 fire insurance map was completed (it appears to be an addition since its lower wall is matching brick, but it does not continue the rock faced ashlar limestone foundation of the main house). This addition is mostly windows on both levels, but has siding between the floors. There is a two car, end gabled, matching brick garage that faces east and is located on the southwest corner of the lot. The only visible alterations, other than the addition appear to be the use of aluminum storm windows and the replacement gutters.

43. History and Significance

This house was previously addressed as 7328 Ravinia, but it placed the house out of number sequence and that number was reassigned to the house that had been addressed as 7326 Ravinia and the original 7328 Ravinia was renumbered as 7322 Ravinia, at least according to the 1967 fire insurance map. However, the city directory always had this house addressed as 7322 Ravinia. Other confusion is created by the assessor's estimate of the year built, 1925, which was before the subdivision was even platted. The city directory does not have any listings for 7322, 7326, or 7328 Ravinia until 1938 when 7322 Ravinia is listed as the home of Orlando H. and Katherine J. Prior. He was a dentist (one year identified as a physician, probably in error) and his wife was identified as his dental assistant. They continued to live at this address through 1941. By the time the next directory was published in 1943, Peter W. and Helen Goode had moved in. He was the secretary-treasurer of Be Mac Transport Company, Inc. in St. Louis and the Goodes continued to live in the house at least through 1955 when city directory research ended. It is likely, as a result, that the house was built around 1936-1937. This is a nice example of the Colonial Revival variant known as Georgian Revival, which is characterized by the side gabled, two story form, usually, as in this case, with a symmetrical façade divided into three bays. The use of flanking end wall chimneys, multipaned windows, shutters, keystone lintels, and the elaborate classical revival entry are all common features on this style. This example uses another classical revival motif, the brick quoining on the corners, making it one of the more elaborate examples of the Georgian Revival style in Pasadena Hills. This property also has a contributing detached two car garage, which was a common feature in this commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically level and faces north onto Ravinia. There is a single car, concrete driveway from the street along the east side of the property and adjacent to the east elevation of the house that extends back and curves to the two car, end gabled, brick garage on the southwest corner of the property. The sidewalk adjacent to the façade extends from the driveway to the front entry stoop with steps at each end.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Sept. 2002

49. Revision Dates


7322 RAVINIA DR
PASADENA HILLS







HISTORIC INVENTORY

1. No. SLAS039 - 0229		4. Present Name(s) Whiteley, Robert P. & Sharon D., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Schumacher, Cyril W. and Katherine House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7325 Ravinia Dr. -- Lot 9, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Whiteley, Robert P. & Sharon D.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Side Gabled, Tan Cement Tile	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Brick, red, green, yellow, brown	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, multicolored (red, green, yellow, brown) brick house has a tan, cement Spanish tile roof with cornice boards that have small modillions underneath and a fascia board, as well as copper gutters and downspouts (which are hidden next to the projecting center gabled bay). These form gable end returns on both the side elevations and on the front gabled bay, a broken pediment motif. There are flanking,, brick, end wall chimneys with corbelled brick caps and paired chimney pots (now with metal caps). There are brick quoins at the corners of the façade and the projecting bay. The foundation is rock faced ashlar limestone, but the façade brick walls are extended down to grade. There are 8 x8 wood sashed windows with 2 x 2 wooden storm windows on the second floor on either side of the central bay that extend up to use the fascia as a lintel. On the first floor there are 8 x 12 wood sashed windows with 2 x 2 (matching muntin lines with the meeting rail of the sashes) on either side of the central bay. These windows have splayed brick lintels with stone keystones. There is a porthole window with 9 light grid in the attic level of the central bay and a Palladian window on the second floor. This multipaned window unit consists of wood sashed windows that have a connecting brick lintel with a stone keystone. The entry below has a broken pediment with pineapple and a narrow entablature that spans above the narrow pilasters, sidelights and 6 panel wooden door. The sidelights have a large rectangular leaded glass light above a recessed wood panel. There is a concrete sill below this entry. The entry stoop is really a shallow concrete slab outlined with brick that steps down to the concrete sidewalk out to the street. The west elevation has triangular attic vents on either side of the chimney and sashed, multipaned windows on both levels flanking the chimney. The first floor windows have raised meeting rails like the façade windows. The foundation is exposed on this elevation and there are 2 light, wood awning windows in the basement aligned with the windows above. The east elevation has similar attic vents and second floor sashed windows, but it also has a rectangular opening in the chimney on the second floor. The first floor has a window matching the façade in front of the chimney, but a small window behind the chimney. There is a one car driveway along the east side of the house back to the detached, two car, side gabled, matching brick garage. It has a replacement aluminum overhead door and replacement composition shingle roof. On the back of the house is a two story, wood framed, enclosed porch with 12 x 1 windows on the first floor and 1 x 1 windows on the second floor. This porch wing appears to be original to the house, but the enclosure of the second floor windows probably is a more recent renovation. The assessor noted that renovations were completed in 1996, but these are not visible from the façade.

43. History and Significance

The building permit for this house was issued to Hall Realty Company on July 9, 1935. They apparently developed this property as a speculative venture. It was not listed in the 1936 city directory, but by 1938, new owners, Cyril W. (sometimes N.) and Katherine Schumacher had moved into the house. He was a physician. The couple continued to live in the house at least through 1943. With the publication of the next city directory in 1946, new owners had moved into the house. Louis R. and Elanor M. Flori lived in the house just a few years, last listed in the 1949 directory. He was president of his Flori Pipe Company. When the next directory was published in 1953, Melvin E. and Selma L. Staehle had moved into the house. He was a physician with offices nearby at 7124 Natural Bridge. This is a very formal example of the Colonial Revival style, a version known as Georgian Revival, which is noted for its side gable, three bay divisions and symmetrical facade. However, this example has exceptional detailing, including not only the typical multipaned windows, but also a Spanish tile roof, flanking end wall chimneys with corbelled caps and paired chimney pots, modillions under the cornice, a fascia board (which also create gable end returns), brick quoins at the corners of the façade and at the corners of the entry bay, and a Palladian window above the classical revival entry. As is typical of many homes in Pasadena Hills, it has a detached two car garage that was built at the same time, an indication of the importance of the automobile in what was developed as a commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically level, although it is at a lower grade than the neighboring property to the east and there is a short retaining wall separating this lot and driveway from that property. The lot faces south onto Ravinia and there is a one car wide concrete driveway that extends along the east property line and adjacent to the east elevation of the house back to the detached, two car, side gabled, brick garage in the middle of the north end (back) of the property. There is a concrete sidewalk from the front entry to the street.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, July 9, 1935.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002

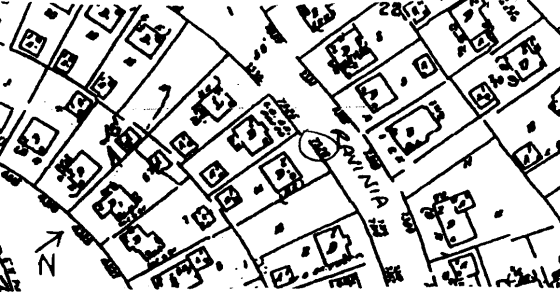
49. Revision Dates

7325 RAVINIA DR.
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0230		4. Present Name(s) Gillespie, William G. & Martha C., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Cunningham, Miles and Viola, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7328 Ravinia Dr. -- Lot 15, Block 15		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1953	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Gillespie, William G. & Martha C.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material Hip, black orig.slate now comp.shi	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Brick, yellow, brown, green, red	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, multicolored (red, yellow, brown, green) textured brick house has a black composition shingle roof and aluminum gutters. Given the age of the house it is likely that these are original materials. There is a narrow boxed cornice and fascia board that forms gable end returns on each side and on the gabled, two story, center bay on the façade. To either side of this center bay there are 2 x 2 sashed windows with shutters on the second floor. Like all other windows on the house, the muntin pattern is horizontal. On the first floor of the east bay is a triple window unit, 2 x 3 sashed windows with the middle window slightly wider. On the first floor of the west bay is a large picture window flanked by narrow 2 x 3 sashed windows. In the center bay, which projects slightly from the façade wall, there are two small 2 x 2 sashed windows on the second floor that share one pair of shutters. The entry on the first floor of this bay has a broken pediment with urn and entablature atop fluted pilaster strips. The door is a wood paneled door with a pair of frosted, leaded glass lights. The concrete porch stoop has one step down to the angled concrete sidewalk that tiers down to the driveway on the east side of the house. The east elevation is divided into two bays with sashed windows in each bay of the second floor and one on the first floor near the back. Two basement windows aligned with the windows above are located within the exposed concrete foundation. The west elevation is also divided into two bays, split by the brick end wall chimney with its brick banded cap and paired chimney pots. Here are two sashed windows on the first floor, one in each bay and one in the front bay of the second floor. There is also a rectangular attic vent. On the back of the house is a two story wing that spans approximately the west half of that elevation. There was originally a one story wing and the brick first floor of this wing may be the original wing with a new second story overhanging addition which is sided. Behind this house at the southeast corner of the property is an end gabled, two car, matching brick garage that has siding in the gable end. It has a composition shingle roof and aluminum overhead door. It faces north toward the house where the concrete driveway forms a patio and then becomes a one lane driveway along the east side of the house to reach Ravinia. Although the house has aluminum combination storm windows and doors, there appear to be no other alterations to the façade and the rear addition is not very visible from the street and is stepped away from the original side elevation wall.

43. History and Significance

This house was formerly addressed as 7326 Ravinia, but has been renumbered as 7328 Ravinia. Previously, 7328 Ravinia is what is now 7322 Ravinia, at least according to the 1967 fire insurance map. This correction was obviously made to end some confusion since it placed the latter house out of number sequence. When this house was originally built and addressed as 7326 Ravinia, plans were designed by Julius E. Tarling, a popular architect in Pasadena Hills. Plans on file in city hall are dated 1953. There are no listings for this house at 7326 Ravinia and no listings in the 1953 directory, but it was first listed as 7328 Ravinia in 1955 when it was the home of Miles and Viola Cunningham. He was the secretary for Chromcraft Division of the American Fixture and Manufacturing Company, St. Louis. This Tarling design is a good example of the popular Colonial Revival style, known as Georgian Revival, which is characterized by its two story, side gabled form, usually with a symmetrical three bay façade. Tarling utilized slight variations on this theme, reflective of popular trends and new materials in post-World War II era residential construction. The house has horizontal lights in the windows, rather than the characteristic multipaned windows, and it has a picture window (a popular feature on homes of this era). The detached two car garage is indicative of the importance of the automobile in this commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically level and faces north onto Ravinia. There is a one car, concrete driveway along the east side of the house back to the detached, end gabled, two car, brick garage at the back, southeast corner of the property.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Sept. 2002


49. Revision Dates

7328 RAVINIA DR
PASADENA HILLS





HISTORIC INVENTORY

1. No. <u>SLAS039 - 0231</u>		4. Present Name(s) Brown, Matt W. & Melissa, House	
2. County <u>St. Louis</u>		5. Other Name(s) HISTORIC NAME: Young, John D. and Viola M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7331 Ravinia Dr. -- Lot 8, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period <u>1930-31</u>	
8. Site Plan with North Arrow 		18. Style or Design <u>Tudor Revival</u>	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent <u>Residence</u>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use <u>Residence</u>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Brown, Matt W. & Melissa	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories <u>1.5</u>	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Cross Gable, Slate	
		33. No. of Bays FRONT <u>4</u> SIDE	
		34. Wall Treatment brick-reds, beige, charcoal	
		35. Plan Shape <u>asymmetrical</u>	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior <u>Good</u>	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story cross gabled, multicolored (reds, beige, and dark gray) brick house has a gray slate roof (with red slate accents). The gable ends and upper façade walls are highlighted with wavy butt siding and the foundation is concrete. The façade is divided into four vertical bays with the west bay having a gabled wall dormer with a 6 x 1 wood sashed window (the main roof sheds down and cuts in front of the façade wall of this dormer). Below, on the first floor is a triple window unit of 10 light casements with 4 light transoms, all with leaded, stained glass. Separating this bay of the house from the one story, gabled vestibule in the next bay is a massive chimney that is tiered like a wedding cake with vertical bands of sloping brick separating each tier. There are also limestones scattered on the brick chimney, often at the corners and the second tier has a decorative iron grill on the front. The upper shaft of the chimney is slightly wider and has two chimney pots. Just to the east of the chimney there is a narrow, stained glass window on the second floor façade wall. Below, the one story, gabled vestibule projects out beyond the chimney with flared brick walls and a Gothic arch opening framed with rock faced, irregular stone quoining and a triangular keystone. There are concrete steps down to the side walk and a stone step at the doorway with a quarry tile floor inside the vestibule. The arch top wood plank door is deeply recessed in the vestibule and has heavy brass knocker and handle as well as a built in mailbox and narrow, long vertical light. The vestibule also retains it original light. The gable of this vestibule shares the west side with the cross gable that forms the roof of the next bay as well as the swayback one story roof over the eastern bay, which is the attached garage. The garage retains its original one car, wood paneled overhead door (the garage is two cars deep). The cross gabled bay has a narrow louvered, rectangular attic vent with brick sill as well as the wavy butt siding in the tip of the gable end. On the second floor there is a triple window of 10 pane wood casements with an inverted splayed wood beam lintel. There is a similar triple window on the first floor (off center from the upper window) but this window has leaded and stained glass and it is flanked by narrow, vertical leaded and stained glass windows with similar wooden lintels in line with the triple window lintel, but these smaller windows are shorter. The west elevation has additional windows behind the brick wing wall, but much of that elevation is obscured by the large evergreen. The east elevation has a rooftop deck with decorative iron railing on top of the garage and there are two gabled wall dormers, one with paired sashed windows and the other with a single opening, all opening onto the deck. There is also a side entry to the garage on the east elevation.

43. History and Significance

John D. and Viola M. Young purchased their lot from Carter Realty on November 21, 1930 and probably began construction on their new home shortly thereafter. The assessor estimated the year built as 1932, but the pattern of development in this neighborhood makes it more likely that their home was finished in 1931. The building permit was issued to John D. Young on November 21, 1930, making this one of the oldest houses in the community as well as one of the earliest on Ravinia. The Young family continued to live in the house at least through 1943. John Young was involved in the manufacture and sale of dies. By 1946, new owners had moved into the house. Joseph D. Merkle was a salesman for Refrigeration Supplies. He and his wife Marguerite lived in the house at least through 1955 when city directory research ended. This is a very elaborate Tudor Revival design, with a cross gable as well as other gabled wall dormers and a gabled vestibule. The most distinctive features of this house are the swayback gable extension over the garage, the Gothic arch vestibule opening, the wavy butt siding that details the gable ends and second floor, and especially the wedding cake tiered chimney on the façade. The inclusion of the garage entry on the façade is unusual on an early Pasadena Hills home, since most were relegated to the back.

44. Description of Environment and Outbuildings

The lot faces south onto Ravinia. There is a one-car concrete driveway to the façade garage entry. There is also a concrete sidewalk to the vestibule entry steps. The backyard has a large play structure.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, Book 1098, p. 487; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, November 21, 1930.

46. Prepared by / Organization

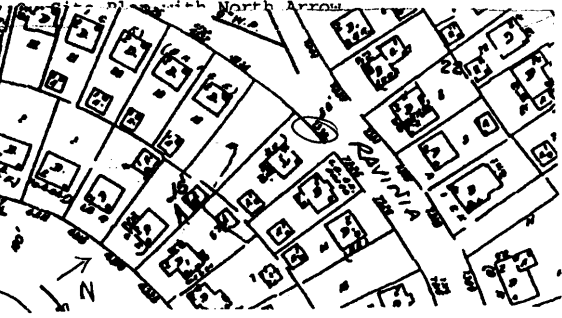
Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date 49. Revision Dates
Sept. 2002

7331 RAVINIA DR.
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0232		4. Present Name(s) Player, Steven T. & Celeste O., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Krebs, Joseph F. and Pauline E.	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7332 Ravinia Dr. -- Lots 16, 17, Block 15		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939	
		18. Style or Design Colonial Revival-Tudor Revival Mix	
		19. Architect or Engineer Julius E. Tarling	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
9. Coordinates Lat Long		22. Present Use Residence	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Player, Steven T. & Celeste O.	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		27. Other surveys in which included None	
15. Name of Established District Pasadena Hills Historic District		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gable, slate	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. ADDITION <input type="checkbox"/> Changes (explain in #42) ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This side gabled, two story, multicolored (gray, green, red, and tan) slate roof and multicolored (reds, tan, dark gray) brick house has two vertical bays on the façade. The west bay is a two story, gabled bay that has a diamond pattern leaded (translucent, textured glass), wood sashed window above the round arched entry on the first floor. The arched opening is framed by rock faced limestone that forms quoins on the sides. The door is a stained, wood plank door with a stained and leaded glass light. The porch floor and steps are concrete on top of a rock faced ashlar limestone foundation. There is an iron railing around the porch and steps that widen at the bottom of the steps. The slightly projecting gabled bay has rock faced limestone quoined wing walls on each side. The other vertical division on the façade has two 6 x 6 sashed windows. Below is a canted bay window with a standing seam metal roof and brick walls below the wood sashed windows. The 4 x 6 narrow sashed windows in the bay flank the 8 x 12 sashed window. The patterning of the brick provides additional visual variety with a diamond pattern in the gable end above the second floor window on the entry bay and brick laid to provide the look without the dimension of quoining around that window, with a soldier course of brick separating the diamond pattern and serving as the continuous lintel. This soldier course continues across the other bay as a continuous lintel as well. There is a projecting brick sill course that separates the first and second floor of the façade and heightens the appearance of the first floor. There is another stone wing wall on the east end of the façade. The east elevation has a brick end wall chimney with a brick band cap that is positioned forward from the gable peak. There are sashed, multipaned windows flanking the chimney on the first floor and another on the second floor behind the chimney. There is another sashed window near the rear of the second floor and a canted bay window on the first floor below with three multipaned windows, a slate roof and clapboard siding below. On the west elevation, the brick end wall chimney is located behind the gable end and there is a side entry door with a shed roof supported by decorative brackets (siding above the brackets) that is located in front of the sashed windows aligned in front of the chimney on both levels. There are also sashed windows on both levels behind the chimney. On the back of the house is a two story sun porch wing that was originally an open porch with brick walls and corner piers, but the openings have been enclosed with framing and smaller windows. Above, the second floor has been altered into an enclosed space (probably a frame porch originally) with siding. At the back of the lot is a two car, end gabled, brick garage with slate roof that faces west. There is a one car driveway along the west side of the house. Other than the changes to the two story porch on the back, the only other visible alteration is the aluminum combination storm windows and storm doors.

43. History and Significance

Julius E. Tarling, a popular architect of homes in this neighborhood, designed this house in 1939. The plans are on file in city hall. The assessor estimated the year built as 1939, which appears to be accurate, but the new owners had not moved into the house when the 1939 city directory was canvassed. They are first listed in the 1941 directory. Joseph F. and Pauline E. Krebs would live in the house at least until 1955 when city directory research ended. He was a loan officer in St. Louis initially and later the vice president of the Bank of St. Louis. This Tarling design is a good example of how homes were often designed with features from more than one popular style, in this case the house has the basic form of a Georgian Revival house, with a side gabled façade, and even has the flanking end wall chimneys, the multipaned sashed windows and the canted bay window often found on this variation of Colonial Revival. However, the front entry has rock faced limestone around a round arched doorway and as wing walls on each side of the entry bay as well as on the wing wall on the corner and brick patterning in the gable end on the facade, features associated with Tudor Revival designs. The retention of the iron railing on the entry stoop is a rarity in Pasadena Hills. Even the detached garage is indicative of the importance of the automobile in the development of this commuter suburb.

44. Description of Environment and Outbuildings

The double lot is basically flat, but the driveway is cut down into the west end of the lot to minimize its visual appearance on the façade. The house is located on the east lot, creating a large side yard to the west of the house. There is a curved, stepped concrete sidewalk from the driveway to the front entry stoop. The driveway extends back to the detached, two car, end gabled brick garage at the back of the lot.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date


Sept. 2002

49. Revision Dates

7332 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. <u>SLA50251 - 0233</u>		4. Present Name(s) Mellies, Charles M., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Mellies, Walter J. and Gladys M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7337 Ravinia Dr. -- Lot 7, Block 22		16. Thematic Category	28. No. of Stories <u>1.5</u>
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period <u>1932</u>	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design <u>Tudor Revival</u>	30. Foundation Material limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material cross gabled, slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent <u>Residence</u>	33. No. of Bays FRONT <u>4</u> SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use <u>Residence</u>	34. Wall Treatment multicolored brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape <u>asymmetrical</u>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Mellies, Charles M. Trustee, et.al.	36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior <u>Excellent</u> Exterior
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

This two story cross gabled, multicolored (reds) brick house has multicolored (grays, green, red, black) slate roofs and copper ogee gutters. The walls are accented with scattered, rock faced limestone blocks, especially on the edges or corners of the sun porch, chimney and vestibule, but this is also the same stone used on the ashlar stone foundation that is visible across the façade. The façade is divided into four vertical bay divisions, created by overlapping gables. The higher side gable over the nearly two story east elevation and the shorter 1.5 story side gable over the west elevation form the backdrop for the broad end or cross gable that is between and is split by the massive end wall chimney on the façade. This chimney is tiered and each section has a distinct brick pattern, with the lower tier being capped by a slate, shed roof that extends over the first floor windows in the bay to the east as well, but the copper gutter is in poor condition and collapsing. The second tier is formed by sloping bricks and between the two sections there is a decorative S-shaped tie rod. The upper shaft, starting in line with the second floor lintels is visually divided into two shafts of brick with a corbelled brick cap and two flues (now metal capped). This gable end, above the soldier course lintels on the second floor windows is clad in stained, wood siding. To either side of the chimney on the second floor are casement windows with brick sills. Each casement has 4 lights and they are paired, but the west window is wider because the paired casements are flanked by stationary steel sidelights (4 lights also). On the first floor, west of the chimney is another casement window, paired with 10 lights each and it has an inverted splayed wood beam lintel with a scalloped base. The first floor window to the east of the chimney is a triple casement window, also 10 lights each and it has a scalloped lintel. The outer bay to the west of these two bays created by the cross gable and chimney is a one story sun porch that is has a hipped extension of the side gable. The openings between the main house wall and the corner piers has large wood beam lintels on all three sides (the porch extends back approximately half the depth of the west elevation). The corner piers and corner of the façade wall have ashlar limestone that extends nearly to the lintel irregularly merging with the brick. The porch floor is concrete with red quarry tile and the openings are screened with wood framed, 6 light panels on the front and 9 light units on the west side. The gable end on the west elevation is clad with stained wood siding and has a window air conditioner installed in now in the second floor window. The attached, two car, side gabled (facing east) brick garage (with slate roof) is visible as a projecting wing on the west elevation at the back corner of the house. It has a sashed window facing south toward the sun porch. To the east of the massive cross gabled bays on the façade, and slightly overlapping, is the 1.5 story gabled vestibule with the west side of the roof merging with the intersecting shed roof that extends across the triple windows and chimney on the first floor. On the other side, the edge of the vestibule extends out further than the side elevation wall forming a wing wall that begins with the narrow gable which has a stone under its end and extends down to the ground with stone forming the lower section as well. The round arched entry opening is centered under the wood siding gable end. The arch is outlined by exaggerated stone quoining and retains the original porch light centered above. In the gable end is a segmental arched faux-window opening with a smaller version of the S-shaped tie rod. The door is a stained, wood plank door with a small round arched light. The stoop is concrete with brick edging and one brick step down to the sidewalk. The east elevation also has wood siding in the gable end and several windows, but its most notable features are the shed roof supported by knee braces over the side entry door that opens onto the attached driveway and the wood framed, one story (nearly to grade) boxed bay window with a shed roof. The only visible alterations appear to be aluminum storm windows and doors which do not blend with the framing of the house. It is highly unusual in Pasadena Hills for the sun porch to still be an open space, not enclosed with windows.

43. History and Significance

The assessor estimates the year built as 1932 which appears to be accurate given the fact that the house is not listed in the 1932 directory but is listed in the next directory in 1934 as the new home of Dr. Walter J. Mellies and his wife Gladys M. Mellies. The family continues to own the house today, heirs of the original owners. This is one of the earliest homes built in this commuter suburb and is an interesting example of the Tudor Revival style, with a complex roofline of staggered and crossed gables of different pitches and levels. The façade has a wide variety of details, including many that define this style as unique: the scattered stone highlights on the brick walls, the contrasting wood siding, the casement windows, wood beam lintels, the round arched doorway in a one story gabled vestibule, the enclosed sunroom, and, the most distinctive feature, the massive façade chimney with its paired shafts and tiered construction. This house is especially interesting for its two car attached garage which is little more than a detached garage abutting the house, an indication of the importance of the automobile to this commuter suburb, but also a good example of the transition of making these detached, secondary structures an integral part of the residential design with the convenience of a weatherproof connection to the interior of the house from the garage.

44. Description of Environment and Outbuildings

This lot is basically flat and faces south onto Ravinia, near the intersection with Cranford Drive. There is a one car, concrete driveway along the east side of the property that abuts the east elevation of the house and extends back and turns west to the attached garage on the west side of the back of the house. There is also a tiered concrete sidewalk that angles from the front entry stoop to the street, away from the driveway.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002


49. Revision Dates

7337 RAVINIA
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS029 - 0234		4. Present Name(s) Hartung, Donald M., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Laufer, George B. and Frances, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7341 Ravinia Dr. -- Lot 6, Pt. 5, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hartung, Donald M.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gabled, red/red slate	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled house has multicolored (reds and browns) brick walls and a multicolored (grays and red) slate roof. It has copper gutters with decorative collector boxes on the copper downspouts. The façade is divided into two bays, split by the massive façade end wall brick chimney that has rock faced limestones scattered up the west corner, emerging from the rock faced ashlar limestone foundation (which all has charcoal mortar). The upper shaft is separated by a header course of brick. The upper shaft is divided by the brick patterning into two shafts and there is a broad brick band cap as well as two decorative chimney pots. The west bay has paired, 6 x 1 wood sashed windows. Like most other windows, it has a soldier course brick lintel and brick sill. The first floor has two paired, diamond pattern, leaded glass casement windows, which have soldier course brick lintels capped by two stepped rows of brick. There are stone wing walls on the west corner of the chimney and the façade and some scattered rock faced limestones on the brick walls. The west elevation steps back (this elevation is hidden by the large trees from view from the street). The east half of the façade has a cross gable with narrow, wood siding in the gable end that stops at the lintel of the second floor 6 x 1 wood sashed window that is located on the east side. On the west side, there is an overlapping half timbered, gabled, overhanging bay with two multipaned sashed windows. This base of this overhang and the base of the adjacent (to the east) slate shed roof align to separate the first and second floor of the east bay. The first floor of this bay is flush with the chimney face and there is a paired, diamond pattern, leaded glass casement window under the overhanging bay on the west side of this section of the façade. On the east side is the basket handle arched recessed doorway that is surrounded by rock faced limestone blocks angled into the recess and laid as quoins on the sides. There are small, original porch lights on either side of this opening and a downspout with collector box to the east. The door is a 9 pane light in the upper portion of the wood paneled door (three vertical panels below), but it appears that this is a wooden storm door, not the entry door. The brick and quarry tile porch stoop spans both the window and the doorway and has an iron railing on it as well as on the brick steps. The east elevation has wood siding in the gable end and a scattered collection of windows, but is mostly a simple brick wall with a limestone foundation. On the back of the house is wood deck. There is a detached, two car, end gabled garage with matching brick, wood siding in the gable end and slate roof. It has a wood paneled overhead garage door which is probably a post-World War II replacement. Although the brick on this house is in good condition the slate roof needs maintenance and the wood siding needs to have some boards repaired or reattached. The worst maintenance issue is the copper gutters, some of which have totally collapsed and flattened, which would be a sad loss given the fact that the house retains its original collector boxes. While the house is not endangered, it is of concern because in this neighborhood the tendency is to not do simple maintenance but to replace such materials with substitutes of lower quality and durability (asphalt shingles, vinyl siding, aluminum gutters, etc.), all of which would decrease the architectural and historical integrity of this house and remove some of its character defining features.

43. History and Significance

The assessor estimated the year built on this house as 1935 which appears to be very accurate since this address was not listed in the 1934 city directory, but was listed in the 1936 directory. It was initially the home of George B. and Frances Laufer. He sold undertaker's supplies, but in 1939 new owners moved into the house, Irven E. and Beth Coffey. He was a construction engineer who worked for CC Corporation in St. Louis. They too only lived in the house a few years. They lived there when the 1943 directory was published, but by the time the next directory was published in 1946, Cone T. and Hazel Bass lived in the house. He was the manger of National City Lines. When the next directory was published, John T. and Loretta E. O'Rourke lived in the house. He was president of Central Roofing. They lived in the house at least through 1953. By 1955, Burford N. and Roma Haddock lived in the house. He was a pilot for Falstaff Brewing in St. Louis. This is a nice example of the Tudor Revival style, with its overlapping gabled bays on the façade, its massive façade chimney with its decorative chimney pots, the basket handle arched doorway, and the contrasting materials (multicolored brick, half timbered stucco, narrow stained wood clapboard, slate roofing, rock faced limestone). The use of both multipaned sashed windows and diamond pattern leaded casements provides additional visual variety. The matching two car detached garage is an indication of the importance of the automobile to this new commuter suburb.

44. Description of Environment and Outbuildings

This large lot is basically flat and faces south onto the intersection of Cranford and Ravinia Drives. The house is located close to the east property line with a large side yard. There is a single car concrete driveway along the east property line and adjacent to the house that extends back to the two car, end gabled, brick garage that is located at the northeast corner of the property. There is also a tiered, concrete sidewalk from the front entry stoop out to the street, angled away from the driveway. There is a large wooden deck on the back of the house, but it is only visible from the west due to the large, open side yard and is not visible from the façade.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio


48. Date 49. Revision Dates

Sept. 2002

7341 RAVINIA DR.
PASADENA HILLS



HISTORIC INVENTORY

1. No. <u>SLH-029 - 0235</u>	4. Present Name(s) Carter, Jim, Jr., & Naomi, House	
2. County <u>St. Louis</u>	5. Other Name(s) HISTORIC NAME: Moseley, M. Paul and Margaret H., House	
3. Location of Negatives Missouri Historic Preservation Office		
6. Specific Location 7351 Ravinia Dr. -- Lot 4, Pt 5, Block 22	16. Thematic Category	28. No. of Stories <u>2</u>
7. City or Town If Rural, Township and Vicinity Pasadena Hills	17. Date(s) or Period <u>1953</u>	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 	18. Style or Design <u>Colonial Revival-Georgian Revival</u>	30. Foundation Material <u>Concrete</u>
9. Coordinates Lat _____ Long _____	19. Architect or Engineer <u>Jason L. Willingham & Assoc.</u>	31. Wall Construction <u>concrete block. brick faced</u>
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>	20. Contractor or Builder	32. Roof Type, Material <u>Side Gable, comp.shingles</u>
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	21. Original Use, if apparent <u>Residence</u>	33. No. of Bays FRONT <u>3</u> SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	22. Present Use <u>Residence</u>	34. Wall Treatment <u>Brick</u>
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape <u>staggered rectangles</u>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	24. Owner's Name and Address, if known Carter, Jim, Jr. & Naomi	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District	25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior <u>Good</u>
	26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	27. Other surveys in which included <u>None</u>	39. Endangered? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> By What? <u>Lack Maintenance-shutte</u>
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
		41. Distance from and Frontage on Rd.

HISTORIC INVENTORY

This two story, side gabled, multihued red brick house has a gray composition shingle roof (which the first insurance map indicates was the original material) and a poured concrete foundation. The aluminum ogee gutters and plain fascia boards create a cornice detail across the façade and rear elevation and serve as the lintel for the second floor windows. The façade is divided into three symmetrical bays with 8 x 8 aluminum sashed windows on both levels of the outer bays. Above the entry is a 6 x 6 aluminum sashed window. The entry has wood, fluted pilasters supporting a shallow entablature around the sidelighted entry. The door is a wood paneled, painted door and the sidelights are multipaned wood framed windows with only a small wood panel at the base. There is black security grilling over the sidelights and storm door. The entry stoop is a simple concrete slab that steps down to the tiered, concrete sidewalk that angles toward the end of the concrete driveway on the east. The façade windows all originally had wood shutters, but many of them are missing. The aluminum windows appear to be new replacement windows, apparently replacing similar original muntin patterns. There are two additional 6 x 6 aluminum sashed windows on the second floor behind an brick end wall chimney (with a broad brick band cap) on the west elevation. Both side elevations have louvered gable end attic vents. On the east elevation there are two second floor and one first floor, 6 x 6 aluminum sashed window, all nearer the façade. Recessed and attached onto the east elevation is a two car, side gabled, brick garage with its original horizontal (12) paneled door with glass in the second row. On the back of the house is a porch and patio and there is a in-ground pool in the back yard that is noncontributing to the historic district.

43. History and Significance

Plans on file in city hall dated 1953 were designed by Jason L. Willingham and Associates. This is the only known example of this firm's work in Pasadena Hills. It is a good example of the popular Colonial Revival style known as Georgian Revival. It has the characteristic side gabled form, the three bay division of the façade, the classical references on the entry, the shuttered multipaned windows, and even the end gabled chimney, but is also has the accommodation to the automobile, which was a vital part of the development of this commuter suburb, and as one of the later houses built in the neighborhood, the garage is placed as a side wing where Georgian Revival houses often had auxiliary spaces. While the house is not structurally endangered, its historic integrity is since it has already lost some of its shutters, and such maintenance issues often lead homeowners to make decisions to make less expensive alterations, such as less expensive and oddly proportioned replacements or the elimination of this feature. This is compounded by the insensitive visual quality of the grill on the entry doors, another indication that the visual historic features could be in jeopardy. The windows have already been replaced apparently, but without further evidence it appears that these are at least in keeping with the styling of the house. The house was first listed in the 1955 city directory as the home of M. Paul and Margaret H. Moseley. He was a salesman for Stifel Real Estate Company in University City, a suburb to the south.

44. Description of Environment and Outbuildings

The lot is basically level and faces south into the intersection with Cranford Drive. There is a concrete driveway from the street up to the façade garage entry and there is a concrete tiered sidewalk angling from the end of the driveway to the front entry stoop. There is a noncontributing in-ground swimming pool in the back yard.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date


Sept. 2002

49. Revision Dates

7351 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0230		4. Present Name(s) Waters, Gerald L. & Charlotte, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Hofman, William S. and Grace A., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7359 Ravinia Dr. -- Lot 3, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Waters, Gerald L. & Charlotte	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gabled, comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment multicolored brick with stone acc	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled house has multicolored (red and tan) brick walls and a replacement dark gray composition shingle roof (the original roof was slate according to the first insurance map). The façade is divided into three vertical units, with the east bay having a shorter gable peak (because it is not as deep as the house) on the two story, brick porch wing. This porch wing apparently was originally open, or screened, but now is enclosed between the brick openings on both levels with aluminum sashed windows. On the east elevation, there are two pairs of windows on each level, separated by a brick pier and there is one on the front. The first floor openings retain what appears to be the original limestone half-wall railing, a rock faced, coursed limestone except for a few scattered large blocks. The gabled end of this porch retains the original, stained, clapboard siding. The eaves on this house have an overhang. The middle bay on the façade is separated from the west bay by a large, end wall chimney that has a rock faced, coursed ashlar limestone base that forms a wing wall on the west side. The brick chimney is stepped, about half way up with limestone block caps on the staggered step and more stone forming a decorative block in the middle and as the corbelled caps (which forms an arch where it meets the brick). There are two, stepped, spiral chimney pots. The middle bay is primarily formed by the 1.5 story, gabled vestibule that had asymmetrical, flared sides to the gable ends, which overlapped the chimney and into the porch wing. The peak of the gable as well as its base and the top of the curved wing wall under the west gable end had contrasting coursed rock faced limestone blocks. The round arched doorway was outlined with rock faced limestone quoins. The round arched, wood plank door has large strap hinges and a small rectangular light off centered in the upper portion of the door. The house retains its original mailbox slot through the brick wall and the original porch lantern above the door. There is a small window on the east side wall of the vestibule and a concrete stoop and steps surrounded by decorative iron railing. Above, on the second floor east of the gable of the vestibule is a small, round arched, wood sashed window with a dressed stone sill. The west bay has a single, 6 x 1 wood sashed window with a lugged stone sill next to the chimney and a triple window with diamond patterned stained glass in the upper sash of the narrow, wood sashed windows. This triple window unit has a dressed limestone sill and a rock faced, splayed lintel with a series of keystones. There is a tall, narrow, brick wing wall that curves slightly out at the base of the lowered rock faced, ashlar limestone foundation. There is a stone cap on this wing wall and a cluster of stones midway up the second floor of the corner. The side elevation has segmental arched openings on all of the windows with three symmetrically placed first floor, fixed, small stained glass windows and three sashed windows on the second floor that are not aligned with the first floor windows (and the middle window is smaller). In addition, there is a small, vertical attic louver with sill and the rock faced ashlar limestone foundation forms a high water table line (with a brick segmental arched window bisecting the foundation wall). It appears that the basement window near the façade was probably originally a coal chute since it does not match the other basement window patterns. On the back of the house there was originally a one story, open, framed porch, but it has been enclosed and there is now a larger wooden deck with a gazebo as well. The house has aluminum combination storm windows and an aluminum storm door that detract from the visual appearance of the house since they obscure the original window and door details. There is a 1.5 car, end gabled, matching brick garage with matching wood siding in the gable end. It has a replacement composition shingle roof, but appears to retain the original wood paneled, overhead door. The garage faces south at the northeast corner of the lot, behind the house.

43. History and Significance

Although the assessor estimated the year built as 1930, in reality the deed was not transferred from Pasadena Realty (formerly Carter Realty) to William S. and Grace A. Hofman until April 7, 1931 and they took out their building permit on April 29, 1931. In 1932, they were one of only three houses listed on Ravinia Drive (along with 7325 and 7331) making them one of the earliest homes in the community. He was originally listed as a sales manager, then a traveling salesman, and later as a salesman for R and R Supply Company (or R and R Equipment and Manufacturing, St. Louis). The couple continued to live in this house at least through 1955 when city directory research ended. This is a highly unusual Tudor Revival design, in part because it has a less steeply pitched roofline and segmental arched windows on the secondary elevations and because its form is more boxy than usually found on Tudor Revival house designs in this neighborhood, but it does have the steeply pitched, asymmetrical gabled vestibule, round arched entry accented by stones, and a massive, decorative end wall chimney on the façade that has elaborate use of limestone details that seem to merge out of the foundation and from the cap. It even has two decorative spiral chimney pots. It has other characteristic features including a wing wall and a variety of window patterns: diamond leaded glass, multipaned sashes, stained glass, and round arched. The most unusual feature is the stonework railing on what was originally a screened or open first floor side porch. The elaborate iron work on the front porch railing is highly unusual as well, and rarely do homes in this neighborhood retain their metal porch railings, an important decorative feature. Although the back of the house has been altered by the addition of a wood deck, the house retains most of its original historic integrity.

44. Description of Environment and Outbuildings

The lot faces south onto Ravinia Drive. It is basically flat but does slope downhill on the west side. There is a concrete, one car driveway on the east side of the house that extends to the detached, two car, brick, end gabled garage on the northeast corner of the lot. There is a new wood deck on the back of the house.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, April 29, 1931; Recorder of Deeds, St. Louis County, Deeds, Book 1144, p. 186.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

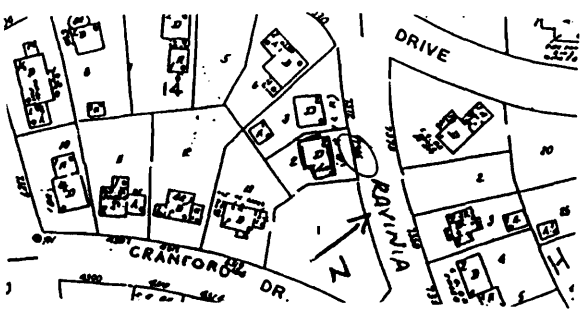
Sept. 2002

49. Revision Dates

7359 RAVINIA
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0237		4. Present Name(s) Rixman, Jessie M., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Rixman, Raymond L. and Jessie M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7366 Ravinia Dr. -- Lots 1 & 2, Block 14		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1940	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer J. V. Gastaldi	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Rixman, Jessie M., et.al.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gabled, comp.shingles	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment multicolored brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

This two story, side gabled, multicolored (reds, tan, dark gray) brick house has contrasting red brick highlights (quoining and entry features). The roof of this house may have originally been composition shingles, as it is now, the fire insurance map is not clear on this detail, but the flashing between the two sections of the gable and at the chimney may indicate a masonry (tile or slate) roof originally, especially since the house retains its original copper gutters and downspouts. There is a plain fascia board that surrounds the house. The foundation is rock faced limestone, but it is not visible on the exterior. The façade is divided into three bays, with the east bay being shorter, a two story, side gabled, one car garage wing with a second floor sun porch that is enclosed by jalousie glass windows and aluminum awnings (both alterations that would have occurred in the 1960s). The façade of the second floor sun porch has a triple window unit and the side has two paired windows. There is a large red brick quoined corner and a segmental arched, triple header row of brick lintel with a brick keystone detail over the garage door, which is a wood paneled overhead door. This wing is slightly recessed from the main house façade which has the same red brick quoining at the outer corner on the west as well as on both sides of the middle, gabled bay. The fascia and gutters form cornice returns on this middle bay above the quoining, serving as a broken pediment. There is a vertical slit with angled brick detailing the pediment and an elongated octagonal, stained glass window (patterns of vines, flowers, leaves) on the second floor above the entry. The entry has red brick laid to form stepped pilaster strips on either side of the red brick outline forming a round arched pediment with a circular detail (as if a broken pediment) with the original porch light centered in it. The door is a nine panel oak door with the top three panels being glass. There is a half-round, tiered brick stoop with brick bull nosed edges and iron railings that curve out on either side near the walls. The west bay has paired, 8 x8 aluminum sashed windows (apparently recent replacements of original patterning given the first floor windows) above the canted bay window with a swayback, hipped, standing seam, metal roof. The bay windows are all 4 x6 wood sashed windows with paired windows on the façade and one each on either side. There is a brick wall below that extends to the ground. These windows have had aluminum combination storm windows added. The west elevation has a brick, end wall chimney that has banding of brick dentil and string courses on its upper shaft as well as a single, chimney pot. The upper shaft of the chimney is lighter, as if it has been rebuilt or poorly repointed. There are sashed windows, asymmetrically arranged behind the chimney on both levels. There is a stone barbecue pit and patio area that may be historic as well. While the house has aluminum replacement sashes, they appear to mimic original windows and the only major visual alterations are the use of aluminum awnings, storm windows and storm door. Even the jalousie windows only minimally enclose the second floor sun porch.

43. History and Significance

In 1940, J. V. Gastaldi, architect, designed this house. His plans are on file in city hall along with several other designs for homes in this neighborhood. The first occupants of the house were identified in the 1941 city directory as William F. and Lillian Lucas. He worked for the Lucas Sheet Metal and Furnace Company. The directory did not identify them as owners and it appears that they moved out of the house shortly after it was finished. The next occupants of the house were Raymond L and Jessie M. Rixman. She continues to own the house today. He was president of his own business, Ray Rixman Inc., in St. Louis, which was identified as "auto agcy" in the 1943 city directory. Because the Rixmans have been the only long-term owners, their name is the historic name of the house. This is a nice example of a later Colonial Revival design, one that utilizes the detailing common to that style, but in a less formalized and balanced design. Character defining features include the contrasting brick quoining, the multipaned windows, the octagonal window, and the stylized brick on the entry that references pilasters and a pediment, as well as the bay window. The house also has tiered, semicircular steps and curved iron railings fanning out from the entry, a very distinctive feature providing more prominence to the entrance. The attached garage wing with its entry on the façade, despite the large side yard, is an indication of the acceptance of the automobile and of the garage as an integral part of the design of residences by the 1940s in this commuter suburb.

44. Description of Environment and Outbuildings

The house sits on a flat lot facing north northeast onto Ravinia, just west of the intersection with Cranford Drive and the huge lot that creates the corner with Cranford serves as a large side yard on the east side of the house. There is a one car, concrete driveway to the façade garage entry. There is a tiered, serpentine concrete sidewalk leading from the front entry away to the street, away from the driveway. The top of the driveway has been repoured as a larger concrete slab connecting the driveway, entry steps and sidewalk. There is also a narrow concrete sidewalk against the east side of the house.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

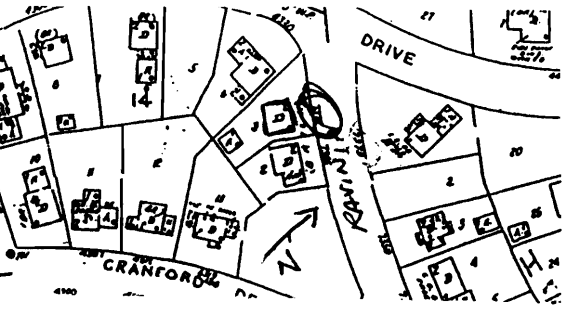
Sept. 2002

49. Revision Dates

7366 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. <u>SLAS039 - 0238</u>		4. Present Name(s) Mitchell, Sheila L., House	
2. County <u>St. Louis</u>		5. Other Name(s) HISTORIC NAME: Smith, Charles F. and Esther E., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7372 Ravinia Dr. -- Lot 3, Block 14		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period <u>1940</u>	
8. Site Plan with North Arrow 		18. Style or Design <u>Colonial Revival</u>	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent <u>Residence</u>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use <u>Residence</u>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Mitchell, Sheila L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories <u>2</u>	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gabled, slate	
		33. No. of Bays FRONT <u>3</u> SIDE	
		34. Wall Treatment multicolored brick	
		35. Plan Shape <u>rectangular</u>	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior <u>Good</u>	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

This two story, side gabled, multicolored (red, gray, tan) brick house has a multicolored (grays and green) slate roof and copper gutters and downspouts. The foundation is rock faced limestone, but that is not visible from the façade. The fascia boards are plain but underneath are tiered courses of brick that enhances the fascia boards. The façade is divided into three bays with gables in the outer bays that have vertical slits with beveled brick in the gable end and cornice returns created by the gutters and fascia. The corners of the façade have red brick quoining and there are brick lintels which consist of soldier courses capped by dentil courses of brick on all façade windows. There are header course sills as well. The paired, 6 x 6 aluminum sashed windows on the second floor and the triple window units on the first floor (6 x 9 aluminum sashed windows) in the outer bays appear to be recent replacements, but probably mirror the original window pattern. There is an elongated octagonal, stained glass window of vines and leaves above the doorway in the center bay. The doorway has a compound, rectangular, recessed entry with tiered, brick, half round stoop. The door is a 9 panel, oak door with a stained, leaded glass light in the center upper panel. There is a full view storm door on this entry. On the east elevation is a brick, end wall chimney with a corbelled brick cap and a window near the façade on the second floor. On the west elevation is an attached, side gabled, two story, open porch. While the porch is not shown on the 1967 fire insurance map, it has been wrong on other houses in the neighborhood, so this could be an older porch wing, and it is certainly in keeping with other Colonial Revival designs in the neighborhood (including the stained wood siding in the gable end). Especially telling is the fact that the original ribbon driveway extends just to the west of this wing, since driveways in this neighborhood ran next to the house, not away from it. However, the high, wood slat railings of treated cedar are definitely out of proportion to and not designed like what would be typically found on older homes and are obviously newer. There is an original, 1.5 car, end gabled, matching brick garage with a composition shingle (replacement) roof. The wood paneled, overhead door with lights across the top appears original. Although the house has had some improvements, it appears that these were made in keeping with the original design and thus do not drastically affect the historic integrity.

43. History and Significance

The assessor estimated the year built on this house as 1940, which must be fairly accurate since the house was not listed in the 1939 city directory, but was listed in the 1941 directory as the home of Charles F. and Esther E. Smith. He was a purchasing agent for Malleable Casting in St. Louis. Even after his death, his widow continued to live in the house, at least through 1955 when city directory research ended. This is an interesting adaptation of the Colonial Revival style, one that is more loosely based on earlier precedents and utilizes more modern features, such as the compound, rectangular entry recess and the half round, tiered entry stoop. It does however retain a popular Colonial Revival form, side gabled, two story house with a three bay façade division that is treated symmetrically. It also has multipaned windows and even quoining on the corners, both features found on the Colonial Revival style houses. The detached garage is also characteristic of the historical development of this neighborhood where earlier homes were designed with garages either detached or accessed from the rear, to avoid the prominent visual appearance of this auxiliary structure, but one that was vital to development of this commuter suburb.

44. Description of Environment and Outbuildings

The lot faces north northeast at the intersection of Cardwell Drive and Ravinia Drive. It is basically flat, but the original, concrete ribbon drive skirts the west side of the lot to the detached 1.5 car, brick, end gabled garage at the southwest corner of the property. There is a tiered, serpentine concrete sidewalk leading to the public sidewalk along the street right of way. Note that the next house to the west is angled onto Cardwell Drive.

45. Sources of Information

46. Prepared by / Organization

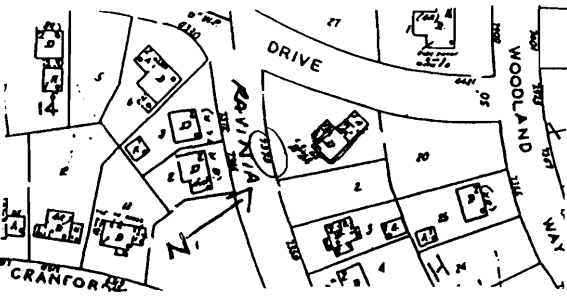
Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date 49. Revision Dates
Sept. 2002

7372 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0239		4. Present Name(s) Sanders, Anthony L. & Rene C., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Wood, James H. and Helen, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7373 Ravinia Dr. -- Lots 1, 2, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1950-1954	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Cape Cod	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Sanders, Anthony L. & Rene C.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Poured concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material side gabled, comp.shingles	
		33. No. of Bays FRONT 6 SIDE	
		34. Wall Treatment red brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This 1.5 story side gabled, red brick house has an equally wide, one story, side gabled garage and breezeway wing on the north side of the house. The roof is composition shingles, which may be the original material, although that was not clear on the fire insurance map. The house has aluminum gutters and flat fascia boards. The main house is divided into three bays, with two gabled dormers with 6 x 6 wood sashed windows over the outer bays. Between the dormers is a massive, brick chimney with a brick band cap and metal flue cap that is located in front of the gable ridge. On the first floor of the south bay is a 6 x 6 wood sashed window with shutters. Over the middle and north bay of the main house is a shed roof that forms the porch roof of the middle bay, supported by simple, paired squared posts at the outer corner. The other half, in the west bay is actually a projecting rectangular bay with a multipaned picture window on the façade and 6 x 6 wood sashed windows on each side. The entry door has long shutters on either side of a four panel with two small rectangular lights at the top of the wood painted door. It has a full view storm door and the windows have aluminum combination storm windows which have been added in recent years. The brick porch floor is nearly at grade. The north, one story wing has a breezeway that connects to the two car garage. The garage is entered from the rear and has two 6 x 6 wood sashed windows with shutters on the façade as well as another shuttered sashed window near the rear of the north side elevation. The breezeway has been enclosed with full height, single light windows and door. There are two windows on the first floor and one on the second floor of the south elevation, symmetrically arranged, all with shutters on the 6 x 6 wood sashed windows. On the back of the house is a large shed dormer. Both the front and rear dormers are clad in aluminum siding, which may be original given the age of the house, but is more likely a replacement material, closely matching the original and not obscuring the window trim.

43. History and Significance

The assessor estimated this house's construction date as 1950, but the house does not appear until 1955 in the city directory, not the 1953 directory, indicating that it might have been built in 1953 or 1954 unless the directory is in error. The first owners identified in the 1955 directory were James H. and Helen Wood. He was an engineer with Superior Structural Steel Company of St. Louis. The house is an excellent example of the Colonial Revival variant known as Cape Cod. It not only has the characteristic three bay façade with dormers at either end, but it also has a large side wing that includes a breezeway and garage, an adaptation common on this style in its later forms. The use of a shed roof over the bay window and entry is an indication of the growing popularity of the more asymmetrical style known as Minimal Traditional, which evolved out of earlier styles, especially the Cape Cod and Tudor Revival forms. The long, horizontal façade is also influenced by the popular post-war style, the Ranch house as is the massive interior chimney.

44. Description of Environment and Outbuildings

This large double lot at the intersection of Cardwell and Ravinia Drives is basically flat. The house is located on the corner lot and faces the corner of the intersection, to the west and the other lot forms a large back and side yard along Ravinia. There is a tiered, long, curving sidewalk from the entry to Ravinia. The concrete driveway enters the garage from the rear and is not visible on the façade.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

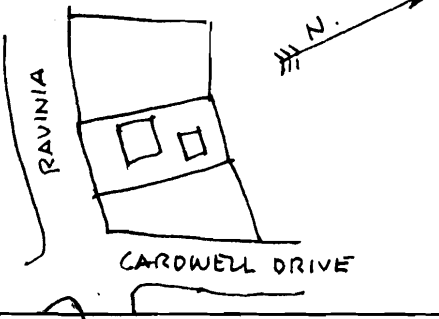
49. Revision Dates

Sept. 2002

7373 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0240		4. Present Name(s) Britt, E. Michael & Marilyn B., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: McCulloch, James S., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7415 Ravinia Dr. --Lot Pts 25, 26, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1967	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer George Quick	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Britt, E. Michael & Marilyn B.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material poured concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material Side gabled, orig.slate now comp.	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, red brick house has a tan, architectural, composition shingle roof with boxed cornices with aluminum ogee gutters. The façade is divided into three bays, with each outer bay having two, shuttered, 6 x 6 sashed windows on the second floor and paired 9 x 9 sashed windows on the first floor. The center bay has paired, wood, 6 paneled doors flanked by pilasters supporting a narrow entablature and a swans neck, broken pediment with urn. Above the door is a spoked, porthole window. Windows have brick sills and the first floor façade windows have soldier course lintels. On the west elevation is a brick, end wall chimney with a broad band brick cap near the rear and a recently added framed, clapboard end wall chimney near the façade. On the east elevation, there is a side entry door that opens onto the concrete driveway that extends from the street back to the detached, end gabled, broad, brick, two car garage that has weatherboard siding in the gable end. On the back of the house is a small sunroom wing with thermal windows and skylights that has apparently been added recently since it does not appear on the 1967 fire insurance map, but given the fact that the building was under construction when the map was being revised, it is possible that this is original to the house. It spans about half-way across the back elevation and has an intersecting gabled roof. The house has aluminum combination storm windows. The only apparent alteration is the new chimney which is visually intrusive since it does not fit with the quality of materials evident on this house's original design or with others in this community. Also, a front yard picket fence has been added, in a community that often does not even have backyard fences. Because of this fence the entry stoop and sidewalk are not visible and the height of the façade is visually shortened.

43. History and Significance

Although the assessor estimated the year built for this house as 1970, the building permit was issued on January 4, 1967 to James S. McCulloch as its owner and he is listed at this address in the 1968 city directory. Since the house is not yet 50 years old, it is not a contributing building to the historic district, but its Georgian Revival styling, a variant of Colonial Revival noted for its side gabled, two story styling with a symmetrical, three bay division of the façade, is certainly in keeping with the character of the neighborhood since this was one of the most popular stylistic choices for homes in this community. This example utilizes many of the stylistic details associated with this style: multipaned and shuttered windows, and a broken pedimented entry, however, the wide eave overhang, the double door entry and the clapboard clad end wall chimney are late twentieth century stylistic features.

44. Description of Environment and Outbuildings

The lot is basically flat, facing southwest onto the Thomas Jefferson School across the street. There is a concrete driveway along the east side of the property that extends back along the east elevation to the back yard where there is a detached, two car, brick, end gabled garage.

45. Sources of Information

Normandy Fire Protection District. Saint Louis County, Missouri. Building Permit No. 2851. January 4, 1967.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002


49. Revision Dates

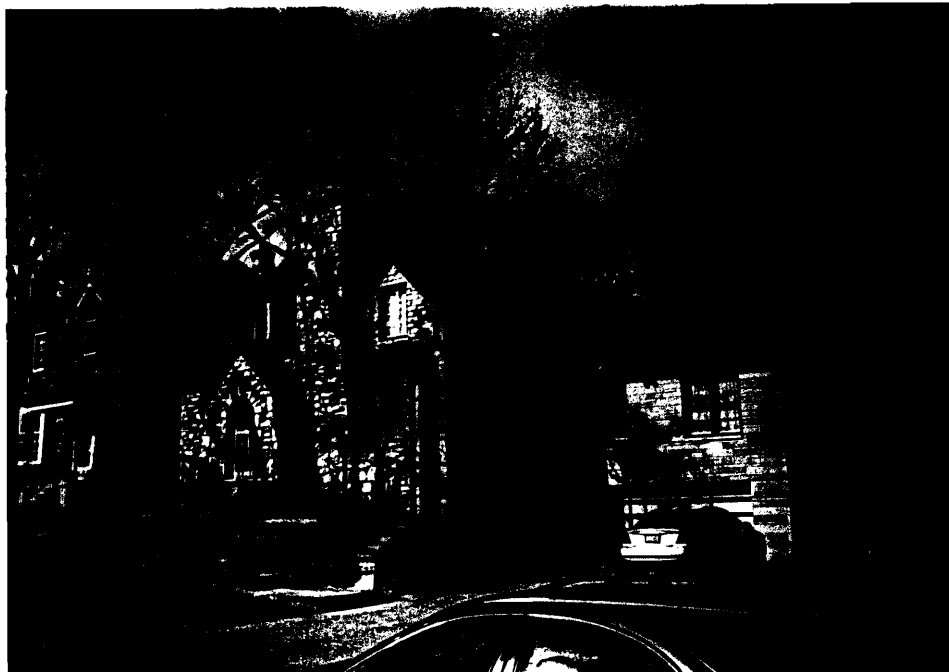
7415 RAVINIA DR
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS089 - 0241		4. Present Name(s) Dieckmann, Steven L. & Kayellen, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Britt, John G. and Helen, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7419 Ravinia Dr. -- Lot 24, Pt 25, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1934; 1952 addition	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling (orig.); unknown for addition	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Dieckmann, Steven L. & Kayellen	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-stone	
		32. Roof Type, Material Side Gabled - Comp. Shingles	
		33. No. of Bays FRONT 2+1 SIDE	
		34. Wall Treatment limestone-rock faced and smooth	
		35. Plan Shape	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, steeply pitched 1.5 story rough cut, ashlar limestone house has a replacement composition shingle roof that was originally identified on the fire insurance maps as slate. The façade is divided into two vertical units by the large stone, end wall chimney. A projecting stone course separates the lower and upper shaft of the chimney and matches the cap with its two chimney pots. To the west of the chimney there is a shed roofed dormer with paired stained glass wood casement windows. Like the gable ends, the dormer is clad in what appears to be wood siding. Below the dormer, which is centered in this bay, there is a one story, end gabled, matching stone, projecting vestibule that is off-centered toward the chimney and there is a shed roof extension of the gable to the west of the vestibule. The vestibule has a round arched entry with a wood plank door with a round stained glass light. Like the wood siding, this door was probably originally stained or at least painted a dark color but is now painted a light cream color. There is a concrete entry stoop and steps (with limestone foundation) that have iron railings (a rare original feature in this neighborhood). The lower shaft of the chimney is flush and integrated with the façade wall, most notable in the east bay where there is a shed roofed, flat bay window. The stone walls surround the bay's triple window and extend to the ground. The triple window has 8 light casement windows. Above, there is a gabled wall dormer with paired, 8 light casements. The west elevation is not visible in the photos, but the east elevation has sashed windows on the second floor and another triple casement window on the first floor. Attached to the house is what appears to be an early addition (possibly the 1952 plans) since it appears on the 1967 fire insurance map. This wing is side gabled, two stories tall and recessed deeply from the main house façade. Its walls are faced with smooth, sawed, course ashlar limestone, but repeats the gable end siding treatment of the main house side elevation, including the rectangular attic vent. It is constructed at a lower level so that its upper level is the first floor of the main house and a rock faced ashlar limestone retaining wall separates the front yard from the lower level driveway and two car garage in this wing. It retains its original horizontal paneled overhead door. Above are two sets of paired, 6 x 6 wood sashed windows. The side elevation of this wing has another paired window set as well as a single sashed window towards the rear on the first floor (upper level of this wing) as well two sashed windows on the lower level. There is a frame porch on the back of the house in the interior corner created between this wing and the main house. This addition, even if not 50 years old, blends well with the original design and is deeply recessed and made with contrasting sawed stone, differentiating it from the original rough cut stone house, which still dominates the façade. Other than aluminum combination storm windows, this appears to be the only visible exterior alteration and the front door retains a wood screen door.

43. History and Significance

The current homeowners still have the original plans for this house, as well as the plans for the 1952 addition. In March 1934, Julius E. Tarling finished the plans for this residence. His designs are closely associated with the development of this suburb since he designed many of its homes, both before and after World War II. The assessor estimated the year built as 1934, but this particular address does not appear in the city directory until 1943. However, the fire insurance map shows that this house was previously addressed as 7461 Ravinia Drive, and under that house number John G. and Helen Britt are listed beginning in 1936 and through 1939. He was an insurance agent. It was first listed under 7419 Ravinia, also as the home of John G. and Helen Britt in 1943. Somehow, they were not listed in 1941 and neither was either address number. In later years, John Britt was identified as an insurance broker for Traveler's Insurance in St. Louis. There are plans on file in city hall for this address, as well as held by the current homeowners, dated 1952, are for the addition, possibly the garage wing, although they do not identify the architect. The Britt's continued to live in this house at least through 1955 when city directory research ended. This is one of the more unusual Tudor Revival cottage designs in Pasadena Hills, since the whole house is made with limestone walls. The façade chimney, the contrasting gabled and shed roofed dormers and bays, the steeply pitched roof, multipaned windows, the projecting one story vestibule and round arched doorway are all characteristic features of this style. It appears that the garage wing was added in 1952, making it a contributing element in the house's historical evolution. Its use of contrasting sawed, coursed ashlar and the deep recessed position and lower height help it serve as a good example of a well designed addition that does not overpower the original stylistic features of the main house and façade.

44. Description of Environment and Outbuildings

The lot faces southwest onto Ravinia Drive across from Thomas Jefferson Public School. The lot slopes downhill toward the east side and there is a tiered, concrete, long, curved sidewalk leading from the entry stoop down to the driveway. There is a rough cut ashlar limestone retaining wall with dressed stone (or concrete) cap that separates the front yard from the upper portion of the driveway to the façade, basement level garage entry (at grade on the east side though).

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory; Dieckmann, Kay and Steven. Personal Collection. Pasadena Hills, Missouri. "Addition to Residence of Mr. & Mrs. John G. Britt" February 13, 1952; Dieckmann. Personal Collection. "Residence on Lot 24-BI. 23-Ravinia Drive, Pasadena Hills. Plans No. 720." March 1934 by Julius E. Tarling;

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

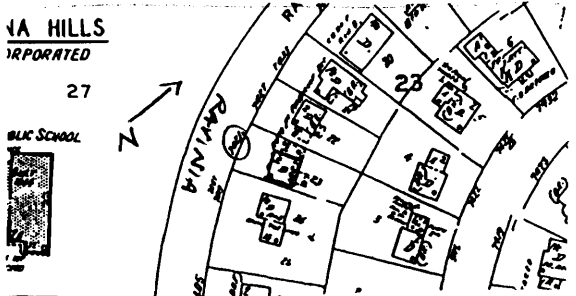
Sept. 2002

49. Revision Dates

7419 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0242		4. Present Name(s) Kirtland, James D. & Alix, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Gasen, Harry, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7421 Ravinia Dr. -- Lot 23, Block 23		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1933-1943	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Colonial Revival-Georgian Revival	30. Foundation Material Concrete
		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
9. Coordinates Lat Long		20. Contractor or Builder	32. Roof Type, Material Side Gable -orig.slate now comp.s
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 1+2 SIDE
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment brick; vinyl siding on sun porch e
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Kirtland, James D. & Alix	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> By What? insensitive alterations
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

This two story, side gabled, multicolored (red, brown, yellow) brick house has a gray composition shingle roof that replaces what was originally a slate roof (based upon the fire insurance map). At least some of the gutters appear to be the original, painted copper gutters and downspouts. Across the top of the façade is a continuous soldier course, brick lintel. The first floor and second floor are separated by two projecting brick stringcourses. The main façade is divided into two vertical divisions, with the west side having a wide, curved, bay window with a standing metal roof and brick walls to the ground below the three 6 x 9 wood sashed windows with aluminum combination storm windows (painted to match the windows) as well as shutters on either side. Above there are two shuttered, 6 x 6 wood sashed windows with similar storm windows. The east side, which is much narrower, has a small cross gable above the second floor, shuttered window, which is a leaded, opaque glass, wood sashed window that matches the lintel line of the other second floor windows, but is shorter. The entry has a hipped roof with plain fascia boards supported by wrought iron corner posts on top of the concrete porch floor. The door is a wood paneled door with four panels below three shoulder arched lights across the top. There is a full view storm door protecting this door. The porch and concrete steps have wrought iron railings. These iron supports and railing appear to be a later replacement, in a style typical of the 1960s, rather than pre-war construction. On the east elevation there are a variety of windows, as well as a brick, end wall chimney (flue) with corbelled brick cap that is located behind the peak of the gable. On either side of this chimney on the second floor are 6 x 6 wood sashed windows with matching aluminum combination storm windows. On the first floor there are also wood sashed windows with matching aluminum combination storm windows on either side of the chimney, but these are smaller and the middle bay window is leaded, stained glass. There is also a small, hinged, wood framed, leaded, stained glass window with an aluminum storm window near the front corner on the first floor. Below is one of the basement level, wood framed, awning windows with 3 lights and opaque glass as well as aluminum storm window. Between the front and middle window, there is a side entry door with an aluminum storm door and concrete entry stoop and steps that has an iron railing (the steps face the street). On the east elevation there is a brick end wall chimney with a corbelled brick cap that is in front of the gable peak. Next to the front corner is a doorway which is now sealed off and has an iron security railing across the wall, but it is unclear how this doorway originally worked, but there may have originally been a side porch that was removed prior to 1967 by when the two story side porch wing with hipped roof and basement level garage had been built. This garage is noted on the 1967 fire insurance map as fireproof construction. This wing has brick walls on the first floor with brick corner piers and half walls below what was originally a screened or open porch. The second floor porch was apparently also open, (although it is shown on the 1967 fire insurance maps), probably as a frame structure, but the first floor openings between the piers and the complete second floor have been clad in new vinyl siding, probably at different times since the first floor has two 8 x 8 aluminum thermal sashed windows (which are smaller than the original opening and surrounded by the vinyl siding) and the second floor has three small 1 x 1 aluminum sashed windows in the upper portion of that elevation wall. On the side, the first floor opening is completely infilled with siding and there are only two small 1 x 1 aluminum sashed windows. The garage door is a newer overhead door. On the rear of the house is a bay window on the first floor with two 4 x 1 wood sashed windows (matching aluminum combination storms). There is also a 6 x 6 wood sashed window on the first floor and two on the second floor. Although the house retains enough historic integrity to still be a contributing building in the proposed historic district, because its overall massing and primary façade features are still intact, including the original wooden sashed windows, it appears that this house has been altered from its original design at least twice: initially at some point prior to 1967 (and probably prior to 1955 when other homes in the neighborhood got similar alterations) when the driveway was cut into the basement level and the garage and two story porch wing were added and then much more recently when vinyl siding was used to enclose this porch wing. While the earlier addition was in keeping with the architectural integrity and design of the house, the vinyl siding and small windows are out of scale with the features of the home and is used on the first floor as an inexpensive infill, rather than simply using windows between the porch's brick piers. This assessment that the garage/porch wing is an early addition is based upon the fact that there is now a door that is nonfunctional and opens above ground level over the driveway, probably an indication that it opened to an earlier driveway or porch wing, but the brick of the garage/porch wing matches the brick of the house, indicating that it must be an early addition. The other alterations, the wrought iron porch posts and railing are also a concern but it is unclear what was the original material and at least this area still maintains its original transparency. The new roof, while no longer slate and loosing that textural quality, at least matches the color of the original roof.

43. History and Significance

Although the assessor estimated the year built as 1933, it is more likely that the house was built around 1943 given the style of the house and since that is when it is first listed in the city directory as the new home of Harry Gasen. He would continue to live in the house at least through 1953. By 1955, Emil D. and Mary Lambrechts had moved into the house. He was a physician with offices at 6708 W. Florissant. This is a later interpretation of the Colonial Revival style known as Georgian Revival, noted for its side gable, two story design. This example does not utilize the more symmetrical bay divisions that followed the original Georgian precedents, but it does reference that division with the three upper story windows. Like many Colonial Revival designs, it has multipaned windows with shutters and flanking end wall chimneys, as well as a large bay window. As with other homes in Pasadena Hills, the automobile was an important consideration since it was developed as a commuter suburb and the basement level garage below what was originally a two story porch wing is also characteristic of this community's development, especially cutting the driveway deep into the lot with retaining walls and recessing the garage wing back from the main façade, both designed to minimize its visual impact.

44. Description of Environment and Outbuildings

The lot faces southwest onto Ravinia and across from the school yard. There is a concrete, one car, driveway that extends from the street to the recessed garage/porch wing on the façade of the house. This driveway is cut below grade with rock faced ashlar limestone retaining walls that are capped by large, flat stones. There is a curved, tiered concrete sidewalk leading from driveway (near its base) to the front entry. The lot is basically level across the front, but rises gradually up from the street, elevating the façade.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002

49. Revision Dates

7421 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0243		4. Present Name(s) Rhine Jones, Merilynn, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Hogan, David R. and Amelia N., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7427 Ravinia Dr. -- Lot 22, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938-1940	
8. Site Plan with North Arrow		18. Style or Design Colonial Revival-Georgian Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Rhine Jones, Merilynn	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		28. No. of Stories 2	
15. Name of Established District Pasadena Hills Historic District		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material poured concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Side Gable - orig.slate now comp.s	
		33. No. of Bays FRONT 2+1 SIDE	
		34. Wall Treatment brick; vinyl siding side porch encl	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> By What? alterations to front	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, red and brown brick house has a replacement brown composition shingle roof that replaces what was a slate roof (according to the 1967 fire insurance map), but it retains the original copper gutters. The foundation is poured concrete and the façade is divided into two primary bays with a gabled, slightly projecting, two story entry bay on the west end and a wider bay on the east that has a canted bay window on the first floor and two sashed windows on the second floor. The bay window has a replacement composition shingle roof, plain fascia boards, and brick walls below the sills that extend to the ground. The 4 x 4 wood sashed windows with aluminum combination storm windows (all storms are painted to blend with the wood) flank the 10 x 10 wood sashed window with storm window. The windows above have shutters and are 6 x 6 wood sashed windows with aluminum combination storm windows. There is a soldier course under the gutters that serves as a lintel for second floor windows (and it continues on either side of the gable of the west bay). There is another leaded glass, wood sashed window with storms and shutters on the second floor of the gabled bay. It has a brick, soldier course lintel with a projecting brick course cap. The base of the second floor of this slightly projecting gabled bay has a projecting brick stringcourse on top of a soldier course and corbelled brick courses to simulate a second floor overhang. The broken pediment of the entry is positioned in line with this overhang detail. It is supported by pilaster strips and an entablature around the four panel, painted wood door that has three shoulder arch lights across the top. The doorway has a full view aluminum storm door as well and there is a large, semicircular, tiered, brick stoop that spans the width of the bay and connects the curved series of concrete steps (original) that connect to the base of the driveway. The west elevation has a brick, end wall chimney flue with a corbelled cap that is positioned slightly behind the gable peak. On either side of the chimney there are 6 x 6 wood sashed windows on the second floor. On the first floor, the rear window has been infilled with brick. The front window is a small, rectangular, leaded, opaque glass, wood framed window. There is a side entry door on this side of the house. On the east side elevation there is a brick end wall chimney with a corbelled cap and a wood paneled door with a rectangular light in the upper third that has a iron railing flush with the wall since this door opens onto the air above the driveway. The two story sun porch wing with a basement level garage is attached on the back portion of the east elevation. It has a side gabled roof and was originally a brick open or screened porch on the first floor with a framed porch on the second floor. Below is the basement level, one car garage with a replacement garage door. The first floor has been infilled with vinyl siding between the brick piers and above the brick half walls, with 8 x 8 wood sashed windows with aluminum storms on the façade and two pairs of 6 x 6 wood sashed windows on the sides. The second floor has been completely clad in vinyl siding with two 6 x 6 wood sashed windows on the façade and two single, 6 x 6 wood sashed windows on the sides. The fire insurance map noted that the basement level garage is fireproof construction. The rear of the house has additional 6 x 6 wood sashed windows (4 on the first floor and 3 on the second floor) as well as a bay window with wood sashed windows and standing seam metal roof. While the house appears to retain all of its historic, original details, the façade has been drastically altered by the alterations to the side porch which are not in scale with the historic features of the house (such as using windows that fit the whole brick opening and a different enclosure for the second floor that does not become so prominent). Even more detrimental to the historic integrity, and the primary reason that this house is considered a noncontributing building in the historic district, is the extensive regrading and landscaping on the front that removed the original retaining wall for a one car driveway and widened the driveway to at least a two car width, rebuilding the retaining wall nearly one-third of the way onto the main house façade as well as nearly another car width to the east and adding a set of wood steps up the side by the garage that have the proportions and dimensions more like deck stairs. These alterations change the balance and emphasis in the design of the façade, overpowering the actual historic façade of the house.

43. History and Significance

Although the assessor estimated the year built as 1938, this house may have been built slightly later since it does not appear in the 1939 city directory. It is first listed in the next directory, in 1941 as the home of David R. and Amelia N. Hogan. He was originally listed as being in the drug business in St. Louis, but quickly changed to department manager, and then after the war to a salesman for Edward L. Kuhs Realty Company. By 1949, the Hogans had moved into the house next door (at 7433 Ravinia) and new owners had moved into the house, Homer W. and Ada Baker. He was a buyer for Wohl Shoes, later Brown Shoes, a major manufacturing business in St. Louis. This is a good example of the later variations used in designing residences in the Georgian Revival variation of the Colonial Revival style. It utilizes the side gabled, two story form that characterizes this style with typical features, such as shuttered, multipaned windows, a large bay window, as well as a pedimented entry, but the gabled two story bay for the entry and the semi-circular, tiered brick steps are later variations on what was historically a very simple façade design. Unfortunately, the two story side porch wing with a basement level garage has been altered drastically by enclosing the porches with vinyl siding and installing smaller windows as well as cutting away the historic single car width driveway's retaining walls and widening the driveway, which visually changes the balance of what otherwise is an intact historic façade. These alterations were made for the convenience of additional off-street parking, without considering the impact on the overall design of the property or the historic detailing of the façade. If a more sensitive treatment could be made to the driveway/parking area and to the porch wing, this would certainly be a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot faces southwest onto Ravinia and across the street from the school property. There is a series of concrete steps that curve up from the base of the driveway to the front entry stoop. There is a concrete block, stepped retaining wall that was recently built, further to the west than the original wall as well as another further to the east, creating what is now at least a two car driveway up to the one car basement level garage. There is also a set of wooden steps and railings up the east end of the driveway to the side of the house.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

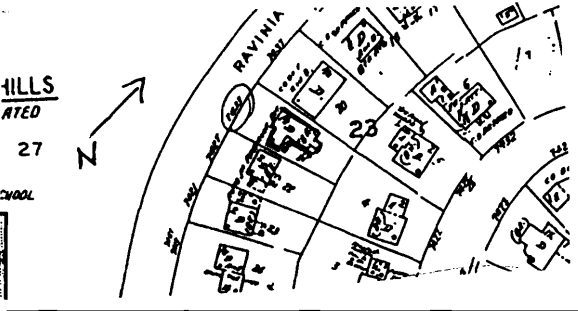
Sept. 2002

49. Revision Dates

7427 RAVINIA DR.
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0244		4. Present Name(s) Mitchell, Richard H. & Yoshiko, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Windway, Herman and Anna, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7433 Ravinia Dr. -- Lot 21, Block 23		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	30. Foundation Material rock faced, ashlar limestone
		19. Architect or Engineer Edward D. Delaney	31. Wall Construction load bearing masonry-brick
		20. Contractor or Builder	32. Roof Type, Material cross gables on hip, comp.shingle
9. Coordinates Lat Long		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	34. Wall Treatment multicolored brick; limestone det
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	24. Owner's Name and Address, if known Mitchell, Richard H. & Yoshiko,	36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

This 1.5 story, multicolored (red, yellow, brown) brick house has a complex roof with a hipped roof core and large cross gables on each elevation as well as a hipped roof over the vestibule. The original slate roof (according to the fire insurance map) has been replaced with a multicolored gray composition roof, which helps retain the original coloration, if not the texture. The house has the original copper gutters, which have been painted. The façade is divided into three bays with the west bay being the tallest, although still only 1.5 stories tall. It has a window on the second floor but the aluminum combination storm window obscures its details. It has a projecting brick course cap as a lintel. Below, on the first floor is a triple window with a splayed brick lintel made of soldier course bricks and limestone corners and keystone. The window units consists of 4 x 1 wood sashed windows flanking a 6 x 1 wood sashed window. On the west end of the elevation is a rock faced ashlar limestone wing wall. This wing wall detail is repeated as the base of the end wall chimney on the façade at the east end of this bay. There is an additional limestone at the step at the first floor sill height, but most of the chimney is brick, barely projecting from the façade. The upper shaft of the broad chimney has several projecting brick bands and a corbelled brick cap. The middle bay is hipped with a gabled wall dormer that has a 6 light wood casement window. Below is the round arched, recessed entry that is outlined with rock faced, limestone quoins that angle into the recessed opening. The painted wood plank door has a leaded, stained glass, rectangular light. The concrete stoop has the original iron railings as do the steps (a rarity in this neighborhood). The west end of the vestibule barely projects and overlaps the east half of the chimney with an irregular row of rock faced limestone half way up the corner. The east corner also has similar limestone treatment. The side gabled bay to the east has paired, 6 x 1 wood sashed windows with inoperable storm panels. It has a projecting brick cap lintel suspended above the windows. On the basement level is a one car garage with a replacement overhead door. Fireproof construction was used on the basement garage. The west elevation has two hinged, wood framed windows with opaque glass and inoperable storm panels in the bay nearest the façade. Behind it has a paired, 6 x 1 wood sashed window, a 1 x 1 wood sashed window with opaque glass, and a 6 x 1 wood sashed window near the rear. The middle bay of this elevation is a gabled bay that has a 6 x 1 wood sashed window on the second floor that has a window air conditioner now. The east elevation has a paired, 3 x 1 wood sashed window in the front cross gabled bay over the garage. There are also paired casement windows on the bay windows behind the corner shed roofed, enclosed porch on the back corner. There are also a small casement window and a 6 x 1 wood sashed window on the second floor behind the corner, enclosed porch. On the rear there is another bay window. The basement of this house has awning type wood framed windows. There are rock faced limestone retaining walls on either side of the driveway from the street to the façade basement level garage and a set of concrete steps adjacent to the east elevation as well as one perpendicular to the driveway at its base provide access to the back and front yards respectively. Both seem to have iron railings that were added later since their twisted form was not popular until the 1960s.

43. History and Significance

Plans designed by architect Edward D. Delaney in 1939 are on file for this house in city hall. Delaney designed at least one other home in Pasadena Hills, 3950 Canterbury in 1937. Although the assessor had estimated the year built on this house as 1933, the date of these plans coincides with the listings in the city directories, which does not list this address in 1939, but does list it for the first time in the next city directory in 1941 as the new home of Herman and Anna Windway. Unfortunately, Herman Windway died shortly thereafter and in 1946, Anna Windway, alone, is listed at this address. By the time the next directory was published in 1949, David R. and Amelia W. Hogan had moved into the house. He was a salesman for Carl G. Stifel Realty and they had previously lived next door at 7427 Ravinia. However, by the time the next directory was published in 1953, new owners had moved into the house, veterinarian Jack H. Gregory and his wife Grace. This design by Delaney is an unusual Tudor Revival design, since it has a hipped roof with large cross gables on each elevation. It also has a tall, hipped vestibule with a small gabled wall dormer on the façade above the entrance. Both of these are highly unusual details, but other features on the house are characteristic of many of the Tudor Revival designs in the neighborhood, the complex roofline, the façade chimney with its decorative shaft, the use of rock faced ashlar limestone as details scattered on the façade, of multipaned sashed windows, the round arched doorway, and the multicolored brick. This house also has a basement level garage, with stone retaining walls that was one of the design solutions used in this neighborhood to provide for the automobile which was a necessary part of this commuter suburb, but minimizing its visual impact on the streetscape by placing it below grade.

44. Description of Environment and Outbuildings

The yard is basically level across the façade, but is elevated from the street with a one car, concrete driveway cut into the east end of the lot, with stone retaining wells to access the basement level garage door on the façade. The lot faces southwest onto Ravinia across from the school yard.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002

49. Revision Dates

7433 RAVINIA DR.
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0245		4. Present Name(s) Kline, Mary Jane, House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME:	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7437 Ravinia Dr. -- Pt 19, Lot 20, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1954	
8. Site Plan with North Arrow		18. Style or Design Minimal Traditional	

HISTORIC INVENTORY

This 1.5 story, side gabled, red and yellow brick house has a red French interlocking cement tile roof. All windows appear to be wood sashed 1 x 1 windows with operable aluminum storm windows, except where noted. The façade is divided into two primary divisions with the south bay being a cross gabled bay with paired windows in the gable end. Below there is a large picture window flanked by sashed windows on the east half of this bay and in the west portion, there is a porch, recessed under the gable. It has a single sidelight with a single panel of wavy opaque glass. There is a painted, wood, 4 paneled door with a fanlight. This has a full view storm door. The porch is poured concrete with iron railings that continue down the concrete steps to a short sidewalk and a second set of concrete steps that connect to the driveway. The metal railings appear original. The bay to the west has two clapboard, gabled, dormers with sashed windows. Below there is are two pairs of sashed windows with shutters on the first floor above the two car, basement level garage door. The garage door is probably a replacement with its sunburst lights in the upper row of panels. The north elevation has two paired sashed windows, which appear to be aluminum thermal replacement windows on the first floor and one aluminum thermal window on the second floor. On the south elevation there is a straight, brick end wall chimney with a broad brick band cap. Behind the chimney there are paired, aluminum sashed windows on the first floor and one sashed, aluminum thermal window on the second floor in the gable end. On the rear there are additional windows, including some with glass block, which may be original to the house given the date of construction. There is a gabled, one story, glass enclosed sunroom with a brick floor with sliding doors into the house. Its roof matches the main roof and it appears that this is an original sun porch wing although it is not shown on the 1967 fire insurance map (which does have other errors).

43. History and Significance

Plans on file in city hall, dated 1954, were designed by Julius E. Tarling, a popular architect in Pasadena Hills, who designed this house in the increasingly popular Minimal Traditional style, a transitional style that borrowed from the Tudor Revival and Colonial Revival (especially Cape Cod) styles popular prior to the war and combined this with the longer, horizontal form popularized as the Ranch style after the war. This design has gabled dormers, and shuttered windows as well as the side gable form that was common to Cape Cod style houses, but it also has a large cross gabled bay on the front and a recessed entry, which help characterize it as Minimal Traditional style. It also has a large picture window flanked by sashed windows, a popular feature of post war houses. The design, despite its asymmetry is nicely balanced, incorporating the two car basement level garage entry into the design, an important feature in this commuter suburb. It appears that the house was constructed in 1954, although it appears in the 1955 directory as under construction, probably because it was not yet finished when the canvassing was completed for the directory in 1954. Since it will be barely fifty years old when the district is nominated to the National Register, it is considered a contributing building to the historic district as representative of the later house styles that helped complete the development of this neighborhood.

44. Description of Environment and Outbuildings

The lot faces west onto Ravinia and across the street from the school yard. There is two car, concrete driveway from the street to the façade, basement level garage entry. There are short concrete retaining walls on either side of the driveway near the door. There is a series of concrete steps and sidewalk perpendicular to the front entry steps. The land slopes downhill toward the north and toward the street, elevating the façade and helping to minimize the driveway's view in the streetscape.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

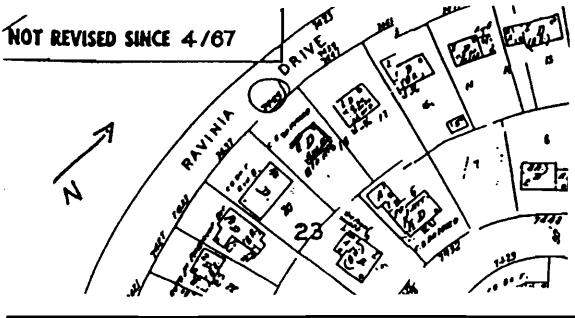
Sept. 2002

49. Revision Dates

7437 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS0391 - 0246		4. Present Name(s) Clark, Kathie S., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Dorsey, Francis P. and Gladys, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7443 Ravinia Dr. -- Pts 18, 19, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1952-1953	
8. Site Plan with North Arrow NOT REVISED SINCE 4/67 		18. Style or Design Minimal Traditional	
9. Coordinates Lat Long		19. Architect or Engineer George Winkler	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Clark, Kathie S	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material poured concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material Gable - Composition	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment brick; wider siding upstairs	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This 1.5 story, side gabled house has a multicolored (red, pink, and brown) brick, partly copper gutters, and a gray composition shingle roof (which appears to be the original material based upon the fire insurance map). The upper level dormer and side wall, as well as the gable end, are clad in what appears to be wood, wider siding, which is probably the original. The façade is divided into two large vertical divisions with a shed roofed dormer on the north end. The dormer has two 6 x 6 replacement (vinyl or aluminum) thermal windows with shutters. Below, there is a corner window, which has a fixed single pane and a 2 x 2 wood sashed window facing the façade and another 2 x 2 wood sashed window around the corner on the north elevation. In the middle of this bay on the first floor is a porthole window with 4 lights. On the south end is the entry door, a painted, 6 panel wood door with the top to panels being glass with X shaped muntins. There is a newer aluminum storm door on this door. The roof over this first floor north bay has wider eaves to protect the entry. There is a concrete stoop and series of steps that lead down the hillside and curve to the base of the driveway. The driveway extends to the north end of the façade where there is a basement level, one car garage door with a replacement overhead door. The south bay is an intersecting end gabled two story section of the house with brick walls, except for the siding above the second floor lintel line. There is one 8 x 8 replacement (aluminum or vinyl) thermal sashed window with shutters on the second floor. Below, there is a large picture window with a soldier course lintel. On either side of the fixed replacement (aluminum or vinyl) thermal window is a 4 x 6 replacement (aluminum or vinyl) thermal sashed window. On the south elevation is a massive brick, end wall chimney with a corbelled cap. The second floor is clad in the wider siding and consists of the side wall of the façade gable which merges at the chimney into a end gable that extends to the first floor line over the middle bay of this south side elevation. There is a 8 x 8 vinyl framed replacement sash window on the second floor with a window air conditioner. The first floor continues on back toward the east where there is a triple window unit of 2 x 2 wood sashed windows. There is also a 2 x 2 wood sashed window in the middle bay, near the east end on the first floor. The rear of the house has additional 2 x 2 wood sashed windows on the first floor and a 1 x 1 wood sashed window on the second floor. The 2 x 2 wood sashed windows have horizontal lights and appear to be the original muntin pattern for the house, while the new replacement windows are multipaned, sadly loosing the original detailing that helps identify this as a modernistic home of the 1950s. Basement windows are glass block, which is probably original given the age of the house. The back, one story, masonry wing appears to be an addition on the southeast corner, but it is difficult to date, except that it is not shown on the 1967 fire insurance map. However, this addition is not very visible from the façade and appears in keeping with the original design, even utilizing the horizontally lighted 2 x 2 wood sashed windows that are original to the house. The loss of the many of the original windows affects the historic integrity of the façade, especially because of the loss of the original horizontal muntin pattern. However, the façade maintains most of its original features and design elements, and as a consequence is still contributing to the historic district.

43. History and Significance

George Winkler designed this house in 1952, according to plans on file in city hall. He designed several other houses in this community, including one down the street at 7470 Ravinia, designed the same year, but that house was either misaddressed on the plans, never built, or has since been demolished, as it is now school property. Although the assessor estimated the year built as 1941, it was probably built in 1952-1953 based upon the plans and the fact that the house is not listed in the city directory in 1953 but was in 1955, when it is identified as the house of Francis P. and Gladys Dorsey. He was an attorney with offices at 1155 Paul Brown Building, St. Louis. There are also plans on file, designed by the owner, Dorsey, in 1955 for the fence. This is a 1.5 story version of the Minimal Traditional style which became popular after the war as a transitional style from the earlier Colonial Revival and Tudor Revival styles and to the more modern popular styles of Ranch and Split-Level houses. As can be seen in this house, the complex roofline and the asymmetrical façade draw from the Tudor Revival style, but the roofline is shallower and the house is more horizontal in form. The multipaned windows with shutters and the porthole window draw from the Colonial Revival style. Obvious, more modern influences can be seen in the fact that the basement level garage is incorporated into the design of the façade, not tacked on as a wing and the house has a corner window as well as a picture window.

44. Description of Environment and Outbuildings

This lot faces west onto Ravinia across from the school property. The lot slopes steeply downhill toward the north side and toward the street, making the façade elevated from the street with the basement level garage only partially below ground, requiring a tall retaining wall on the south side of the 1.15 car driveway and a shallower wall on the north side. From the base of the driveway, in front of the retaining wall there are a series of concrete steps that curve up the hillside to the front entry stoop.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

Sept. 2002


49. Revision Dates

7443 RAVINIA DR.
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0247		4. Present Name(s) Hill, Larry & Doris L., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Baseler, Lewis L. and Louis H., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7447 Ravinia Dr. -- Lot 17, Pt 18, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1948	
8. Site Plan with North Arrow		18. Style or Design Colonial Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Hill, Larry & Doris L.	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		28. No. of Stories 2	
15. Name of Established District Pasadena Hills Historic District		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material poured concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material Side Gable - orig. slate now comp.s	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #47) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, multicolored (red, yellow, brown) brick house has a gray composition shingle roof that approximates the color but not the texture of the original slate roof (as identified on the fire insurance map). The house retains its original copper gutters and downspouts. The façade is divided into three bays with shuttered windows on the façade in each bay, except for the center first floor where there is a trussed gable supported by small beam braces over the recessed, segmental arched entry. The door is a wood plank door with a segmental arch and a small rectangular light. There is a scalloped trim on the gable fascia and flanking lantern style porch lights that appear original. There is a brick foundation under the concrete stoop that has an iron railing painted white that appears to be a replacement since this spiral metal baluster design is not popularized until the 1960s. Besides shutters, the façade windows have aluminum storm windows as well as canvas awnings. The bay to the north has a large picture window flanked by 2 light casement windows (original aluminum sashed, not new thermal windows). The bay to the south has a paired, 1 x 1 aluminum sashed window. On the second floor, the north bay has a paired, 1 x 1 aluminum sashed windows. Above the entry and on the second floor of the south bay are 1 x 1 aluminum sashed windows. The south elevation has two vertically aligned sets of windows, all 1 x 1 sashed aluminum windows except for the back first floor window is glass block. The north elevation has a large brick end wall chimney with a broad brick band cap. There are more sashed windows on both levels of this elevation, three on the first floor and two on the second floor. In the basement level, behind the chimney is a two car garage. On the rear, there are two sashed windows on each floor as well as a casement, leaded glass window. There is also a brick, gabled, one story sun porch on the rear, south end that has been enclosed with windows. It has another fireplace on the end and sliding patio doors as well as a timber overhang above the steps to the patio. The patio has a brick/masonry foundation, nearly a full story in height due to the slope of the hillside downhill on the north and back of the property. Basement windows are awning windows with 2 lights and opaque glass. Most of the house appears to retain its original historic features, with the exception of the enclosure of the original open porch on the rear and the addition of the masonry patio, which is a major structure on the rear of the property.

43. History and Significance

The assessor estimated the year built on this house as 1948 with renovations in 1968. This date of construction is consistent with the city directories, which first list the house in 1949 as the home of Lewis L. and Louise H. Baseler. He was the export manager for Monsanto Chemical, an important industry in St. Louis. They continued to live in the house, at least through 1955 when city directory research ended. The house was also previously addressed as 7439 Ravinia, but never listed in the city directory under that number. This is an unusual interpretation of the Colonial Revival style, with its two story side gable form and three bay division on the façade it is reminiscent of the Georgian Revival variation of Colonial Revival that were popular throughout the mid-twentieth century, especially in Pasadena Hills, but "pediment" over the recessed entry doorway is more reminiscent of Tudor Revival or possibly Craftsman houses with the heavy timbered trusses on the gable. Also, the façade lacks the symmetry associated with earlier examples of Georgian Revival style and utilizes the large picture window flanked by sashed windows that became popular after World War II on a variety of house forms. It appears that the one story sun porch wing on the back is original, but the masonry deck on the northeast, back corner was the 1968 addition. The house retains its original basement level, two car garage, a feature that is common in Pasadena Hills because of the need to accommodate the automobile in this commuter suburb's design, but the desire to minimize its impact on the streetscape.

44. Description of Environment and Outbuildings

The lot faces west onto Ravinia Drive at the end of the school yard. There is an asphalt driveway at the north end of the property that leads to the side entry, basement level garage. There is also a tiered, serpentine walkway up the hillside from the middle of the driveway to the front entry.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date


Sept. 2002

49. Revision Dates

7447 RAVINIA
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0248		4. Present Name(s) Graves, Finos A., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Greif, Otis K. and Iola, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7463 Ravinia Dr. -- Pt 15, Lot 16, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936-1937	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Modern Construction Company	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Graves, Finos A	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Side Gabled - Slate	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Brick	
		35. Plan Shape rectangle orig.	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story side gabled, steeply pitched, multicolored slate roof house has copper gutters (painted white) and multicolored (red, brown, maroon, and yellow) brick walls with a rock faced, ashlar limestone foundation (with beaded mortar joints). The façade is divided into three vertical bays, of different widths and with the outer two bays having cross gables. The north gabled bay is much taller and broader with slender, rectangular louvered attic vent above the two story, canted bay with hipped slate roof. The bay's walls are half timbered brick that extends to the ground and there are 6 x 6 sashed aluminum thermal windows on both levels, with single windows on each side and paired windows on the façade. The tall rectangular panels of brick below the second floor windows are laid in a basket weave pattern and on an angle in the false transoms above the first floor window. The middle bay has an 8 x 8 sashed aluminum thermal window above the entry. The entry is round arched with large dressed limestone blocks stepping out wider at the base. The door is a stained oak, wood paneled door with a diamond shaped, leaded glass light. There is a half-round awning over the entry now, but that is not historic. The entry stoop is low concrete slab with one step that extends across portions of the outer two bays. The south bay has another 8 x 8 aluminum thermal window on the second floor above the triple window unit on the first floor that has a soldier course lintel with a projecting dentil brick course cap, like that on the second floor. The triple window units are 9 x 9 aluminum thermal sashed windows. The south elevation is split by the massive tapered step end wall chimney with a broad corbelled cap. There are small quarter round attic vents on either side of the chimney. On each level and in each bay, are multipaned wood sashed windows. On this end of the rear elevation there was originally a one story open porch, but this has been enclosed apparently between the original screened openings and a second floor has been added that is enclosed with vinyl siding and sliding aluminum windows. Behind this enclosed porch wing is another framed porch that is only one story tall with a deck floor, timber framing, and composition shingle roof. While these additions and modifications do not fit with the architectural features of the house, they are relegated to the rear elevation where they do not severely impact the historic integrity of the façade. On the north elevation, the intersecting gable forms a side gable with this elevation split by another brick end wall chimney, but this one is narrower since it is a secondary flue. On either side, there are 6 x 1 wood sashed window and on the first floor in front of the chimney is a 6 x 6 wood sashed window while the smaller window behind the chimney is 2 x 2 aluminum thermal sashed window. On the rear of the house there is a bay window with 4 x 1 wood sashed windows flanking the 8 x 1 wood sashed window. There are also 6 x 1 wood sashed windows on the second floor as well as a simple 1 x 1 wood sashed window on the first floor. All wood windows have aluminum storm windows. Even though some windows have been replaced with newer aluminum thermal sashed windows, they are apparently in keeping with the original forms and patterns. The driveway that extends from the street along the north side wall connects to the end gabled, brick, two car garage with its original wood paneled overhead door that has paired lights in each upper panel. The gable end is finished with stained, wood clapboard.

43. History and Significance

The building permit for this house was issued to the Modern Construction Company of 6607 Delmar Boulevard on August 27, 1936. By 1938 the house was completed and listed in the city directory as the home of Otis K. and Lola Grief. He was in the insurance business, but the couple did not live in the house for long. By 1941, William F. and Bertha A. Lux had moved into the house. He was the secretary of the Illinois Powder Manufacturing Company in St. Louis. They were also short term occupants; by 1946, new owners are again listed. William A. and Charlotte W. Boehmer would remain in the house at least through 1955 when city directory research ended. He was a chiropractor, but in the 1955 city directory he was simply listed as a member of the Wellston Chamber of Commerce. The assessor noted that the house was remodeled in 1970, probably when the back, one story porch was converted to a two story wing. It appears that the new one story porch was added later still. However, the house retains its historic street side appearance, one that is highly unusual in this neighborhood, a more formalized version of the popular Tudor Revival tradition, which has the characteristic steeply pitched slate roof and asymmetrical cross gables, as well as half timbered two story bay window, and multipaned windows, as well as round arched opening with contrasting stone outlining the opening. It even has the massive chimneys that often characterize this style. However, the façade is more symmetrical than usual with large expanses of windows.

44. Description of Environment and Outbuildings

The lot faces west onto Ravinia and is basically level, but the driveway is cut slightly lower than the front lawn to minimize its impact on the streetscape. It extends along the north side of the lot and north elevation of the house back to the detached, end gabled, matching brick two car garage at the northeast corner of the lot. There is a curved concrete sidewalk with steps down to the driveway that connects to the front entry.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, August 27, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Sept. 2002

49. Revision Dates

7463 RAVINIA DR
PASADENA HILLS



A black and white photograph of a two-story house with a prominent front porch and a smaller addition on the left. The house is surrounded by bare trees, suggesting a winter or late autumn setting.

HISTORIC INVENTORY

This two story, side gabled, multicolored (red, yellow, green) brick house has a black composition shingle roof (the fire insurance map does not clearly identify the original roofing material). The simple fascia forms the continuous lintel of the second floor windows and a cornice for the façade when combined with the gutters of the house (aluminum). The façade is divided into three bays with a shuttered, 6 x 6 wood sashed window in each bay on the second floor. On the first floor, the outer bays have 6 x 9 wood sashed, shuttered windows. The entry has pilasters flanking an entablature with a dentil course under the crowned cap. The door is a six paneled, wood door with glass (with X shaped muntins) in the upper panes. There is a simple concrete stoop without steps that connects to the tiered concrete slabs that extend down the hillside to the street. The south elevation has a large, brick end wall chimney with a brick, band near the cap. The gable end is clad in wider wood weatherboards and the fascia board continues around as the base of this treatment. There is a rectangular attic vent in front of the chimney, which splits the gable. There are 6 x 9 wood sashed windows on either side of the chimney and a 6 x 6 window on the second floor in front of the chimney. The poured concrete foundation is visible on this elevation along with the 2 light basement windows. The north elevation has a similar gable end treatment except the rectangular attic vent is centered under the peak of the roof. There are two 6 x 6 wood sashed windows on the second floor and a small wood sashed window on the first floor in front of the enclosed side porch wing. This wing has a basement level, one car garage with brick walls and its original wood paneled door with glass lights in the second row. The second floor has been modified, enclosed with wood panels and wood siding and it has a flat roof. All three sides have triple awning window units banded in what would have been the original screened openings, but somehow it appears that the roofline and walls are also a modification. Despite this modification, the house retains a high degree of historic integrity.

43. History and Significance

Although the assessor estimated the year built for this house as 1950, it does not appear in the next city directory in 1953 and is first listed in 1955 as the home of Joseph Costrino. The design of this house is a variant of the Colonial Revival style, known as Georgian Revival, that is noted for its side gable, three bay façade, multipaned and shuttered windows, and classical revival detailing on the entry. Since Pasadena Hills had developed as a commuter suburb, it had a one car, attached garage under the side wing porch. Unfortunately, the porch wing has been drastically altered, with windows, wall and roof treatments that are not in keeping with the style of the house. Even so, the house retains its basic historic integrity and is still contributing to the historic district.

44. Description of Environment and Outbuildings

The lot slopes downhill toward the north and street, elevating the façade and helping to minimize the impact of the basement level garage on the façade. There is a tall retaining wall of brick on the upper portion of the driveway, but only on the south side since the other side is only slightly below grade. The one car driveway extends from the street to the façade garage door. There is also a tiered, concrete steps, straight from the street to the front door. The south portion of the yard has a high privacy fence.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

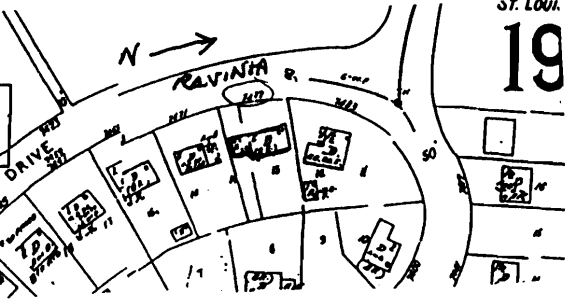
Sept. 2002

49. Revision Dates

7471 RAUINIA
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0250		4. Present Name(s) Fowler, Thomas D. & Irene M., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Droste, Louis W. and Estelle	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7477 Ravinia Dr. -- Pts 13, 14, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930-1938	
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Residence	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Fowler, Thomas D. & Irene M.	
13. Part of Estab. Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gabled, Slate/Copper on side porch	
		33. No. of Bays FRONT 4+1 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

This two story, side gabled, red and brown brick house has a multicolored (green, red, black) slate roof and copper gutters with decorative collector boxes on the downspouts. The main façade is divided into four bays with the north two sharing a large cross gable that is split by the massive, end wall chimney that has a decorative brickwork round arched frieze in the lower portion of the chimney, decorative limestone detailing on the corners and base as well as sloped steps and simulated paired chimney shafts as well as decorative chimney pots. The gable end has a pattern of projecting header bricks. On either side of the chimney the bays have a 6 x 6 wood sashed window with brick dentil molding as lintels. The first floor windows are similarly treated, but are 6 x 9 wood sashed windows. The narrow, cross gabled bay to the south has a projecting, decorative brick pattern in the gable end and another 6 x 6 wood sashed window with brick dentil molding on the second floor. Below is the recessed entry. This rectangular openings is framed by brick quoining (even as a lintel). The wood door has an off-set pointed light in the upper door, but the door has been painted and was probably stained or painted a dark wood color. There is a small porch light above the door. The concrete stoop has one step to the curved concrete sidewalk. The narrow bay on the south end of the façade has three recessed brick friezes under the gutters created by framing them with projecting brick. On the second floor level, there is a porthole window with grid work muntins. The first floor has a narrow window with a brick dentil molding. The north elevation has a canted bay window with a slate roof and brick walls to the ground. The windows are 6 x 6 wood sashed windows, one on each of the three sides. On the second floor there are additional sashed windows and near the back there is a smaller, brick chimney (flue) with a corbelled cap and chimney pot. Behind the chimney is another first floor window. As on the façade, the gutters and fascia boards form gable end returns. On the south side, there is a two car, flat roofed, brick garage that has a series of brick stringcourses that form a corbelled cap. The door has been replaced with a vinyl garage door. There is a hipped, standing seam, copper roof over an enclosed sun porch that has paired jalousie windows on the façade and two single jalousie windows on either side of the door. The walls have vertical board siding. This enclosure may be original since it is shown on the 1967 fire insurance map as an open porch and it only extends over half of the garage. It also has a metal flue. This enclosure and the vinyl garage door stand out as alterations that are not in keeping with the original design and quality of materials used on the house, but the over all house retains its historic integrity and it is still a contributing building in the district.

43. History and Significance

The assessor estimated the year built as 1930, but this address does not appear until 1939 in the city directories as the home of Louis W. and Estelle Droste. As the first identified owners/occupants of the house, that is given as the historic name for now and it is likely that the assessor's estimate is incorrect and the house was actually constructed in the late 1930s. He was a sheet metalworker in St. Louis. They continued to live in the house at least through 1943 and when the next directory was published in 1946, Louis L. and Louis Baseler are listed in the house. He was a department manager of MC Company. They did not live there long, however, and in the next directory in 1949, George W. Wilson, Jr. and his wife, Gloria, now lived in the house. Initially he was listed as with Ferguson Sales, but later he was with George Wilson Trailer Company in St. Louis. This is a nice example of the Tudor Revival style, with a massive, decorative brick chimney on the façade and steeply pitched roof with multiple cross gables. It also has the characteristic multipaned windows, bay windows, copper gutters with decorative collector boxes, stones used as accents and wing walls, and decorative brick patterning. This house has a large side wing that is a two car garage, partially in the basement level, a necessary amenity in this commuter suburb, but the enclosed second floor sun porch is a disruptive visual alteration, but the form was apparently an original or early alteration since it is noted on the fire insurance map. Because the house retains most of its original historic integrity, it is still a contributing building in the historic district..

44. Description of Environment and Outbuildings

The lot is fairly level and faces west onto Ravinia near the intersection with Overbrook. The ground has been mounded up in front, lowering the grade of the driveway for both this house and the house to the north. There is a two car driveway from the street to the façade garage entry on the attached garage side wing. There is also a curved, concrete side walk from the middle of the driveway to the front entry with two steps down to the driveway.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

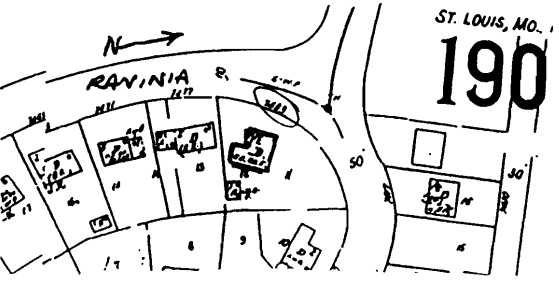
48. Date 49. Revision Dates

Sept. 2002

7477 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0251		4. Present Name(s) Horton, Sandra A., House	
2. County St. Louis		5. Other Name(s) HISTORIC NAME: Grote, Theodore and Marjorie, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7483 Ravinia Dr. -- Lot 12, Pt 13, Block 23		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1954-1955	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Minimal Traditional	30. Foundation Material Cement
		19. Architect or Engineer R. J. Grote	31. Wall Construction concrete block, brick faced
		20. Contractor or Builder	32. Roof Type, Material intersecting gables, comp.shingles
9. Coordinates Lat Long		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE 2
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Textured brick
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape L-shaped
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Horton, Sandra A., et.al.,j/t	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

This 1.5 story, multicolored (red, yellow, green, brown) textured brick house has boxed cornices and a composition shingle roof formed from two intersecting gables that form the L-shaped house. The front gabled wing (leg of the L) has taller walls although the gable ridges are at the same height. The front porch forms the south bay of the façade and is incorporated under the gable with elaborate wrought iron posts forming arched corners on top of the concrete slab porch floor that extends the length of the south bay and interior of the L. The door is positioned on the north wall of the porch (south wall of the north wing) and is a simple rectangular opening. There is also a large picture window facing the street under the porch which is flanked by 4 light casement windows. Like other windows on this house, these are original aluminum framed windows (a popular post-war material) with horizontal lights. The façade of the north wing has another picture window, but this one has shutters and a roll-up awning. Above there is a 2 x 2 aluminum sashed window with shutters and another roll-up awning. The copper gutters and fascia form gable end returns. The tips of both gables have louvers. The south elevation has paired, 2 x 2 aluminum sashed windows on the second floor as well as another pair near the porch on the first floor. Near the rear of the first floor is another window. Like those on the façade, these have roll up awnings. The north elevation has false gable fascia boards continuing the outline of the intersecting gable with the front gabled wing. There are three 2 x 2 sashed windows on this elevation as well as a brick end wall chimney with a corbelled cap. At the back southeast corner of the property is a two car, end gabled, brick garage with lap siding in the gable end and newer vinyl overhead door.

43. History and Significance

R. J. Grote, an architect, designed this house in 1954. His plans are on file in city hall. This is the only known example of his work in Pasadena Hills. The house was probably finished that year, but the assessor estimated the year built as 1955. This address was first listed in the next city directory, in 1957, as the home of Theodore and Marjorie Grote. He was the treasurer of Grote Meat Company in St. Louis. Because of the similarity of names of the first owner and the architect, it is likely they were related, but further research would be needed to verify this assumption. This is a very nice example of the popular Minimal Traditional style, one that has the lower, horizontal form popular in post war styles as well as large picture windows flanked by casements, the horizontal lights in the windows, and the elaborate wrought iron porch posts that were popular during the early 1950s. The house is even built with the entry at grade, what will become the standard for the era, especially on the Ranch style houses of which this is a predecessor. As is characteristic of this neighborhood, there is a detached garage, relegated to the back of the property, where it has less of a visible impact on the streetscape.

44. Description of Environment and Outbuildings

The large corner lot is positioned at the intersection of Ravinia and Overbrook and faces northwest. There is a one car, asphalt driveway on the south side of the property that extends back to the detached, two car, end gabled garage at the southeast corner of the lot. There is a concrete sidewalk between two large rows of hedges that camouflage the front entry porch.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

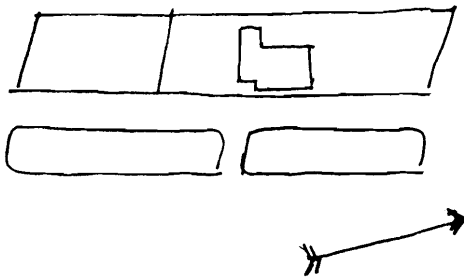
Sept. 2002

49. Revision Dates

7483 RAVINIA DR
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0252		4. Present Name(s) Farr Apartments	
2. County St. Louis		5. Other Name(s) HISTORIC: Apartment Building	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3825 Roland Blvd., Pts Lts 8, 9, Devaney Place		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937-1943	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival influences	30. Foundation Material rock faced ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material hipped, comp.shingles
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Apartments	33. No. of Bays FRONT 4 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Farr, Valler and Gloria M., 11992 Cato Dr., Florissant, MO 63033	36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, hipped roofed, multicolored (red, dark red, and brown) brick, four unit apartment building has an asymmetrical plan that creates a T-shaped roof crest with the entry bay having a separate, slightly shorter, hipped roof. The roof is gray composition shingles, with simple fascia boards and aluminum gutters and downspouts, but it appears that this may have been the original material, at least according to the 1967 fire insurance map. There is a corbelled brick chimney cap in the gable ridge near the center of the building. The façade is divided into four vertical bays, with the entry bay located in the second bay, along the shaft of the T, next to the arm of the T, which forms the north two bays. The recessed shaft of the T forms the southernmost bay and the other bays have the same façade line. All of the bays, including the two bays on the side elevations all have paired, sashed windows with aluminum awnings, except for the entry bay. Above the entry is a single, sashed window with awning. The entry has a wood paneled door with a crossbuck pattern on the bottom and three shoulder arched lights across the top. The door is flanked by wood pilasters and has a broken pediment, but this is partially hidden by the aluminum awning. The basement windows are the original wood casement windows and the foundation is the rock faced ashlar limestone. On the rear elevation there are two large, two story, porch wings, one at each end, that have been enclosed with vinyl siding above the brick base and corner piers. Between the porches, in the basement level, are two, 2-car wooden garage doors. The windows have all been replaced with what appears to be 1x1 aluminum insulated sashed windows, probably replacing original multipaned sashes. The loss of that detailing, in combination with the extensive use of aluminum awnings, and the unsympathetic enclosure of the rear porches, severely impacts the historic integrity of this design and as such it is not contributing to the historic district. With the removal of the awnings, which are such a dominant visual feature, and more appropriate treatment of the rear porch enclosures, this would be a contributing building to the historic district.

43. History and Significance

This four family apartment building utilizes Colonial Revival features, most notably a broken pediment and pilasters on the entry, but it is a modest design with few other embellishments. It is prominently located on the west side of Roland Boulevard at the entry to the community, by Pasadena Boulevard, the other major access street into the community. It is only in this section of the community that apartment buildings are located, each uniquely designed, but all of similar massing and most of similar proportions, like this one. However, this modest design has also been modified, probably eliminating the other major distinctive feature, the original window patterns, although the openings and sashed windows were used as replacements, but these are hidden by the aluminum awnings on all the windows. In addition, vinyl siding clads most of the rear porch wings, another distinctive feature. As such the building is not a contributing building in the historic district, but with the removal of the awnings and a better treatment of the rear porch enclosures, this status could be reversed. Although the assessor estimated the year built as 1937, this address is not listed in the city directories through 1941. It is first listed in the next directory, in 1943.

44. Description of Environment and Outbuildings

This property faces southeast onto Roland Boulevard near the entry to the community. There is a driveway along the north side of the property that accesses the basement level garages on the rear of the building.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

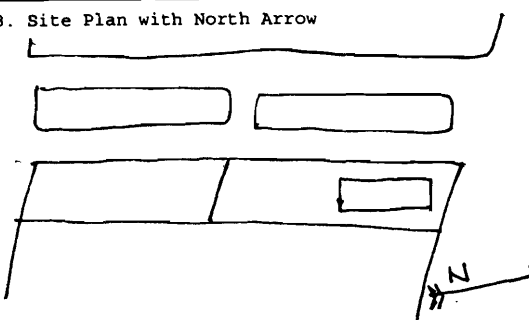
48. Date 49. Revision Dates

Sept. 2002

3825 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLA-039 - 0253		4. Present Name(s)	
2. County St. Louis		5. Other Name(s)	
3. Location of Negatives Missouri Historic Preservation Office		HISTORIC: Beverly Apartments	
6. Specific Location 3830 Roland Blvd., Pt. Lot 7, Devaney Place		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935-1941	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer orig. design, unknown; C. C. Koelm 1957 porch addition	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Apartments	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Apartments	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known James E. and Gloria A. Johnson, 5172 Trailbend Dr., Florissant, MO 63033	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hipped, slate, now comp. shingles	
		33. No. of Bays FRONT 7 SIDE	
		34. Wall Treatment Brick, stone, half timber stucco	
		35. Plan Shape rectangular+porch	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched hipped roof, multicolored (red, brown, cream) matted brick, four family apartment building has a rectangular plan. Composition shingles replace the original slate roof, but the building retains the original copper gutters. The façade is divided into seven bays with three on each side of the central bay. The rock faced ashlar limestone foundation is raised, with large façade basement window openings (now boarded) that have dressed stone keystones, like the first floor façade windows, but the lintel for the basement is actually a continuous brick soldier course while the first floor windows have individual soldier course lintels. The windows on the façade are vertically aligned, one sashed window on each level in each bay on either side of the entry bay, all 6x1 wood sashed windows, except for the two bays to the south of the entry, which have replacement 1x1 aluminum insulated sashed windows. The central entry bay has a 1.5 story gabled vestibule that projects slightly from the main façade with a large corbelled cap, brick end wall chimney tucked into the north side by the vestibule. The chimney has a square shaft, and scattered stone blocks, as well as a vertical indentation to give the appearance of a split upper shaft. Above the vestibule gable, there is a small brick parapet section with a battlement detail that is connected to the chimney shaft by a short brick buttress. The upper level of the entry vestibule is clad with stucco half timbering and has a paired, leaded glass casement window at the stair landing. The relieving arch entry is flanked by dressed stone quoining and there is a raised dressed stone base to the vestibule (not as high as the stone foundation in the flanking bays). Above the arched opening is a stone entablature. The wood plank door has a similar arch as does its large arched top leaded glass light. There is a concrete slab stoop that is actually the first section of the sidewalk that extends directly to the street. The side elevations do not have windows in the front bay but have a 6x1 wood sashed window on both levels of the rear bay. The basement level, of each side elevation has two single wood paneled overhead doors deeply recessed into the rock faced ashlar foundation. On the rear, there is a two story, porch that projects from the middle of the building that has steel framing and concrete flooring with aluminum awnings. While this is probably original, to the south is a two story addition dating from 1957 that includes a enclosed framed porch on the first floor with a second floor deck that has a concrete floor. The enclosure appears to be an even later alteration with vinyl siding and aluminum awning windows. While the enclosure of the rear addition is not compatible with the original design of the building, it is not visible from the street. On the other hand, the enclosure of the façade basement windows, because they are so large, and the replacement of two pairs of façade windows, because they do not match the muntin patterns of the originals, do detract from the historic integrity of the design.

43. History and Significance

This four family apartment building is located prominently at the entrance to Pasadena Hills, between the entry tower and Pasadena Boulevard, the only area with apartments in this residential development. While its basic design is a simple rectangular plan, its long façade, with the distinctive Tudor Revival detailing, encapsulates the features that distinguish many of the Tudor Revival residences in the community: half timbering highlighting the upper level of the vestibule, a paired leaded glass casement window, an arched entry with a wood plank door that has a leaded glass light, stone outlining the entry, a façade chimney nestled next to the vestibule. In addition, the building's windows are the characteristic 6x1 wood sashed windows and it has a raised, ashlar limestone foundation, also characteristic of Tudor Revival designs. Even the use of basement level garages, located on the side elevations is a common design solution in Pasadena Hills, where the garages were usually relegated to the rear on side elevations to minimize the impact on the streetscape. The assessor estimated the year built as 1935, but the building does not appear in the city directories until 1941. While the exact year of its construction cannot be verified, it appears it was completed in the late 1930s. There are plans on file in city hall for the rear porch addition in 1957 that were designed by C. C. Koelm, but the original architect is not known. Although a few of the windows have been replaced with simple sashes, not matching the original muntin pattern, and the original slate roof has been replaced with composition shingles, the design otherwise retains most of its historic integrity and is still a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot faces northwest onto Roland Boulevard just inside the entry, north of the entry tower on Natural Bridge. There is a tiered, concrete sidewalk that leads to the central entry and there are driveways at each end that lead down to the basement level garages on each side elevation.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

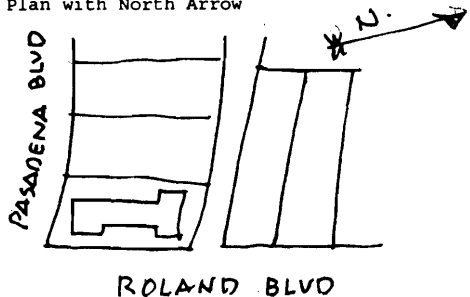
48. Date 49. Revision Dates

Sept. 2002

3830 ROLAND BLVD.
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0254		4. Present Name(s)	
2. County St. Louis		5. Other Name(s)	
3. Location of Negatives Missouri Historic Preservation Office		HISTORIC: Pasadena Apartments	
6. Specific Location 3909 Roland Blvd., L6, P7, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1950	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer Dan J. Mullen	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Ethelmar and Barbara Stott, 3829 Lawler Dr., St. Louis, Mo 63121	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material gable, comp.shingles	
		33. No. of Bays FRONT 5 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, four unit apartment building has a long, side gabled façade with cross gables over the outer bays, which are framed on both sides with brick quoining. The brick is a variegated red brick and the roof is a light gray composition shingle with boxed cornices and aluminum gutters. The façade is divided symmetrically into five bays. The outer two, cross gabled bays have shuttered, sashed windows on both levels, vertically aligned. The bays on either side of the central entry have paired, sashed windows on both levels. Above the entry, at the stair landing is a stained glass, 2x2 (horizontal light) wood sashed window. The entry has pilasters and a large broken pediment around the narrow sidelights and wood paneled door, which has a crossbuck panel design on the lower half and 9 light rectangular light on the upper half. The sidelights are very slender with four clear glass lights on the upper half above the wood panel. The entry stoop is actually a concrete slab that connects to the straight concrete sidewalk with steps down to the public sidewalk and street. The side elevations have two bays of sashed windows on each side and there is a three car garage wing on the rear, north end, that creates the L-shaped plan and opens to the basement. It has wood paneled overhead doors. There are also two basement level garages, according to the assessor records. The windows have all been replaced with vinyl sashed windows and it is likely that the original windows were also 2x2 sashed windows like the stained glass window on the stair landing, but the design retains most of its original features and even the composition shingle roof is probably a replacement of an original composition shingle roof.

43. History and Significance

There are plans on file in city hall designed by Dan J. Mullen for these apartments, identified by address and name, The Pasadena Apartments, but they are not dated. The assessor estimated the year built as 1950, which is probably fairly accurate since this four family apartment building is not listed in the 1949 city directory but is listed in the next directory in 1953. At that time it was owned by Charles M. and Ida G. Bindner, who lived in the building and was president of Hammermills, Inc. Interestingly enough, the directory only identified this as a two unit apartment building, and it is unclear if that is because of an error or a later alteration. The exterior of this apartment utilizes Colonial Revival detailing, most notably a side gable with cross gables, shuttered windows, brick quoining on the end bays, and a pedimented and sidelighted entry. Just like most of the Colonial Revival house designs in the neighborhood, this building has a symmetrical façade, another characteristic Colonial Revival feature and as is common to Pasadena Hills, there is a leaded and stained glass window, in this case prominently located above the entry. Also, as is characteristic of this community, the garages are located on the side and rear elevations, where they do not impact the streetscape. This building is located between Pasadena Boulevard and Pasadena Court, which is little more than an alley to serve the garages of this building and the other apartments along Pasadena Blvd. The design is important, not only because of its prominent position at the intersection of two primary arteries in the community, but also because of its styling and details, which provide a visual indication of the styles, materials, and detailing to be found throughout the community.

44. Description of Environment and Outbuildings

The lot faces southeast onto Roland Boulevard near the entrance to the community, extending between Pasadena Boulevard and Pasadena Court. There is a straight sidewalk with steps down to the public sidewalk from the central entry.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

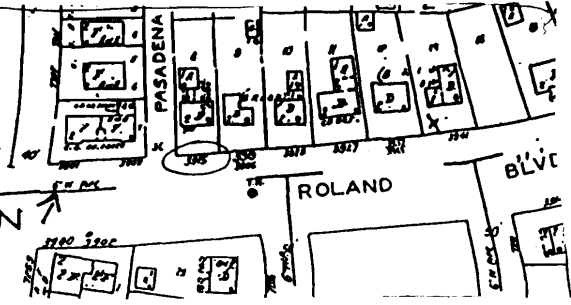
48. Date 49. Revision Dates

Sept. 2002

3909 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0255		4. Present Name(s) Pasadena Hills City Hall	
2. County St. Louis		5. Other Name(s) HISTORIC: Kibler, Victor and Augusta O., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3915 Roland Blvd., L8, Block 2		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1948	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Colonial Revival	30. Foundation Material Concrete
		19. Architect or Engineer	31. Wall Construction concrete block, brick faced
		20. Contractor or Builder	32. Roof Type, Material Gable, asbestos tile
9. Coordinates Lat Long		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE 2
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use City Hall	34. Wall Treatment Brick
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	35. Plan Shape hyphenated rectangle
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known City of Pasadena Hills, 3855 Lucas Hunt Rd. Ste 208, 63121	36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	37. Condition Interior Exterior Good
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Kathy Runge, City Clerk	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, light gray asbestos tile roofed house has multicolored (red, brown, green, and cream) textured brick walls. It has flanking brick, end wall chimneys with corbelled caps that split the gable ends. The façade is divided into three vertical bays with paired, 2x2 wood sashed windows in either end bay on the second floor. The center bay had a cross gable that formed a slightly projecting, overhanging bay on the second floor with stone blocks forming the course across the base and an iron railing, faux balcony in front of the paired wood casement windows. All of these windows have horizontal muntins, a popular post-war choice over the multipaned windows of the pre-war houses. Below, the centered entry has a round arched opening outlined with rock faced, stone quoining around the round arched, stained, wood plank door that has a small, round arched, stained glass light in the upper portion of the door. There is a low concrete stoop with one step that still retains its original railings, a rarity in Pasadena Hills. In the bay to the north of the entry is a triple window, with vinyl sashed windows flanking a picture window. To the south, there is a canted bay window with a standing seam metal roof that has brick walls below the windows, one sashed vinyl window on each side. Side windows on each elevation are vinyl on the first floor and still the original wood on the second floor. Behind the house, on the south end, there is what was originally a screened breezeway, but is now an enclosed room (with a wheelchair ramp added to meet ADA requirements). The breezeway connects to the end gabled, two car, brick garage with a matching tile roof and the original overhead garage door. The first floor windows have all been replaced in their original openings with vinyl windows and there are aluminum combination storm windows and a storm door elsewhere. The eaves have been clad in aluminum and there is a replacement aluminum gutter as well. Even so, the house retains its basic form and elements and is still a contributing building in the historic district.

43. History and Significance

The assessor estimated that this house was built in 1948, which is fairly accurate since the house first appears in the 1949 directory (the previous directory was published in 1946). It was the new home of Victor and Augusta O. Kibler. He was a salesman, but by 1953 the house is simply listed as the residence of Luella Kibler. Recently, the City of Pasadena Hills purchased the home, since it sits near the entrance to the community, to use as the city hall, the first one the city has ever had. Although they made some improvements to the house, most notably replacing the windows with vinyl windows, both the interior and exterior retain most of their historic integrity. This is a nice example of the centered gable form of a brick, Colonial Revival house. It has the characteristic side gable with a centered cross gable on the middle of three bays on the façade. It has the characteristic flanking end wall chimneys and a bay window, a popular detail on post-war Colonial Revival style houses. The house also has a breezeway to the attached garage on the rear of the house, another popular post-war feature. The rock faced ashlar stone surrounding the round arched door is more often associated with the Tudor Revival houses popular in Pasadena Hills, an example of how designs utilize elements from various styles to satisfy the desires of the new homeowners.

44. Description of Environment and Outbuildings

The lot faces southeast onto Roland Boulevard at the corner with Pasadena Court, which is really an alley behind Pasadena Boulevard. Since the garage opens directly onto Pasadena Court, there is not a driveway and the concrete sidewalk with steps at the end near the street that runs straight from Roland to the front entry.

45. Sources of Information

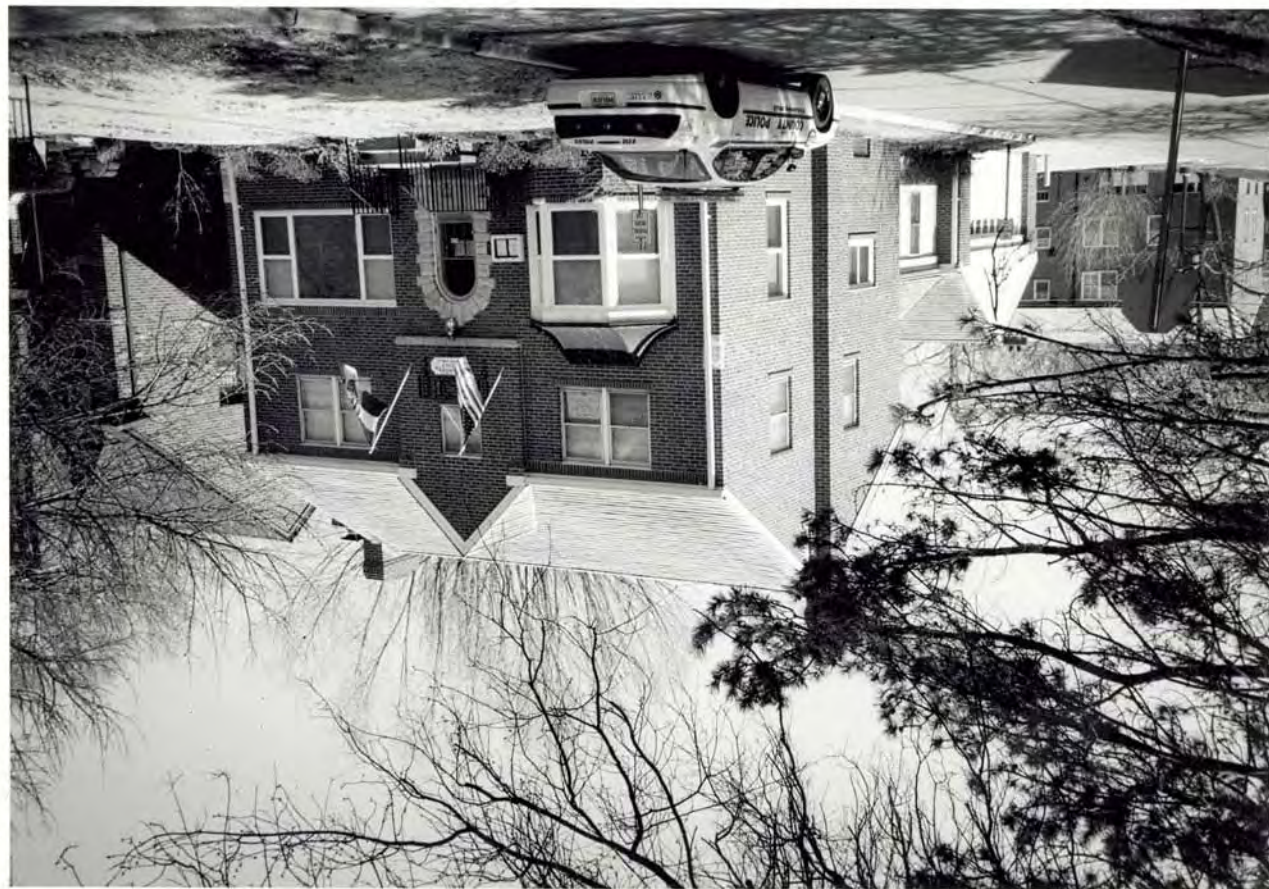
46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

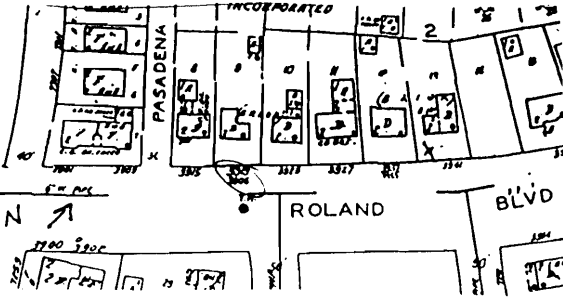
48. Date 49. Revision Dates

Sept. 2002

3915 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0256		4. Present Name(s) Lindhorst, Jeffrey W. & Christina R. Barsel Lotti, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Hoerr, Philip L. and Margaret L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3919 Roland Blvd., Lot 9, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935-1937	
8. Site Plan with North Arrow 		19. Architect or Engineer	
9. Coordinates Lat Long		20. Contractor or Builder	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Lindhorst, Jeffrey W. & Christina R. Barsel Lotti	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry brick	
		32. Roof Type, Material Gable, comp. shingles	
		33. No. of Bays FRONT 3+1 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This steeply pitched, side gabled, two story, multicolored (red, olive, charcoal, and tan) brick house has a reddish brown asphalt shingle roof that replaces the original slate roof. The house retains its original copper gutters and downspouts. The foundation is rock faced ashlar limestone with small wing walls at the outer corners on the façade as well as on the south side of the chimney. The façade is divided into three vertical bays, with gabled wall dormers separated by a massive, decorative end wall chimney and a slightly projecting, wider, cross gabled 1.5 story, entry bay on the north end of the façade. Technically, this gable has the same proportions as the two gabled wall dormers, but the eaves are extended down into the second floor, and even form a false wall beyond the north end of the house on the second floor. On the north end of the house is a side gabled, one story, sunroom that has a matching roof and brick walls. In the bays flanking the chimney, each has 6x6 aluminum sashed windows on the second floor and 6 x 9 aluminum sashed windows on the first floor. Each of these bays have a projecting soldier course between the floor levels. The chimney is a wide, brick shaft that has a step capped by a corner stone on the south side at the first floor sill height and a slight step at the second floor meeting rail height on the north side. Three vertical rows of pointed brick accent the shaft with the outer two starting at the lintel height on the first floor and the other starting lower on the chimney. The gabled entry bay has paired, diamond pattern, stained glass casement windows with a single transom on the second floor and two vertical rows, of alternating projecting pointed bricks on the second floor walls, similar to the same treatment in the gabled wall dormers. The slightly arched opening on the entry is surrounded by rock faced, ashlar limestone quoining and keystone that angles back to the doorway slightly. There is a porch lantern centered above. There is a concrete stoop with steps that still retain the original iron railing. The door is stained, solid oak, with stained glass oval and circular lights stepped on the door as well as unique panel design. There is a full view wooden storm door that has been added since the photo was taken when there was an aluminum combination storm door protecting the entry. The sunroom has paired 6 x 9 aluminum sashed windows on each elevation and vinyl siding in the gable end. The façade wall of this wing merges with the main façade wall. On the back, there is a slightly bowed bay with a copper seamed roof that extends to the ground with brick walls and stone foundation. It has 3 aluminum sashed 6 x 9 windows. The only visible alterations to the house are the replacement roofing and the replacement windows, done in keeping with the original style of the house, possibly even the original window pattern and the unique leaded glass window was not replaced. Behind the house is a two car, end gabled, matching brick, garage with an asphalt shingle roof and vinyl siding in the gable end. The overhead, wood paneled door with lights faces the street and appears to be original.

43. History and Significance

Although the assessor estimated the year built as 1935, this address does not appear in the 1936 directory, but it is listed in the 1938 directory, meaning that the house was probably finished either early in 1936 or in 1937. It became the home of Philip L. and Margaret L. Hoerr. He was the president of Southwest Engraving Company. The couple lived in the house through the 1940s, but the first directory in the next decade, 1953, listed new owners, Dennis J. and Mary E. O'Leary. He worked for Henry, Franc and Company of St. Louis. The house is a distinctive Tudor Revival style house, because of the unusual detailing: the vertical brick projections up the shaft of the front chimney, the three gables across the façade, and the unique patterning on the solid oak entry door that included stained glass ovals and circular lights asymmetrically placed on the door.

44. Description of Environment and Outbuildings

The lot faces southeast onto Roland Boulevard and there is a detached 2 car, end gabled, brick garage on the north corner in the back of the deep, narrow lot that is accessed by a one car driveway along the north side of the property. There is a winding concrete sidewalk between the front entry stoop steps and the lower steps to the public sidewalk.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Sept. 2002

3919 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0257		4. Present Name(s) Houston, Mary E., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Wahlert, Ernest H. and Myrtle R., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3923 Roland Blvd., L 10, Pt. 11, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935-1937	
8. Site Plan with North Arrow		18. Style or Design Colonial Revival	
		19. Architect or Engineer Julius E. Tarling	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Residence	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Houston, Mary E.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, clay tile	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Brick	
		35. Plan Shape hyphenated rectangle	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, three bay house has a gable over the slightly projecting center bay. The brick walls are a light buff with slightly darker buff on the quoining and other projecting brick details. There are flanking end wall, brick chimneys with corbelled caps and replacement metal hoods. The roof is flat, red tile (which may be concrete or clay) and the house has copper gutters with decorative collector boxes on the downspouts near the end of the façade. There is a corbelled brick course under the gutters that combine to wrap the corners as gable end returns. The gable ends all appear to be clad in replacement siding. The corners of the façade have brick quoining, as does the corners of the center projecting bay. The outer bays have 8 x 8 wood sashed windows with shutters on the second floor above 8 x 12 wood sashed windows with shutters on the first floor. There is a projecting brick stringcourse that separates the first and second floor on all elevations. There are splayed brick lintels on the first floor. The center bay has a 6 x 6, smaller, shuttered, wood sashed window on the second floor with the porch lantern centered above the entry lintel in the space between the window and doorway below. The brick lintel forms an entablature with dentils and there are flanking, rowlock brick pilasters that surround the sidelighted entry. The sidelights have leaded glass above a recessed panel and the door is a six panel, wood painted door. There is a buff brick sill plate and a replacement full view aluminum storm door. The semicircular concrete stoop with one step, has its original, unusual pattern, iron rails. There are matching windows on both elevations of each side elevation, except that the one on the first floor behind the chimney is a paired casement window. There is a shed roof supported by wood brackets and clad with matching tile roofing and a bead board sides over the back door. There is a breezeway, which was originally a screened porch, but has since been enclosed with siding, that connects to the end gabled, two car, garage that faces south into the back yard. The gable ends are clad in the same siding as the house, but the garage retains its two original garage doors. Although the first floor retains its original wooden storm windows, the second floor windows are aluminum combination storm windows, one of the few alterations visible on the house except for the siding in the gable ends and the enclosure of the breezeway.

43. History and Significance

There are plans on file in city hall designed by Julius E. Tarling for this address, but they are not dated. Tarling was the most popular architect in Pasadena Hills and he designed many of its homes. The assessor estimated the year built as 1935, but this address does not appear in the 1936 city directory, making it more likely that it was completed in 1936 or 1937, since it does appear in the next directory in 1938 as the home of Ernest H. and Myrtle R. Wahlert. He was a mechanical engineer for Granite City Steel Company. They continued to live in the house through at least 1949, and when the next directory was published in 1953, Gordon E. and Lois L. Graber had moved into the house. He was a salesman for the American Heating Company in St. Louis. This is a more studied example of the Colonial Revival subtype noted for its center gable and three bay façade, but this example has more elaborate detailing than many other Colonial Revival houses in Pasadena Hills, features like the brick quoining on the corners and the deep brick corbel courses under the gutters that create a boxed cornice appearance, the heavy corbelling on the end wall chimneys, the decorative collector boxes on the downspouts, the red clay tile roof, and the sidelighted entry. Even the use of a lighter buff colored brick is uncommon in this community. The house has other distinctive Colonial Revival features, especially the multipaned windows and shutters and even the breezeway connection to the gabled garage.

44. Description of Environment and Outbuildings

This long, narrow lot faces southeast onto Roland Boulevard. There is a one car, concrete driveway along the south side of the house and lot from the street curving back to the south facing garage doors in the wing on the back of the house. There is a curved concrete sidewalk from the sidewalk to the front entry.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

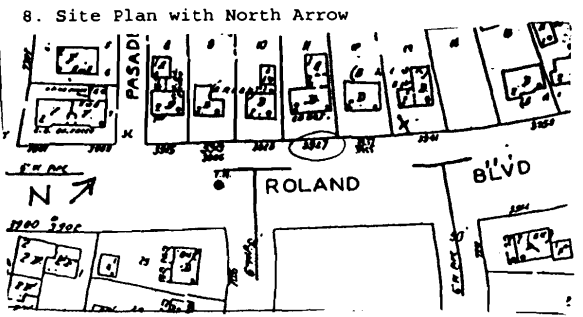
48. Date 49. Revision Dates

Sept. 2002

3923 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0258		4. Present Name(s) Milligan, Thomas F., & Madonna H., House	
2. County St. Louis		5. Other Name(s) HISTORIC:	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3927 Roland Blvd., Pt. 11, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1955	
8. Site Plan with North Arrow 		18. Style or Design Neo-Colonial	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling-1955	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Milligan, Thomas F. & Madonna H.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material Gable, asbestos tile	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment brick, ashlar stone	
		35. Plan Shape hyphenated rectangle	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This side gabled, two story, multicolored (red, cream, charcoal) course textured brick house retains its original gray asbestos tile roof and copper gutters. It has a boxed cornice with a tall fascia board that forms a continuous lintel. The façade is divided into three bays with a gabled center bay that projects slightly from the main façade. The gutters and cornice form a broken pediment detail on this gable as well as on the side elevations. All windows on this house have horizontal lights. There are 2 x 2 wood sashed windows in each outer bay on the second floor. On the first floor of the south bay is a triple window with 2 x 3 sashed windows and a soldier course lintel. The north bay has a picture window, also with a soldier course lintel, that consists of two narrow 2 x 3 wood sashed windows flanking a plate glass window. The center bay has a wood clapboard gable end, ashlar limestone walls on the second floor, creating the appearance of a second floor overhang, and two 2 x 2 wood sashed windows above the entry. Near the base of the stone, centered, is the porch lantern. The first floor of this bay is brick and the rectangular doorway is simply framed with a painted, solid wood door with three raised square panels. The concrete stoop and steps retain the iron railing, a rarity in Pasadena Hills. There is an end wall brick chimney with banded brick cap on the north elevation with sashed windows on both sides of the chimney and the south elevation has irregularly spaced sashed windows. The enclosed breezeway on the north end of the house has brick walls (the north wall merges with both the house and garage) that connects to the side gabled, two car, garage that retains its original wood overhead door. The house has a iron grilled, full view security storm door that obscures the view on the front door's distinctive details, but appears to have no other alterations.

43. History and Significance

There are plans on file in city hall, designed by architect, D. H. Reynolds in 1940 as well as plans submitted in 1955 by Julius E. Tarling, a popular architect in Pasadena Hills throughout its development. It seems likely that construction was halted because of the war and that Tarling's plans for this house in 1955 were the ones used and the house was apparently completed that year since that is also the year identified by the assessor. This is an interesting adaptation of the Colonial Revival form known for its center gable, and this house still retains that basic form (side gabled, three bays on the façade and centered gabled bay), but its details are distinctly modern, especially the horizontal lights in the windows and the picture window flanked by narrow sashed windows. Although the house is not yet 50 years old, it is a contributing building in the historic district, because its styling, materials, and massing are consistent with houses built throughout the development of the community and because it is one of Tarling's later house designs in the neighborhood. It is certainly a distinctive example of his later work with its horizontal lighted windows and the distinctive door design.

44. Description of Environment and Outbuildings

This deep lot faces southeast onto Roland Boulevard. There is a one car, concrete driveway on the south side of the lot and house that extends back and turns to access the entry to the attached garage wing in the back of the house. There is also a curved concrete sidewalk that connects via two steps to the public sidewalk from the front entry.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

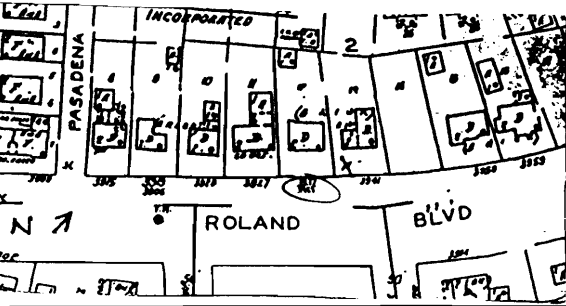
48. Date 49. Revision Dates

Sept. 2002

3927 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS089 - 0259		4. Present Name(s) McCarthy, Harold W. & Cynthia P., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kessler, Joseph J. and Margaret, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3937 Roland Blvd., Lot 12, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935-1937	
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Residence	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	
11. On Nat'l. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known McCarthy, Harold W. & Cynthia P.	
13. Part of Estab. Hist. District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hip - Slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick, w/ half timbered stucco	
		35. Plan Shape rectangular + wing	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched hipped roof, multicolored (red, cream, charcoal) brick house has a slate roof. The gutters are replacement aluminum gutters, but under the gutters there is a brick dentil course. The foundation is poured concrete that is not visible on the façade. The façade is divided into three vertical bays with small cross gables over the windows of the outer two bays and a broad elliptical cross gable that forms a stucco half-timbered, second floor overhanging bay in the center above the entry. This bay has two slender windows (the pattern is obscured by the aluminum storm windows) aligned above the doorway and paired heavy wood brackets at each corner supporting the overhang. The dressed limestone blocks that form irregular quoining and a flat lintel, extend to the base of the overhang. The lintel has elaborate relief carving, including an heraldic shield. The recessed door is a stained, solid oak, paneled door that has vertical panels around a rectangular stained glass light. The porch stoop is concrete with two concrete steps. In each outer bay, the brick is laid to create a large diamond pattern and there is a heavy dressed limestone lintel that is slightly wider than the window opening. Each of the windows is an 8 x8 wood sashed window. The first floor window in the south bay has a triple rowlock header brick lintel with a slender dressed limestone keystone and large corner blocks. Its triple window unit is composed of slender, tall sashes with high meeting rails and leaded glass lights. The large, canted bay window in the north bay has a standing seam metal roof and brick walls below the similarly sashed, leaded glass windows. The north elevation has asymmetrically placed, multipaned, sashed windows on both levels and a brick chimney flue with a brick banded cap. The south elevation abuts the driveway and has vertically aligned multipaned, wood sashed windows and basement windows in two bays on either side of the chimney. The chimney is stepped and the second floor shaft is split around a deeply recessed niche. It has a projecting brick stringcourse the top as well as a wide brick banded cap and a S-shaped, tie rod end that connects back to the roof. On the back of the house, there is an overhanging bay window that has wavy butt wood siding and a two story, framed porch at the south end of the back elevation that also has wavy butt siding on the enclosed walls of the first floor up to the base of what was originally screened openings on the second floor, but are now aluminum storm windows. This sleeping porch wing does not appear on the 1967 fire insurance map, but the brick faced foundation seems to be continuous with the south wall of the house, indicating that it is original to the house. At the back of the lot is a detached, two car, steeply pitched (to match the house), slate roofed, matching brick garage that retains its original overhead wood door. The only apparent alterations to the house are the missing porch railing and the use of aluminum combination storm windows, but those on the first floor have at least been painted to blend with the window framing.

43. History and Significance

The assessor identified the year built for this house as 1935, but it does not appear in the 1936 city directory. It does appear in the next directory, however, in 1938, as the new home of Dr. Joseph J. and Margaret Kessler. He was a physician in St. Louis. Thus, it is most likely that the house was finished in 1936 or 1937. The Kesslers only lived in the house a few years, last listed in the 1941 directory and by 1943 George J. and Stella M. Reiser had moved into the house. He was a foreman for Woodward and Tiernan Printing. They continued to live in the house at least through 1955 when city directory research ended. This is an unusual Tudor Revival design for Pasadena Hills, a more formalized example of this style, but it has many of the decorative details that distinguish this style: steeply pitched roof (in this case hipped instead of the common use of gables) with symmetrically aligned cross gables and a bowed gabled (usually they are more asymmetrical), use of a variety of wall materials (brick with patterning, half-timbered stucco, and wavy butt wood siding), contrasting masonry around the recessed entry opening, a heavy stained wood door with stained glass light, as well as multipaned and leaded glass windows. Even the placement of the detached garage at the back corner of the property is in keeping with the character of this community, built as a commuter suburb dependent on the automobile, but one that did not wish to have the garages prominently visible in the streetscape, but was designed to match the character and styling of the house..

44. Description of Environment and Outbuildings

This long, narrow lot is basically flat and faces southeast onto Roland Boulevard. There is a one car, concrete driveway along the south side of the lot and house that is cut lower than the lawn and extends back to the hipped roofed, two car, matching brick, detached garage at the back of the lot.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Sept. 2002

3937 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. NO. SLAS034 - 0260		4. Present Name(s) Clifton, Herbert A., & GERALYN C., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Hunt, Karl D. and Myrtle, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3941 Roland Blvd., Lot 13, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow		18. Style or Design Art Deco influenced	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Clifton, Herbert A., & GERALYN C.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hip - Slate	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment brick, limestone details	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched hipped roof, L-shaped plan house has a three bay façade. The brick walls are multicolored (red, cream, tan and brown) with minimal detailing, except for the projecting brick stringcourse across the middle of the upper floor center bay (on either side of the window), the projecting header bricks dotting the area above that window, the small eyebrow brick course above the entry, and the soldier courses separating the first and second floor of both outer bays that actually has dentils under the soldier course and bull nosed stone brackets at each end. The roof is a multihued gray slate roof with copper gutters, no eave overhang and a simple fascia board. The foundation is poured concrete, that is not visible on the façade. The center bay of the façade projects slightly with a hipped row with an elliptical gable through the eaves in the center of the bay that forms an extended lintel for the second floor window. This window is a six small leaded glass casement windows. The entry has dressed stone blocks laid in a zigzag, stair stepped pattern on either side of the rectangular door opening and a slightly bowed, dressed stone lintel across the top that forms a trapezoid in contrast to the brick walls of this center bay. The door is a unique, solid oak door with lines grooved into the door in an Art Deco pattern that incorporates a stained glass rectangular light near the top of the door that abstractly appears to be the top of a stair stepped skyscraper. The concrete porch stoop is a large, semi-circular structure that has rock faced, ashlar limestone half-walls and steps set at an angle toward the driveway on the south. The bay to the north has paired sashed windows on the second floor with 9 x 1 wood sashed windows. The pattern in the upper sash places the vertical muntins further apart, creating a wide vertical row of horizontal lights flanked by small square panes. Below, there is a triple casement window with transoms that have leaded glass windows in each section and heavy mullions between each section. The south bay has another 9 x 1 wood sashed window off centered in the second floor with a tiny 9 x 9 sashed window next to the center bay. Below, this same muntin pattern is used on the taller and narrower, 6 x 9 windows. The same window pattern is used on the side elevations and there is a garage on the first floor of the south end that is accessed from the rear of the house. The house appears to have had few alterations, most notably aluminum storm windows and a full view storm door which are protecting the historic features of this house.

43. History and Significance

Although the assessor identified the year built as 1935, this address did not appear in the 1936 city directory, making it more likely that it was built in 1936-1937. It was first listed in the 1938 directory as the new home of Karl D. and Myrtle Hunt. He was identified as a manger. However, the house was listed as vacant both in 1939 and 1941. In 1943, new owners moved into the house, John W. and Frances Sewell. He was a utility contractor. The next directory was not published until 1946, after the war and by then the house was owned by James R. and Irene Brady, but within a few years, he had died. She was initially listed as a stenographer for Warner Jenkinson Manufacturing and continued to live in the house after his death, at least through 1955 when city directory research ended. This house is extremely unusual, blending well with the in the predominantly Tudor Revival and Colonial Revival neighborhood, even having the three bay façade and multicolored brick found on many of the homes in the community, but its detailing is strongly influenced by the Art Deco movement. The zigzag detailing of the smooth limestone surrounding the recessed entry, the muntin pattern in the windows, the brick decorative details, and the distinctive detailing on the front door. It is likely that interior features also reflect this influence as well,

44. Description of Environment and Outbuildings

This narrow, deep lot faces southeast onto Roland Boulevard. The lot is basically flat although the one car, concrete driveway on the south side of the house and lot is cut down into the ground to minimize its visibility from the street. The drive curves around in the back to provide access to the garage in the south side of the ground floor of the house.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

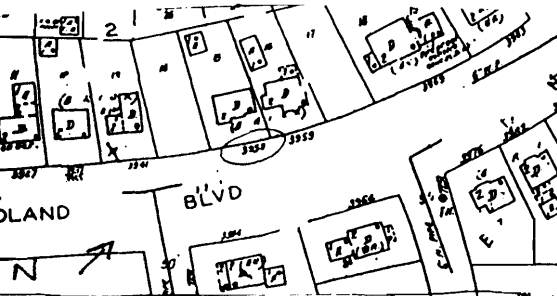
48. Date 49. Revision Dates

Sept. 2002

3941 ROLAND
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0261		4. Present Name(s) Cerny, Randy L. & Nancy, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kroehnke, Walter and Martha, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3953 Roland Blvd., P 14, L 15, Block 2		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1934	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	30. Foundation Material rock faced ashlar limestone
		19. Architect or Engineer Russell and Counzelman	31. Wall Construction load bearing masonry brick
9. Coordinates Lat Long		20. Contractor or Builder Ben Goldberg	32. Roof Type, Material hipped, clay tile
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment red/brown brick
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Cerny, Randy L. & Nancy	36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior very good
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two-story, Tudor Revival house has a clay tile, hipped roof and multi-colored, red and brown brick walls that are accented by the rusticated ashlar limestone foundation that extends up at the corners and forms small wing walls on each end of the façade. Rusticated stone randomly placed on the corners of the outer two bays references quoining. Concrete which mimics dressed limestone is used in the lintels, sills, and as the entry's door and window surrounds. Decorative brick patterning highlights the façade. The façade is divided into three bays with the entry in the middle bay. The house features copper gutters that have decorative braces and five stained glass windows. The gabled bay on the south end of the façade has a vertical brick decorative course at each end as well as a raised, V-shaped brick pattern in the gable end. The ends of the bargeboards have decorative curves on the overhanging front gable. This bay has paired sashed windows on the upper level that share a lugged sill and soldier course brick lintel with square concrete panels that continues as a belt course across the bay. As with most of the windows on the house, these sashed windows are 6 x 6 windows. On the first floor level there are two, paired casement doors with round arched transoms. The doors each have 10 lights and there is a soldier course brick surround with dressed concrete panels extending each of the door's lintel visually into this surround and providing the keystone of the arch. In front of each of these French doors is an iron railing. The middle bay steps back from the south bay slightly and has a parapeted gable that repeats the raised, V-shaped brick pattern in the gable end. The point of this V forms the concrete keystone of the brick, round arch above the paired, leaded glass casement windows on the second floor. Soldier course bricks outline the dressed concrete parapet caps and the north corner is outlined with a vertical brick course. There is a basketweave belt course separating the first and second floor levels. The first floor of this bay is the main entry. The Tudor arched, recessed opening is clad in dressed concrete panels that form a quoin pattern on the sides and have a flat lintel with keystone. Flanking the entry are narrow, vertical windows with dressed concrete quoins, sills, and keystone lintels. The concrete front entry stoop has metal railings with four steps with metal railings centered on the stoop. The sidewalk curves to the lower sidewalk at the street. The north bay has paired sashed windows on both levels, both with 6 x 6 sashed windows with lugged concrete sills. The first floor windows have a soldier course lintel that forms a belt course, similar to the upper level windows of the south bay. The south elevation is divided into two bays which are separated by the end wall chimney which is highlighted by rusticated stone randomly placed on the edges. The chimney has a corbelled cap. The window on the lower level, east bay is round arched while the others are sashed windows. The north elevation has two sashed windows on the upper level and two sashed windows on the first floor level, but they are not aligned vertically. Near the back of the first floor is a bay window insert which appears to be a more recent addition into the small window opening. The windows on these side elevations have brick sills. On the back of the house is a 20' x 20' addition finished in 1981 that has a gabled roof with wide eaves and is clad in siding. It is visible from the north end of the house. There is also an end gabled, two car, matching brick garage that has a replacement overhead door and siding in the gable end.

43. History and Significance

The building permit for this house was issued to Ben Goldberg of 7124 Cambridge Avenue based upon plans submitted by Russell and Counzelman. Since Goldberg was not the first occupant, it is likely that he was the builder or developer of this property. This is the only known design in the neighborhood by Russell and Counzelman. This house was probably finished in 1934 as the home for Walter and Martha Kroehnke since it appears in the city directory that year. He was an investment broker with Waltke Investment Company in St. Louis. In 1977, Daniel and Joann Zachaeis became the owners of the house, but in 1980, the house was sold to the current owners, Randy and Nancy Cerny. It is a nice example of the Tudor Revival style, utilizing the multi-colored brick walls, steeply pitched roof with intersecting gables and multiple roofline treatments. It has other characteristic features of this style including decorative brickwork and the use of rusticated stone as quoining and staggered foundation treatments as well as wing walls and a stepped end wall chimney. Even the entry stoop with the deeply recessed entry with a dressed "stone" surround is common to this style. The pair of round arched French doors in the south bay, façade composition and the clay tile roof are more commonly associated with the French Eclectic style popular at this time, but that style utilizes the steeply pitched hipped rather than the gable roof form. Since it was popular during the same era, it is an interesting mixture of design elements.

44. Description of Environment and Outbuildings

Located on the west side of Roland Blvd. at the head of Bristol, the house has a concrete driveway on the south side of the house that leads to the two car, end gabled, brick garage at the back of the property that appears to date from the same period as the house.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, March 2, 1931

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

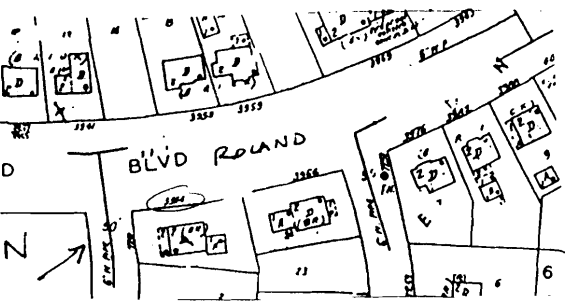
48. Date 49. Revision Dates

April 2002

3953 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 02602		4. Present Name(s) Ester, Luther J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Wagner, Eddie C. and Susie, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3954 Roland Blvd., Pt. 2, Lt. 1, Block 5		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936-1937	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Ester, Luther J.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable - Slate	
		33. No. of Bays FRONT 1+3 1 SIDE 2	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular +wings	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, two story, multicolored (red, tan and charcoal) brick house has a cross gable centered on the three bay façade and flanking end wall chimneys with corbelled caps with brick side wings on each end. The chimney on the south elevation has paired chimney pots while the one on the north is actually a flue chimney. The roof is a multicolored slate roof with boxed cornices and copper gutters. The foundation is rock faced limestone but it is not visible on the façade. On the second floor, the center bay has a shuttered, sashed window while the outer two bays have two similar windows each. On the first floor, the north bay has a canted bay window with a standing seam metal roof and three sashed windows. The south bay has paired sashed windows with shutters and a brick, splayed lintel with stone keystone. The first floor windows are taller, with a high meeting rail. The center bay has the stylized entablature and compound framing around the doorway with a slightly recessed wood door that has two stained glass panels with a split, shoulder arch image mirrored by the bottom half's two recessed panels. There is a low concrete slab stoop, with o additional steps that connect to the sidewalk that leads off to the south. The north elevation is split by the end wall chimney and has a sashed window on each level in front of the chimney and behind the chimney there are tiny, paired, sashed windows on the second floor above the garage wing roof. The wing on the south is a two story, hipped slate roofed, matching brick sun porch with paired sashed windows on the second floor façade wall and two paired sashed windows on the north elevation, all with shutters. On the first floor, the openings are basket handle arches with brick lintels with stone keystones, but these have been infilled with siding around the paired sashed windows and this level was probably originally an open or screened porch (based both on the design and the fire insurance maps). The north wing is recessed from the façade. It is a one story, two bay, side gabled garage that has an octagonal porthole window to the south of the two vinyl replacement overhead doors. The windows on this house have all been replaced, the second floor has 6 x 6 vinyl replacement windows while the first floor windows are 6 x 9 vinyl replacements. Given the care to match the high meeting rail, and the use of multipaned windows, these may closely replicate the original muntin pattern. The center gable and boxed cornices have also been clad in vinyl. Despite these alterations, the house retains its basic form and massing, and as such is still contributing to the historic character o the district.

43. History and Significance

The assessor's estimate of the year built, 1936, appears to be accurate since this address is not listed in the 1936 directory, but is listed in the 1938 directory as the new home of Eddie C. and Susie Wagner. His occupation was listed as clerk, but no employer was identified. They continued to live in the house at least through 1946, but the publication of the next directory in 1949 reveals new owners, Charles D. and Queen M. (or Lucille) Peet. He was a vice president for the Missouri Pacific Railroad. Later, he was identified as their chief accountant. This is a center gable version of the Colonial Revival style, a very popular style in Pasadena Hills. The Wagner House was designed with not only the standard features of center gable Colonial Revival house (side gable with center front gable, flanking end wall chimneys, shuttered, multipaned windows, and classical revival features on the entry), but it also has two side wings, options that were usually found only on the larger instances of this style, most notably the two story, masonry sun porch wing and the large bay window. In addition, it has another one story side wing to accommodate a garage, an important part of the development of Pasadena Hills which was developed as an automobile suburb. Although a portion of the porch wing has been enclosed and the windows replaced with vinyl windows, the house still retains most of the basic elements that define it a Colonial Revival house and is thus considered a contributing building in the district.

44. Description of Environment and Outbuildings

This lot, which is wider than it is deep, is basically flat and faces west Roland Boulevard at the intersection with N. Bristol Drive, across from the ravine that creates one of the three major parks in Pasadena Hills. There is a two car wide, paved driveway from the street to the façade garage entry and a concrete sidewalk from the middle of the driveway across to the front entry.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission


48. Date 49. Revision Dates

Sept. 2002

3954 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS0391 - 0243		4. Present Name(s) McLaughlin, Patrick A, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Linders, William and Irene, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3959 Roland Blvd., L 16, P 17, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer Russell and Counzelman	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Ben Goldberg	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known McLaughlin, Patrick A.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry brick	
		32. Roof Type, Material gable on hip, slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick; brick half-timbering	
		35. Plan Shape asymmetrical	
		36. ADDITION <input type="checkbox"/> Changes (explain in #42) ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This is a two story, multicolored (reds, charcoal, cream blend) house with a gray slate, gable on hip roofed house. The main roof form is hipped, with a massive, two story, end gabled wing projecting across the north half of the façade, with an overlapping, shorter, two story, projecting, gabled vestibule on the south half of this wing. There is also an intersecting, shorter, two story, side gable than spans across the south half of the façade which has a cross gable across the façade elevation. Overlapping the vestibule is an end gabled, slate roofed, timber framed, entry porch which has exposed, decorative rafter tails and purlins across the header beam, as well as large timber corner posts. Although this porch is not shown on the 1967 fire insurance map, that may be an error of omission (which occurs obviously on other buildings in the community) and physical detailing is of such quality that it appears to be original to the design. It rests on a concrete stoop with a series of concrete steps down to the sidewalk. The only feature which appears definitely not to be original is the cross-braced 2x4 porch railing, which, while in keeping with the other features of the porch, does not have a substantial top rail, revealing that it is a modern, not historic, feature. Detailing on this design is provided by the rock faced ashlar limestone which forms an irregular alignment on the elevated foundation, extending up the corners, clads the first floor of the entry vestibule, and forms decorative highlights scattered on the brick walls. In addition, the brick is laid in decorative basket weave and herringbone patterns in the panels between the half timbering on gable ends and in herringbone pattern between first and second floor windows on the façade. The north wing on the façade has half timbered brick above the lintel of the first floor window. There are window units on both the first and second floor, vertically aligned in the north half of this wing. The first floor window is a set of three 10 light wood framed casements that have a dressed stone sill and a soldier course brick lintel (with squares of dressed limestone at each end and as a keystone). The second floor window is paired, 8 x 1 wood sashed windows with a wood beam lintel. Centered in the attic of this north wing is a rectangular, louvered window vent. The vestibule also has half timbered brick, in this case, beginning as the lintel for the paired, diamond patterned, stained glass, wood casement windows with dressed limestone sill that is centered on the second floor, directly in line with the Tudor arched entry. The entry is surrounded by dressed limestone quoining which forms a shallow recessed entry. The stained oak door is also Tudor arched and has three vertical lights with beveled glass above a raised horizontal molding detailing and three vertical recessed panels on the lower half of the door. There is a matching, Tudor arched, stained oak, wood storm door. To the south of the entry is a small porch lantern, which appears to be original. The south bay of the façade has vertically aligned triple window units on the first and second floor which are both flanked by a series of dressed limestone blocks alternating with rowlock brick sections to form a single tall vertical section. Between the window units, the walls are framed by soldier courses with a center square stone in each, a herringbone brick field pattern, and a diamond shaped stone in the center. The first floor window unit consists of three, transomed, leaded glass, diamond patterned, wood sashed windows. The second floor window unit is three 4x1 wood sashed window. On the north elevation, the front façade gable projects out from the main elevation wall and that elevation has several additional multipaned, sashed windows, vertically aligned, as well as a transomed, side entry door that has a concrete stoop and iron railings. At this end of the rear elevation is the original, slate roofed, frame porch which has been enclosed with 6 x 1 wood sashed windows, beaded board siding and an aluminum awning. On the south elevation, the gable end is split by a massive, stepped, end wall, brick chimney that has the rock faced ashlar limestone foundation that continues up the corners and is used as decorative details on the remaining chimney, especially at the steps. The cap is corbelled and has decorative chimney pots. At the front corner of this elevation, the brick extends out, like a small buttress, over the foundation stones, giving the appearance of a wing wall from the façade. Behind the house, visible on this elevation, is the two car wide, end gabled, matching brick, slate roofed, garage which has wood clapboard in the gable end and the original wood overhead door, but this is actually a double depth garage, accommodating 4 cars.

43. History and Significance

Ben Goldberg of 7124 Cambridge Avenue took out the building permit for this house on March 2, 1931, making it one of the earliest houses built in Pasadena Hills. It appears that he was either the developer of the property or the builder since he was not the first occupant. The permit identifies Russell and Counzelman as being responsible for the plans for this house. The first occupants were not listed in the 1932 directory (but rarely were any of the Pasadena Hills houses listed that year), but by 1934 it is identified as the home of William and Irene Linders. They only lived in the house a short time, because the next directory in 1936 lists George J. and Gertrude Wanstrath. He had his own real estate agency in which his wife was later listed as vice-president. She would continue to live in the house after her husband's death in the late 1940s, but by 1953, the directory lists Paul C. and Irene Andrews as the homeowners. He was manager of Trailers in St. Louis. This Tudor Revival house is one of the larger examples of this style in Pasadena Hills and is especially noteworthy because of the overlapping gabled façade, the decorative patterned brick wall highlights, the variety of wall materials (brick, half-timbered brick, dressed and rock faced stone detailing, and even the ashlar limestone entry). The house has a distinctive Tudor arched entry door and a front entry porch (a rare feature where usually the entries have simple stoops), which may not be original (since it is not shown on the fire insurance map), but is designed in keeping with the style, materials, and craftsmanship of the original building. Although this might be a significant alteration to the façade, since it cannot be verified whether or not it is part of the historic design, the house is a contributing building in the historic district. In addition this house design utilizes a variety of window treatments (casements, multipaned sashes, leaded glass sashes) to add even more visual variety. One of the most unusual features is the house is what looks like a detached, two car garage which is double depth to hold 4 cars, a testament to the importance placed upon the automobile early in the development of this commuter suburb.

44. Description of Environment and Outbuildings

This double lot faces east onto Roland Boulevard, just south of the T-intersection with Canterbury Drive. The lot is basically flat, but the one car, concrete driveway is cut into the ground to help minimize its impact on the streetscape. It extends along the south side of the property and house back to the detached, double depth, brick, gable end garage at the back southwest corner of the lot. There is a winding concrete sidewalk from the base of the steps to the front porch to the concrete steps at the public sidewalk in front of the house. The house is located in the south portion of the lot, providing for a large side yard on the north.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, March 2, 1931.

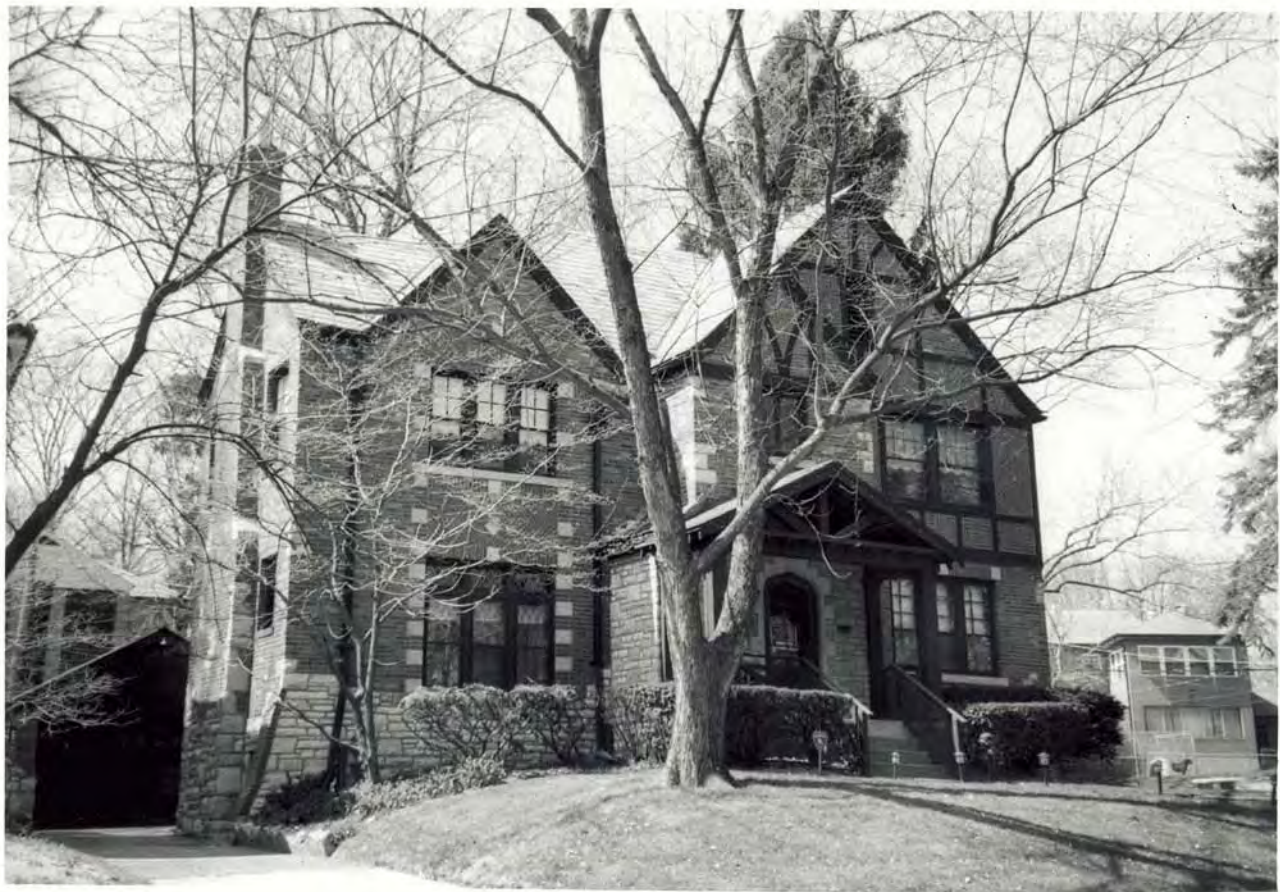
46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

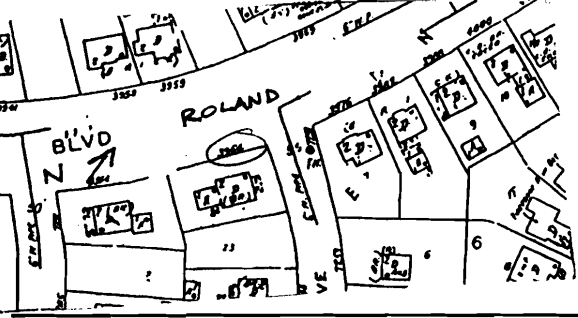
48. Date 49. Revision Dates

Sept. 2002

3959 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0264		4. Present Name(s) Nebel, Herman J., & Eileen H., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Wehmeyer, John A. and Bertha D., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3964 Roland Blvd., Lots 23, 24, Block 5		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival with Prairie school influences	30. Foundation Material rock faced, ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer V. Sappenfield	31. Wall Construction load bearing masonry brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Hip - Clay Tile
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 1+3+1 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular+wings
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Nebel, Herman J. & Eileen H.	36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.

HISTORIC INVENTORY

42. Further Description of Important Features

This two story, hipped roof, multihued red brick house has a symmetrical, three bay façade with one story wings on each side. The roof is red, Spanish clay tile and has wide, enclosed eaves that retain the original beaded board soffits and copper gutters. The entry is located in the center bay on the façade and has narrow pilasters and an entablature framing the sidelighted doorway. The door is a painted, wood paneled door with 4 shoulder arched lights above the four recessed panels on the door. The sidelights have stained glass above a wood panel and there is a newer aluminum, painted, full view storm door. There is a concrete slab stoop with no steps that retains its original iron railings. Above the entry, there is a 10 x 10, small, wood sashed window. In the outer bays, there are larger, 10 x 10 wood sashed windows on the second floor above 10 x 15 wood sashed windows on the first floor. The façade apparently had shutters on all the windows originally, but those on the second floor are missing. The sill of the two outer second floor windows forms a continuous brick course around the building. Side elevations also have multipaned, sashed windows, all proportioned like the façade windows. On the north elevation, there is a broad, brick, end wall chimney that has a brick cap and three chimney pots. There is a vertical row of windows in front of this chimney, which is surrounded by the flat roofed, open porch. This porch has a concrete floor and brick piers (with framing that makes it appear that it has been screened in the past). There are two newel posts, similar to flattened pilasters, at each end of the roof against the main house wall, indicating that originally there was a rooftop railing. Behind the chimney, on both levels, there are multipaned, single French style doors that access this porch. On the south elevation, there is another vertical row of windows in front of the attached, one story, hipped roofed, two car garage wing. This wing has matching brick walls, stone foundation, and tile roof. There is a rectangular, cut stone relief with an urn motif to the north of the original, wood, overhead door. The only apparent alteration, other than the missing second floor porch railing and shutters, has been the addition of the aluminum storm door and storm windows.

43. History and Significance

Although the assessor estimated the year built as 1940, the first owners of the house, John A. and Bertha D. Wehmeyer were first listed in the 1939 city directory. The set of plans for this house filed in city hall is dated 1938, but only the original owner is identified, Wehmeyer, not the architect. From the current owners copy of these plans, the architect was identified as V. Sappenfield of 4521 Parkview in St. Louis. John Wehmeyer was a trust officer, later identified as a real estate loan officer, for the St. Louis Union Trust Company. He and his wife continued to live in the house at least through 1955 when city directory research ended. This is an interesting example of the vernacular mixture of stylistic elements, which combined the popular features of Colonial Revival designs (especially the symmetrical, three bay façade with one story side wings, multipaned sashed windows, and the classical revival entry porch) with an emphasis on the horizontal design elements derived from the Prairie School designs of Frank Lloyd Wright (the wider, enclosed eaves, the hipped roof, and the projecting, continuous, brick sill course on the second floor). In addition, this house has a distinctive red, clay tile roof, an uncommon choice in Pasadena Hills where most homes originally had slate roofs, and it retains its original side porch wing as an open porch (most have been enclosed). The architect opted to include the garage as a side wing, a common design choice on Colonial Revival style houses, and to minimize its impact on the streetscape, the curb cut for the driveway is only one-car wide and the ground is mounded higher on both sides. This was a concession to the importance of the automobile in the development of this commuter suburb that still preferred to minimize the prominence of garages, usually by placing them in the back of the property or house, an option not available on this corner lot.

44. Description of Environment and Outbuildings

This large lot faces west from the southeast corner of Canterbury Drive and Roland Boulevard. There is a on car, curb cut for the concrete driveway which connects from Roland to the façade entry of the two car garage, but the driveway appears to have been widened near its head to accommodate a second parked car. There is a curved, concrete sidewalk from the front entry stoop with two concrete steps down to the public sidewalk along Roland.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory; Herman and Eileen Nebel Private Collection, Pasadena Hills, Missouri. Blueprints of 3964 Roland Blvd.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

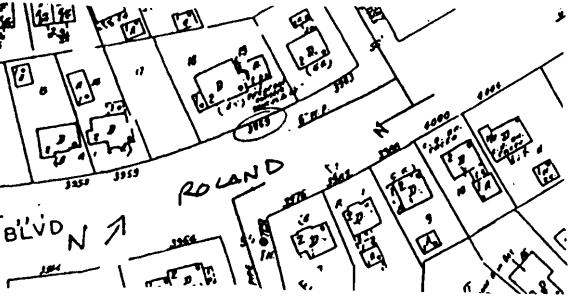
48. Date 49. Revision Dates

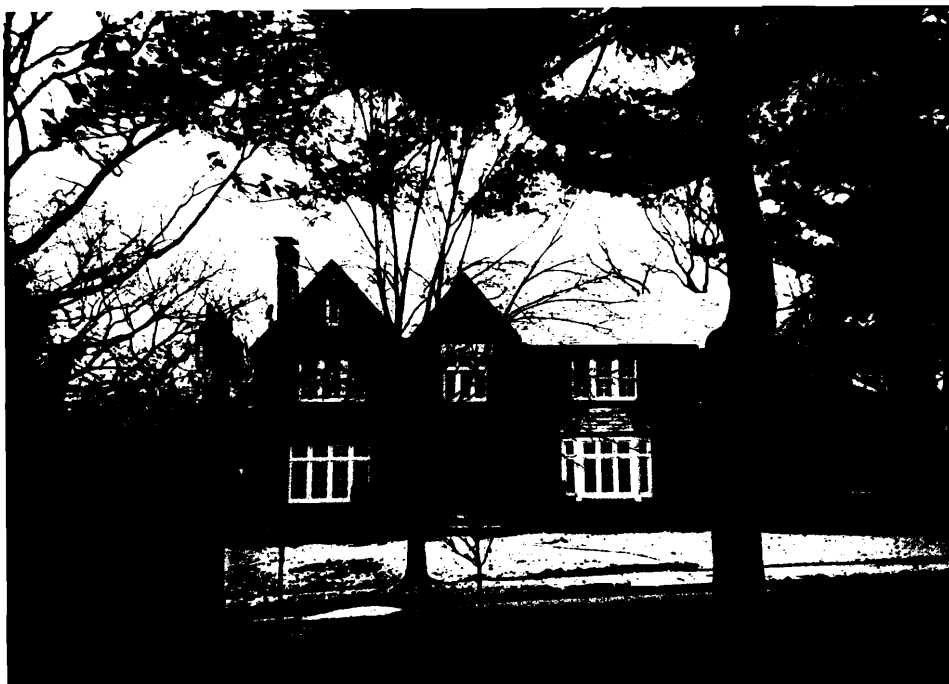
Sept. 2002

3964 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0265		4. Present Name(s) Lucas, Craig M. & Leona H., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Wittich, George F. R. and Dorothy H., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3969 Roland Blvd., Lots 18, 19, P 17, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Lucas, Craig M. & Leona	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Stone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hipped - Slate	
		33. No. of Bays FRONT 1+3+2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior <input type="checkbox"/> Exterior <input checked="" type="checkbox"/> Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched hipped, slate (grays and red) roof, multicolored (red, cream, olive, brown) brick house has a brick dentil course under the eaves and copper gutters with decorative collector boxes on the downspouts. The foundation is rock faced ashlar limestone, which is visible across the base of the façade. The main house façade is divided into three vertical bays with the south bay being a two story, gabled, projecting wing and the middle bay having a smaller cross gable. On each end of the house are side wings, the one of the south being a open porch and the one of the north being a two car garage which has a second floor hipped roof porch over half of the flat garage roof. The entry is located in the brick segmental arched, recessed opening in the center bay that is flanked by brick quoins. The stained, solid oak paneled door has the same arched top and a diamond shaped stained glass light surrounded by the recessed panels. There is a low stoop and entry floor, both of flagstone. On the second floor, above the entry is a triple, transomed, stained glass, wood casement window unit that has a large stone lintel. The south bay has a narrow, 8 light casement window in the gable end of the attic level. On the second floor there is triple 4 x 4 wood sashed window unit that has a soldier course lintel capped by a dentil course. On the first floor is a four window unit of 4 light transoms above 8 light wood casements, separated by heavy mullions. Above, it has what appears to be a wood beam lintel. The north bay has another triple, 4 x 4 wood sashed window unit on the second floor above a canted bay window that has a sloping brick sill connecting to the slightly broader brick walls below the window. The bay window has a standing seam, metal roof and 4 light transoms above 8 light wood casement windows (three on the façade and one on each side). The south elevation has a flat roofed, one story, brick, arcaded, open porch with segmental arches mirroring the entry opening and two projecting brick courses forming the cap of this wall below the brick pierced open railing. The porch has one arched opening on the façade and back walls and a pair on the south side. It splits around the stepped, end wall, brick chimney that has a decorative brick banded cap (with a replacement metal flue cap). There are two pairs of wood, French doors on the first floor as well as a second floor door to the porch rooftop deck. There is a hipped roofed, two story wing that projects toward the back at this end of the house that is slightly shorter than the gable ridge on the façade. On the north elevation there is a two car, flat roofed garage wing with 6 x 6 wood sashed windows in false segmental arches on the façade and one on the north side elevation. On the back is the original two car, wood overhead door. Above, the flat roof of the garage forms a rooftop deck, with the south half having a hipped roof and brick piers to form a covered second floor porch. On the back of the house is a hipped roofed, one story, open porch that has a matching slate roof, wooden railings and posts on top of the concrete slab. The only apparent alterations to the house have been the addition of aluminum storm doors and windows, and awnings on the south side windows.

43. History and Significance

There is a building permit on file for this house in city hall, issued to Mr. C. Spoeneman, but unfortunately it is not dated. Since the first owner of the house was George F. R. and Dorothy H. Wittich, it is not clear whether Spoeneman was the builder, developer, or architect on this project. The first listing in the city directory was in 1936 and the assessor estimated the year built as 1935, which seems accurate. It was originally the home of George F. R. and Dorothy H. Wittich. He was feed director of Henry Schulz Feed Company, but later became president of Roevers Feed Company in St. Louis. He and his wife continued to live in this house at least through 1955 when city directory research ended. It was one of several homes in Pasadena Hills built in what was called fireproof construction, a technique that usually indicates that there are masonry walls separating the garage wing from the main living quarters, but also the use of masonry interior wall separations as well. This house was designed for a double lot, as one of the larger Tudor Revival house designs in Pasadena Hills. The design utilizes decorative details associated with the larger English country homes from which this style is derived, including the steeply pitched, slate roof, the intersecting and varied rooflines, a variety of window forms and configurations, an arched vestibule opening, and a massive end wall chimney. The arcaded side porch with its pierced brick railing and the tiered wing on the opposite end of the house elongate the façade, repeat the segmental arched opening pattern of the entry, and provide a more stately appearance to the design. The tiered north wing is actually a two car garage with a covered porch and rooftop deck, an elaborate version of a technique often used in Pasadena Hills to camouflage the necessary garages in this commuter suburb. Because of its design as one of the more prominent Tudor Revival designs in the community, if the interior also retains its historic integrity and the architect can be identified, this house could be individually eligible to the National Register, but even on the basis of its exterior appearance, it is certainly one of the more significant, contributing buildings in the historic district.

44. Description of Environment and Outbuildings

This large lot faces east onto Roland Boulevard between the jog in Canterbury Drive. There is a one car, paved driveway along the north end of the house that extends back to access the rear entry to the attached garage on the north end of the house. There is a serpentine, concrete driveway between the front entry and public sidewalk.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, n.d.

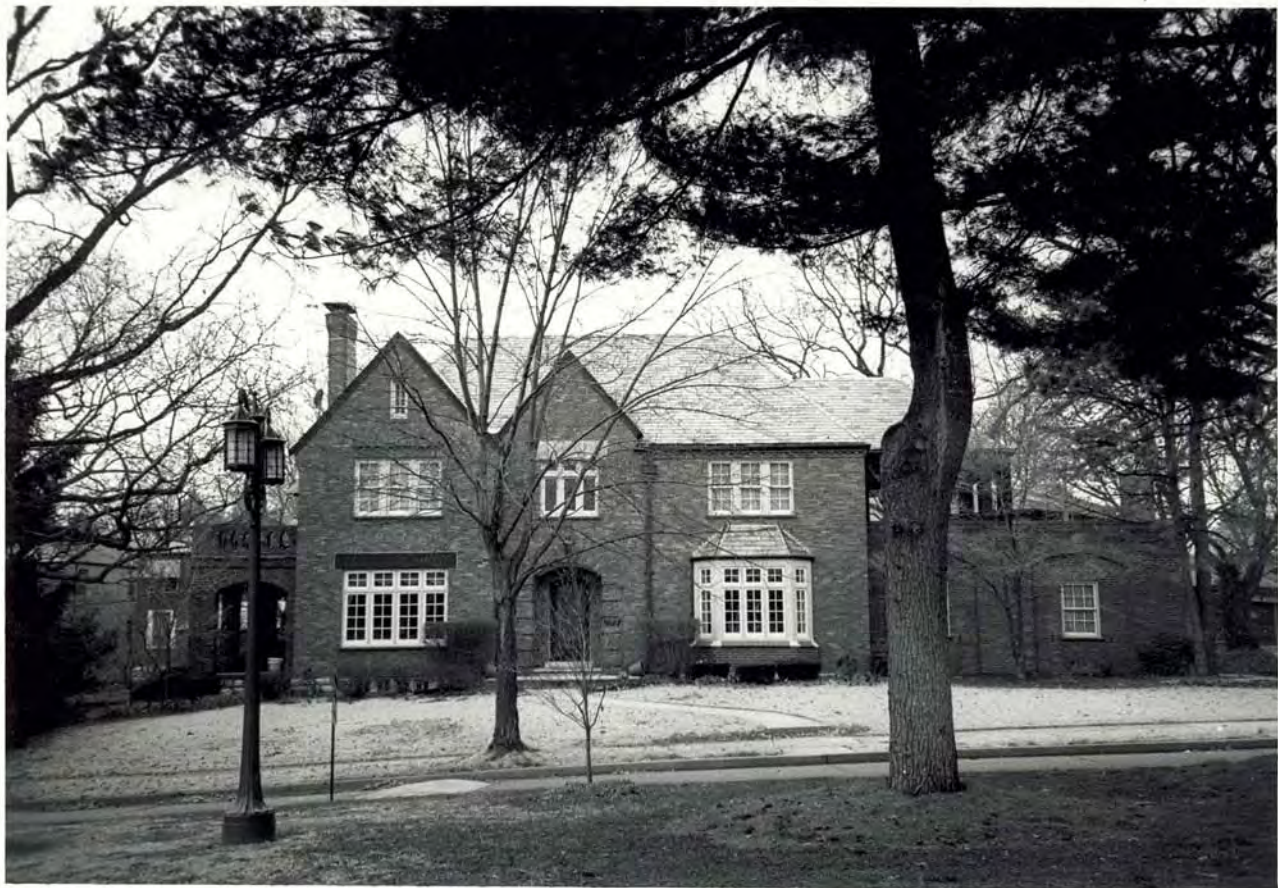
46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Sept. 2002

3967 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0266		4. Present Name(s) Roach, Alice F., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Strecker, Fred W., Jr. and Jewel V., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3976 Roland Blvd., Lot 7, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1947	
8. Site Plan with North Arrow		18. Style or Design Colonial Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Roach, Alice F.	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		28. No. of Stories 2	
15. Name of Established District Pasadena Hills Historic District		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, orig. slate now comp.shingle	
		33. No. of Bays FRONT 2+1 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape square+wing	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multihued red brick house originally had a slate roof that has been replaced with a dark gray blend composition shingle roof, but it retains its original copper gutters and downspouts that combine with the broad wood fascia boards to form gable end returns and an entablature-like detail for the house. The façade is divided into three bays, but the south bay is actually a two story, side gabled wing with a slightly shorter roof ridge since it is not as deep as the main house. There are two narrow, brick, end wall chimneys with brick beveled caps on the north end of the house on either side of the gable ridge. The north bay of the façade has two 8 x 8 wood sashed windows with shutters on the second floor above the shuttered, triple window unit on the first floor, which consists of a 25 light fixed window flanked by 4 x 6 wood sashed windows. This window has a soldier course lintel with a projecting brick dentil cap. The center bay of the façade, the south bay of the main house, is a slightly projecting two story, end gabled bay. There is a shuttered, 8 x 8 wood sashed window with a similar brick lintel on the second floor above the pedimented entry which is flanked by narrow pilasters. There are sidelights on either side of the 9 panel, painted, wood door. Each sidelight actually consists of a tall, leaded glass light above a shorter leaded glass light. There are a series of concrete steps in front of this entry that connect to a serpentine, tiered, concrete sidewalk, but these appear to be replacement features. On the south end, the side wing, with its wood clapboard gable end, is in reality a one car wide garage on the first floor and an enclosed sunroom on the second floor. The first floor of this wing has a fixed, 25 light, wood framed, picture window with shutters that is capped by a soldier course lintel with a projecting brick dentil course cap. This same lintel and shutter treatment is used on the two south side elevation windows in this wing, both of which are multipaned sashed windows. On the second floor, which appears to have been enclosed prior to the publication of the 1967 fire insurance map, the openings between the brick piers (one on the façade, two on the south side), each have aluminum framed picture windows flanked by 2 x 2 sashed windows. Other than the concrete steps and the enclosure of the second floor sunroom, the only other alterations to the exterior appear to be the replacement metal garage door (which faces the back of the house) and the use of aluminum storm windows and a full view storm door. Unfortunately, the storm windows on the first floor façade do not have a meeting rail to match that of the wood windows.

43. History and Significance

The assessor estimated the year built for this house as 1947, which seems to be accurate given the fact that the house was not listed in the 1946 city directory, but was listed in the 1949 directory as the new home of Fred W. Strecker Jr. and his wife Jewel V. Strecker. He was president of his transport company, Strecker Trans. Co. of St. Louis. This is a good example of the continued popularity of the Colonial Revival style after World War II. This house has the characteristic side gable but the main house is only two bays wide, with a two story wing creating a third vertical bay. It utilizes the characteristic multipaned, shuttered windows and a pedimented entry and even cornice returns on the gable ends. Although the original slate roof has been replaced with a composition shingle roof and the second floor sun porch has been enclosed with aluminum framed windows (probably before 1967), the house retains a high degree of historic integrity and is an important post-war building in the Pasadena Hills Historic District.

44. Description of Environment and Outbuildings

This is the northeast corner lot at the intersection of Canterbury Drive and Roland Boulevard, which creates a large back yard behind the house facing Roland Blvd. The driveway enters the property from Canterbury Drive to access the rear entry of the attached one car garage on the south end of the house. There is a tiered, concrete, serpentine walk from the front entry steps down to Roland Blvd. The façade is slightly elevated along Roland.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

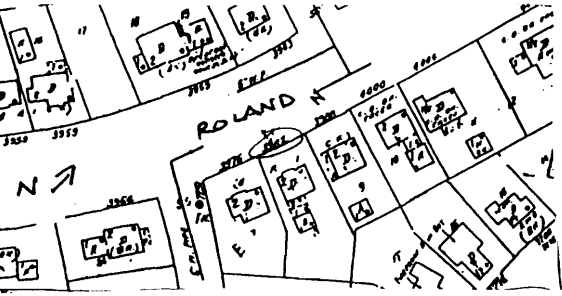
48. Date 49. Revision Dates

Sept. 2002

3976 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0267		4. Present Name(s) Eveld, Richard & Kim, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Nordman, John A. and Mary V., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3982 Roland Blvd., Lot 8, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936-1938	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Modern Construction Company	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Eveld, Richard & Kim	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, orig. slate, now comp.shingl	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, cream, charcoal) brick house has a replacement gray and green composition shingle roof and replacement aluminum gutters, a close color match for the original slate roof. The original gutters probably were copper. The façade is divided into three vertical bays, with the center bay actually being a slightly projecting, two story, parapeted gable, entry vestibule that has a diamond pattern in projecting brick courses on the upper level façade and a dressed stone cap. At each edge of the parapet wall is a ledge with a limestone orb finial. The second floor window is obscured by the aluminum awning which has been added in recent years, but it is a six light window that has a semi-circular, projecting, stone basin feature which may be the base of a balcony railing that is now missing. This feature merges with the dressed stone lintel of the entry, which is flanked by stepped dressed limestone on each side. There is a patterned, leaded glass transom above the stained oak, wood door that has a large single light with a beautiful leaded glass design. The large concrete slab on rock faced ashlar limestone foundation stoop has a smooth limestone turned balustrade with dressed limestone corner piers. The bay to the south has a triple window unit on the second floor with 2 x 2 wood sashed windows that is also obscured by an aluminum awning, as is the paired second floor window unit in the north bay, which are 6 x 2 wood sashed windows. The first floor window in the south bay is a triple, transomed window unit. The transoms are stained glass and the windows 2 x 3 sashed windows flanking a 4 x 6 window, all with horizontal lights. The first floor of the north bay has a canted bay window with turned pilasters at the corners and a rock faced ashlar limestone foundation below the windows. The side windows are 2 x 3 sashed windows flanking a 6 x 9 light window with the vertical muntins aligned close to the side rails. The south bay has a small cross gable. On each side elevation there is a centered, end wall, brick chimney with a brick banded cap, but the one of the north is narrower, while the one on the south actually has a split flue that forms a deeply recessed rectangular opening around one of the second floor windows. The windows on the side elevations are sashed, vertically aligned, with horizontal lights similar to those on the façade. Attached along the back, south end of the house is a gabled, brick breezeway with an enclosed frame porch on the second floor next to the house that still has its original wavy butt siding although it is enclosed with aluminum windows. The breezeway connects to an end gabled, brick, two car garage with wavy butt siding in the gable end and an original wood paneled door facing north. Many of the windows have aluminum storm windows and there is an aluminum storm door obscuring the entry door details. Besides these aluminum storms, the enclosure of the rear second floor porch, the awnings on the second floor windows are the only other apparent alterations to the exterior.

43. History and Significance

Modern Construction Company received the building permit for this house on August 24, 1936. The house was listed as vacant in the 1938 city directory, which may indicate that it was not yet finished by then. In 1939, it was listed as the new home of John A. and Mary V. Nordman. He was identified as the assistant vice-president of St. LUT Co. of St. Louis through 1941, then he became part of the Nordman Brokerage Company as a trust officer, ultimately its president. They continued to live in the house at least through 1955 when city directory research ended. This is an nice example of a Tudor Revival house that has the characteristic steeply pitched and varied roofline, broad end wall chimneys, contrasting use of masonry materials (patterned brick, and both rock faced and dressed limestone), a large canted bay window and multipaned windows. It also has features that are less frequently used, such as the stone orbs capping the ends of the gabled vestibule, a parapeted gable end, and the stone balustraded front entry. However, some of the details on this design reflects more modern stylistic movements, including the use of horizontal glass panes and a stepped stone surround on the entry that appears to be influenced by Art Deco designs. Like other homes in Pasadena Hills, the garage was relegated to the rear of the property, but in this case it was connected by a breezeway to the main house.

44. Description of Environment and Outbuildings

This deep lot faces west onto Roland Boulevard between the job in Canterbury Drive. It has a single car, concrete driveway that extends along the north side of the house to access the attached garage wing that faces north along the south side of the lot. There is a sidewalk from the driveway, near the façade that enters the balustraded entry stoop from the north side.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, August 24, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

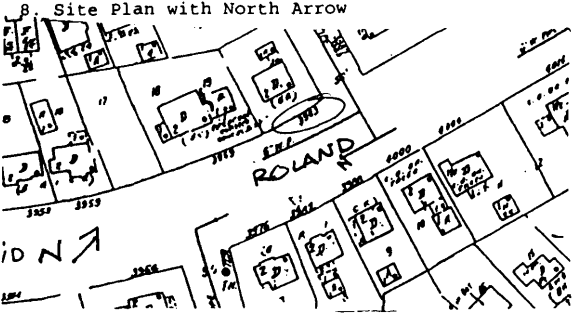
48. Date 49. Revision Dates

Sept. 2002

3982 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. NO. SLAS039 - 0268		4. Present Name(s) Carroll, Charlene, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kloefer, William E. and Emma F., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3983 Roland Blvd., Lot 20, Block 2		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1942	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer Gay G. Weinle	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Carroll, Charlene	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, comp. Shingles	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Brick	
		35. Plan Shape hyphenated rectangle	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, three bay house has multicolored brick walls, a light gray composition shingle roof and copper gutters and downspouts. It appears that the original roof was composition shingles, based upon the 1967 fire insurance map, one of the early examples in this neighborhood. The house has flanking end wall, brick chimneys with a broad brick band cap. The chimney on the south elevation is actually a chimney flue while the one on the north has notched corners. The upper level façade windows are 6 x 6 wood sashed windows that share a continuous brick stringcourse as a sill. The first floor has triple window units with flat, dressed stone lintels on either side of the entry. Each of these windows is a 4 x 4 wood sashed window. They also share a continuous brick stringcourse as a sill. These stringcourses wrap the house and the chimneys. The first floor side elevations have stone lintels on the north elevation as well (where the house faces Canterbury Drive). The entry has an irregularly framed, dressed stone quoins with a slightly arched lintel with keystone that has molded edging. There is a low concrete stoop with one concrete step. Along the Canterbury elevation there is a breezeway connecting the main house to the side gabled, two car, brick garage that has its original wood paneled overhead door. The breezeway has been enclosed with aluminum storm windows and vinyl siding, the only major alteration to the exterior, which is not visible from the main façade. The house also has aluminum storm windows and a full view aluminum storm door.

43. History and Significance

Architect, Gay G. Weinel designed this house in 1941 and the plans are in the files at city hall. The assessor estimated the year finished as 1942, probably fairly accurate, but surprising given the building moratorium during World War II. Although it was not listed in the 1941 city directory, it was listed in the 1943 directory as the new home of William E. and Emma F. Kloefer. He was with Letterhead and Check Corporation in St. Louis, a lithography business, later becoming its president. Although Emma Kloefer was still listed in the 1949 directory, in the 1953 directory, she was no longer listed at this address although William Kloefer continued to be listed at this address at least through 1955 when research ended. This is a Georgian Revival style house, a variant of the popular Colonial Revival style noted for its side gable, three bay façade and flanking end wall chimneys. This particular example has a breezeway connecting to the attached garage which faces the side street, a popular solution in mid-twentieth century designs in Pasadena Hills, where garages were usually relegated to the rear of the property to minimize its impact on the streetscape and façade. This example still has multipaned windows, but the entry is framed by a dressed limestone surround rather than an entablature and pilasters, as is commonly found on this style. This house is especially significant in the neighborhood's development because it was completed during World War II, a period in our history when most housing construction stopped due to shortages of building materials and a moratorium on such supplies. Yet this house was built with the same attention to detail on the exterior as earlier Georgian Revival houses in Pasadena Hills.

44. Description of Environment and Outbuildings

The lot faces west at the southwest corner of Roland Boulevard and Canterbury Drive. The lot is basically level and there is a short driveway to the two car, attached garage that faces Canterbury. There is a straight concrete sidewalk from the front entry to the public sidewalk along Roland Blvd.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

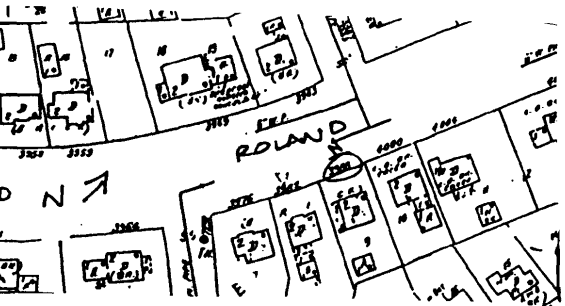
48. Date 49. Revision Dates

Sept. 2002

3983 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLP5025 - 02109		4. Present Name(s) Williamson, Theodric & Betty R., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Steinbrugge, Edgar D. and Lillian, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 3988 Roland Blvd., Lot 9, Block 6		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1940	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable - Slate
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3+1 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular + wing
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Williamson, Theodric & Betty R., et.al.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, cream, olive) textured brick house has a multicolored (grays and red) slate roof with copper gutters. The façade is divided into three vertical bays with a side gabled, one story arcaded porch wing on the south side of the house. The north bay has a small cross gable with a decorative diamond brick pattern in the gable end with a brick soldier course lintel at its base, both in smooth red brick. This is the lintel for the small horizontal, second floor window, but like most windows on the façade, its details are obscured by the canvas awning. The gabled, one story vestibule below does not actually project from the main façade wall, but has a faux roof gable over the rock faced, ashlar limestone, irregular stone surrounding the round arched entry. The round arched, wood plank door has a leaded, stained glass rectangular light near the top, but the door has been painted recently reversing the original dark contrast to the limestone surround. On either side of this doorway are small, rectangular lights with 4 lights each that have soldier course lintels. The rock faced, ashlar limestone foundation extends up the corners of the vestibule and there is a concrete porch stoop with iron railings (a rarity to find intact in Pasadena Hills). There is a canvas awning over the entry as well. The other two bays on the façade are narrower, split by the end wall chimney, and have the same fenestration pattern (wood sashed windows with diamond patterned leaded glass in the upper sashes and single lights in the lower sash). The first floor windows have smooth red brick lintels with the same brick forming a dentil course cap. The chimney is tiered with sloped, rock faced ashlar stones forming the cap of the lower tier and a long middle shaft that has a tall, narrow, round arched, slightly recessed brick niche of stacked bricks. This shaft is capped by a corbelled brick course with stone corners and the upper shaft also has a narrow slit niche with stacked bricks that extends to the corbelled brick cap. Scattered rock faced ashlar limestone highlight the lower sections of the chimney. The side wing has basket handle arched openings, one on each elevation, with contrasting red brick lintels. Like the main house it has brick walls, limestone foundation, and a slate roof. The original arched openings have been infilled with wood siding and aluminum storm windows (two vertical rows of 3 lights). The eaves have been clad with aluminum siding and both the windows and door have aluminum storms. At the southeast corner of the lot is an end gabled, matching brick with slate roof, two car, detached garage that has aluminum siding in the gable end, but retains its original wood paneled door that faces north.

43. History and Significance

Plans for this house were prepared by Julius E. Tarling in 1939. He was a very popular choice for architect in Pasadena Hills. The assessor estimated the year built as 1940, which seems accurate given the date on the plans. The house was not listed in the 1939 city directory, but with the publication of the next directory in 1941, it was the new home of Edgar D. and Lillian Steinbrugge. He was a printer for Interstate Printing in St. Louis, who was later promoted to foreman and then pressman. The couple continued to live in this house, at least through 1955, when city directory research ended. This is an unusual example of Tarling's Tudor Revival designs. Although it has the characteristic features associated with Tudor Revival designs (especially the massive front end wall chimney, the multipaned windows, the contrasting masonry materials, the gabled one story vestibule, the rock faced stone surrounding the round arched doorway, a wood plank door with small flanking sidelight windows, a small entry stoop with iron railings, and even an arcaded sun porch wing), the roof is less steeply pitched than most of his other Tudor Revival designs, there is only a small cross gable on the façade, the vestibule bay is basically flush with the façade wall, and the house plan is basically rectangular, not asymmetrical. This is a good indication of the changing housing styles in Pasadena Hills, which were rapidly evolving into the less complex house forms and less elaborately detailed facades. As is common in this commuter suburb, the detached garage is located in the back of the lot, where it is barely visible from the street elevation. Despite the cosmetic alterations (aluminum storm windows and canvas awnings), the house has had only two substantial alterations (a light color paint on the front door and the enclosure of the sun porch wing). Although these alterations detract from the original composition of the exterior design, the house retains most of its historic integrity and is contributing to the historic district.

44. Description of Environment and Outbuildings

The lot faces west along Roland Boulevard and there is a one car, concrete driveway that extends along the north side of the house and lot to access the detached, two car, end gabled, brick garage at the back, southeast corner of the lot.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

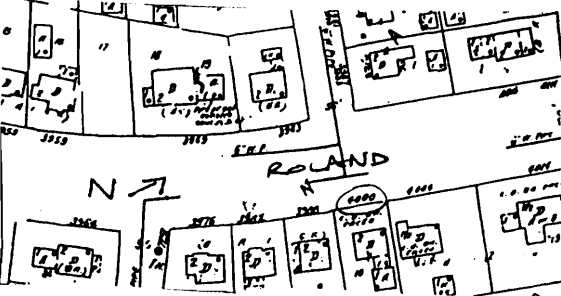
48. Date 49. Revision Dates

Sept. 2002

3958 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0270		4. Present Name(s) Johnson, Floyd S. & Olive K., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Krukenkamp, Walter A. and Rose M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4000 Roland Blvd., Lot 10, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1954	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Johnson, Floyd S. & Olive K.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material Gable - Asbestos Tile	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape hyphenated rectangle	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, cream, charcoal) brick house has older, gray, asbestos tile roofing, which is probably original to the house and it retains its original copper gutter system and boxed cornices. The façade is divided into three vertical bays, with the entry located in the center bay beneath a small, 2 x 2 aluminum sashed window with shutters. The entry is flanked by pilaster strips and capped by a broken pediment (with urn). The door is a heavy, painted, wood paneled door that has three large square panels with a circular panel centered in each square. The door is flanked by sidelights of opaque, fluted glass. There is a short concrete stoop that visually extends the lines of the poured concrete foundation. It appears that this porch retains its original iron railings (a rarity in Pasadena Hills). To either side of the center bay, there are paired, 2 x 2 aluminum sashed windows on the second floor. Like other windows on the house, these are original aluminum framed windows with the thin sight lines and horizontal panes of glass. The window opening in the north bay on the first floor is a picture window flanked by narrow 2 x 2 aluminum sashed windows, which has a soldier course brick lintel with a projecting brick dentil cap. This same lintel treatment is used on the window opening to the south of the entry which has paired 2 x 2 aluminum sashed windows. The windows on the side elevations are of similar design, placed asymmetrically on the walls. There is a one story masonry wing on the north half of the back of the house that includes a wood side entry door. This wing connects the main house with the attached, two car, brick garage, which has a replacement steel overhead door.

43. History and Significance

Julius E. Tarling prepared the plans for this house in 1954 for Walter A. and Rose M. Krukenkamp. Walter Krukenkamp had a pharmacy in St. Louis and they are first listed in the next city directory in 1955. Tarling was a very popular architect throughout the development of Pasadena Hills. Since the assessor also estimated the year built as 1954, it seems the house was completed that year. This is a good example of the adaptations being made to the ever popular Colonial Revival subtype, known as Georgian Revival. While the house retains the distinctive three bay divisions on the façade, the side gabled roof, and the pedimented and sidelighted central entry with a simple stoop, the window pattern is more reflective of more modern residential designs after World War II, using aluminum frames and with horizontal muntins only. Also, the entry door has a square panel with center circle pattern that is distinctly modern as is the ridged glass in the sidelights. Although the house has had a stationary awning added with support poles on the front entry, obscuring the detailing on the entry, the house retains most of its historic integrity and is a good example of one of the most popular styles in the neighborhood as well as a good example of the transition of Tarling's designs after World War II toward more streamlined designs.

44. Description of Environment and Outbuildings

This lot slopes uphill toward the back and faces west onto Roland Boulevard at the T intersection with Canterbury Drive. There is a one car, concrete driveway along the south side of the property and house that extends back and turns to access the attached garage wing on the north side of the back yard. The driveway is cut into the ground to minimize its appearance in the streetscape. There is a curved, tiered, concrete sidewalk with steps at the middle of the front driveway that leads up to the front entry.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

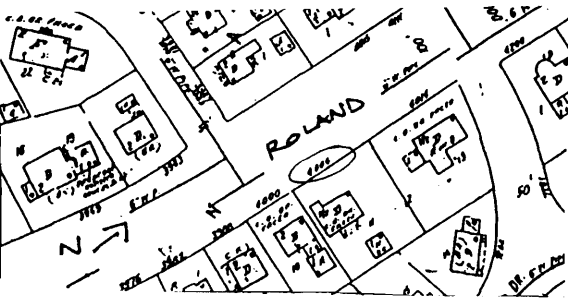
48. Date 49. Revision Dates

Sept. 2002

4000 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 -0271		4. Present Name(s) Foster, Kathleen V., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Gieselmann, Hermann H. and Olga L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4004 Roland Blvd., Lot Pts 11, 12, Block 6		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1950-1954	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Minimal Traditional	30. Foundation Material Concrete
		19. Architect or Engineer W. P. Manske	31. Wall Construction concrete block, brick faced
9. Coordinates Lat Long		20. Contractor or Builder	32. Roof Type, Material Gable - Clay Tile
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape L-shaped
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Foster, Kathleen V.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, multicolored (red, cream, olive) textured brick has a flat, red clay tile roof and copper gutters that form part of the cornice treatment. Windows have soldier course lintels and the concrete foundation is visible on the sides of the house, but there are no other decorative masonry details. The roof is basically side gabled, with a 1.5 story intersecting gabled wall dormer across the north half of the façade and a smaller, one story, cross gabled bay on the south end. The north gable is split by the end wall, brick, stepped chimney that is symmetrical with the sloped steps halfway up the simple shaft. The projecting dentil course detail caps the chimney which has two simple chimney pots. On either side of the chimney there are small 2 x 2 wood sashed windows on the second floor and on the first floor, there are similar, larger sashed windows. Like all other windows these windows have horizontal panes. The south gabled bay has a single, sashed, 2 x 2 window centered in its façade wall. Between these two sections, the entry is recessed about 3 feet under the main roof's cornice with a simple concrete porch floor with a single step that spans the width of the porch. The entry spans the width of the recess with 4 stacked, square lights forming sidelights on each side of the painted, wood paneled door, which has four, stacked horizontal rectangular, raised panels with circular panels centered in each panel. The windows on the side elevations are similar sashed windows, but they are not aligned symmetrically. Each gable end has a triangular, louvered attic vent. On the back of the house is a large screened porch on a concrete slab that is enclosed with aluminum screens and kick panels. On the northeast corner of the back yard is a detached, end gabled, two car, matching brick and tile roofed garage that has vinyl siding in the gable end. There is a clay tile mansard between the gable end and garage door, which is the original wood paneled door. With the exception of the aluminum storm windows and full view storm door, as well as the screen enclosure of the back porch, the house appears to have no other alterations on the exterior.

43. History and Significance

A well known St. Louis, twentieth century architect, W. P. Manske provided the design for this house and his plans are on file in city hall, but they are not dated. The assessor estimated the year built as 1950, but the house is not listed in the 1953 city directory. It is first listed in the 1955 directory as the home of Herman H. and Olga L. Gieselmann. He was a department manager for Laclede Gas Company of St. Louis. The design of this house provides a visual link between the popular Tudor Revival style that was utilized on designs throughout Pasadena Hills, especially prior to World War II, and the more modern housing preferences for less steeply pitched roofs, simpler masonry treatments and rooflines, and less elaborately detailed exteriors, often associated with the Ranch style after World War II. Manske's design for this house still utilizes two cross gabled features on the façade, of different sizes and even an end wall chimney on the façade, but the proportions and detailing are distinctly more modern than earlier Tudor Revival designs. The entry, with its stacked square sidelights and its unusual paneled door, is recessed under the roofline, at grade, between these two gabled sections, the window pattern utilizes horizontal lights, and the brick walls are devoid of decorative patterns and contrasting materials. The use of flat clay tile on the roof as well as the boxed cornices and copper gutters that create gable end returns, are simple, but distinctive features.

44. Description of Environment and Outbuildings

The lot is slightly elevated and faces west onto Roland Boulevard with a serpentine, tiered, concrete sidewalk from the street to the front entry. There is a one car, concrete driveway along the north side of the house that is slightly curved and extends to the back corner where there is a detached, two car, end gabled, brick garage.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Sept. 2002

4004 ROLAND BLVD
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS029 - 0272		4. Present Name(s) Hayes, Raphael & Josephine, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Brockhoff, George C. and Estelle M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4014 Roland Blvd., Lot Pts 12, 13, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1951-1954	
8. Site Plan with North Arrow		18. Style or Design Colonial Revival-Cape Cod	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Hayes, Raphael, & Josephine,	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		28. No. of Stories 1.5	
15. Name of Established District Pasadena Hills Historic District		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block brick faced	
		32. Roof Type, Material Gable - Slate	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular+wings	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, gray slate, side gabled, house has two gabled dormers on the façade straddling the center entry. The house retains its original copper gutters, but the boxed cornice has been encased with aluminum. The walls are a blend of red and burgundy colored brick and the house has a concrete foundation. The interior chimney, located behind the gable ridge, is broad and low in profile, with a simple brick banded cap. Most of the windows, including those in the dormers, are 4 x 4 wood sashed windows (with horizontal panes of glass) and those on the façade have shutters. While the face of each dormer is bead board, the sides are slate. The entry is located approximately in the center of the façade with fluted wood forming the pilaster strips on either side of the recessed entry as well as cladding the side walls within the recess. There is a concrete slab floor at this entry. The door is a painted wood, 8 panel door. To the south of the door is a small 4 light window. There are sashed and shuttered windows near each end of the façade and to the north of the entry, under that dormer is a flat bay window under the eaves that is a large picture window with 4 light, wood casement windows flanking the plate glass window. On each side of the main house there are sashed windows on the upper level and on the north elevation there is a near the façade as well as a corner window at the rear. To the south of the main façade is a one story, side gabled, brick, wing with banks of five, 4 light, wood casement windows on each elevation. There is a one story, brick wing on the back of the house with a two car garage in the basement.

43. History and Significance

Although the assessor estimated the year built as 1951, this address does not appear in the 1953 city directory. It was listed in the 1955 directory as the new home of George C. and Estelle M. Brockhoff. He was a sales engineer for N. O. Nelson Company in St. Louis. The house is a modern adaptation of the Colonial Revival subtype known as Cape Cod. While it has the side gabled, 1.5 story silhouette associated with this style, including the gabled dormers and the center entry, the form is elongated, utilizing the proportions that were becoming popular in post-war house designs. The house has shuttered multipaned windows, but these windows have horizontal lights, rather than the characteristic vertical lights found on most Colonial Revival homes. In addition, it has the post-war, standard house feature- a picture window flanked by narrow sashed windows, instead of the bay window of earlier Cape Cods. As with many of the earlier homes in Pasadena Hills, the garage is actually located in the basement with a rear access entry, to camouflage this feature from the streetscape.

44. Description of Environment and Outbuildings

The land slopes downhill toward the rear of the property which is located on southeast corner of Roland Boulevard and S. Winchester Drive. There is a driveway that enters the back of the property from Winchester Drive to access the basement level garage on the rear of the house. There is a concrete sidewalk that angles from the front entry to the public sidewalk.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission


48. Date 49. Revision Dates

Sept. 2002

4014 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0273		4. Present Name(s) Husmann, Melvin G., Jr. & Nancy L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Gruender, Elizabeth M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4015 Roland Blvd., Lot 1, Block 11		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced, ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry brick
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material hipped, concrete tiles
11. On Nat'l. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2+3+1 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular+wings
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Husmann, Melvin G. Jr., & Nancy L.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, multicolored (red, tan, cream, gray) textured brick house has a multicolored, concrete tile roof with wider eaves boxed without brackets that has bead board soffits and bed molding as well as copper gutters and downspouts. On each end of the house is a tall brick chimney that extends through the eaves and has a corbelled brick cap that is sandwiched between the main house and the flanking wings. There is one intersecting two story, gabled, projecting bay centered on the façade that has knee braces at each gable end. There is a stone lintel above the transomed, paired, stained glass casement windows. Below this window is a decorative, iron, faux balcony railing. The first floor of this bay is a contrasting, rock faced, ashlar limestone (with dark gray mortar) with a segmental arched opening to the recessed entry that is framed with smooth limestone. Flanking each side of this opening are two narrow, slit windows with leaded colored and round glass. The interior wall of this recessed opening is brick matching the house. The solid wood plank door is similarly arched and has a rectangular window in the top of the door. Above the opening is a decorative iron braced porch lantern that appears to be original to the house. There is a concrete slab stoop in front of the entry. On the second floor to either side of the gabled entry bay are two diamond pattern, leaded glass sashed windows with single light lower sashes. On the first floor, the south bay has a canted bay window with brick below the windows that has rock faced stone outlining the corners and a concrete tile roof. Its center window is a transomed, fixed, leaded and stained glass window flanked by narrower, fixed, leaded glass windows. The window in the north bay has smooth red brick, segmental arched lintel with a limestone keystone that consists of three transomed, sashed windows with leaded glass in the upper sashes that incorporate heraldic symbols. This same arch is utilized to define the two bays of the garage wing on the south side of the house, each with leaded glass windows centered in the faux arched openings. The garage wing is a two story, hipped roofed wing next to the main house with a flat roofed one story section with a roof top deck. The two story section is an enclosed sun porch, that probably was originally an open or screened porch but was enclosed with aluminum awning style windows and a sliding door to the roof top deck. The parapet on the flat roofed section of the garage is capped with carved stone. The 1.5 car garage retains its original wood paneled, overhead garage door on the south elevation. The enclosed sun porch wing on the north side of the house is one story tall with a hipped roof of matching concrete tile roofing and brick walls. There is a centered window opening on each elevation has transomed, leaded glass casements windows, 3 on the front and back elevations and 6 on the north side. On the back of the house is a small porch with a decorative wood overhanging roof that matches the main house. It has a door into a mud room that accesses both the garage and kitchen. This porch leads to a concrete patio.

43. History and Significance

Built in 1938, this house was originally the home of Elizabeth M. Gruender, the widow of Joseph J. Gruender. She lived in the house at least through 1949, but with the publication of the next city directory in 1953, Sylvester Kennebeck is listed as the owner. He was a clerk for Display Products. In the next directory, Elizabeth T. Gruender is listed as the owner and clerk at Queen's Work. It is not clear from the current research if any of this is in error, or the relationship between these women. What is significant is that the home was apparently built for a woman, who was head of her household, one of a number of original owners who were women in Pasadena Hills. It appears that the promotional efforts for this subdivision by Carter Realty effectively targeted this market niche with its descriptions of a safe, clean, healthy, pastoral environment. This is a large, but a less elaborately detailed example of the Tudor Revival style, with only a single intersecting gabled bay with the central entry and use of contrasting masonry materials utilized only to differentiate the first floor entry vestibule. The distinctive detailing on this design is in the Florentine concrete tile roof, the repetition of the segmental arched openings on the first floor, the knee braces supporting the gable ends of the central bay, the faux iron balcony above the recessed entry, the tall corbelled chimneys at each end of the main house, the tiered garage wing with rooftop deck, and the extensive use of leaded and stained glass windows. The design is especially interesting since it not only has a garage wing with a side entry, to minimize its visual impact on the façade and streetscape, this corner property positions the wing, not on the side street elevation, but on the opposite side of the house, next to the adjacent property. This design retains a high degree of historic integrity with the only visible alteration being the enclosure of the second floor sun porch in the south wing.

44. Description of Environment and Outbuildings

The lot is basically flat and faces east onto Roland Blvd at the southwest corner with S. Winchester Drive. There is a one car driveway from Roland Boulevard to the south side garage entry. There is a serpentine, concrete sidewalk from the front entry to the street. There is a concrete patio in the back yard.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission


48. Date 49. Revision Dates

Sept. 2002

4015 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0274		4. Present Name(s) Severin, Carol M., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Fishkop, Ben and Lillian, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4200 Roland Blvd., L 1, Block 10		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1933-1934	
8. Site Plan with North Arrow		18. Style or Design French Eclectic	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Severin, Carol M.	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		28. No. of Stories 2	
15. Name of Established District Pasadena Hills Historic District		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable - orig. slate, now comp.shingl	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, multicolored (red, brown, charcoal) brick house originally had a slate roof and copper gutters, but the roof has been replaced with a dark gray asphalt composition shingle roof. The main roof is a side gable with flanking, massive, end wall brick chimneys with broad corbelled brick caps. The façade is divided into three vertical bays. The north bay being a two story, end gabled bay with wavy butt wood siding in the gable end that extends to the lintel of the paired, multipaned casement windows centered on the second floor. Below is a standing seam roofed, canted bay window with multipaned casement windows flanking a large plate glass window. Windows on both floors, like most others in the house are replacement vinyl sashes, but care was taken to utilize a multipaned design fitting with the original style of the house, although the plate glass was probably a replacement of a multipaned window as well. The central vertical unit of this house is the prominent, two story, round tower with its conical roof that has a double brick dentil row under the edge of the roof. This tower has dressed limestone relieving arches with keystones and quoining around the openings, including the entry, angled toward the south and the multipaned casement window directly above, as well as the other multipaned, casement window at the stair landing on the northern side of the tower. These windows are 8 light, wood casement windows with stained glass, another indication that the vinyl replacement windows closely mirror the original window patterns elsewhere on the façade. The entry door is similarly arched and is a wood plank door with a stained glass, rectangular light in the upper portion of the door. It has a full view, painted, aluminum storm door protecting the door now, but above the entry is a pendent, iron porch lantern that is uniquely designed and original to this house. The low stoop is made of quarry tile and connects to the slightly curved concrete sidewalk. Nestled behind this tower is the remaining vertical bay division of this façade, which has a small gabled wall dormer with the main roof asymmetrically aligned to shed further on the outer corner. The gable end of this dormer is also wavy butt siding and its fenestration pattern includes a wider opening on the north side with a transomed opening on the south portion of the gable's façade, indicating that it might have originally served as a balcony doorway or at least a faux balcony. Below, at ground level is a pair of French style doors with 12 lights each that has a paired transom above. There are additional bay windows on the north elevation and a small stoop notched into the northeast, rear corner of the house. On the back there is a wide, but shallow, two story porch. Attached on the south end of the back of the house is a two car, 1.5 story garage wing that retains its original wood door facing the driveway from Winchester. Other than the replacement roofing, vinyl windows, and the light paint used on the wavy butt siding, this house appears to have had few visual alterations to the exterior, and given the prominence of the tower on the façade, it still retains its basic historic character and integrity.

43. History and Significance

The building permit for this house was issued to the first owners, Ben and Lillian Fishkop on June 9, 1933, with the assessor's estimate of 1934 reasonable for the completion of this French Eclectic style house. Ben Fishkop was a hat manufacturer in St. Louis. The Fishkops continued to live in the house through 1941. By 1943, the city directory listed new owners, Louis C. and Frances Lochmoeller. He was involved in the real estate business in 1943 and by 1946 had a business bearing his name. In the 1953 directory she was listed as a widow, but the 1955 directory again listed Louis C. and Frances Lochmoeller. It is unclear whether the 1953 or 1955 directory was in error, but it seems certain that at least Frances Lochmoeller continued to live in the house at least through 1955. The house is one of the few examples of the French Eclectic style in Pasadena Hills. It was a style influenced by the French country homes, noted especially for its round tower, which differentiates it from the Tudor Revival style houses that were popular in the community. As seen on the Fishkop house, both styles utilized contrasting stone detailing and the wavy butt siding that was made to look hand hewn. Unfortunately, this wood siding has recently been painted a light color rather than the original dark, earthen tones commonly found on these houses to mimic worn wood. Although the original slate roof has been replaced with gray composition shingles and vinyl windows have replaced some of the original windows, the house retains its basic features as a French Eclectic house.

44. Description of Environment and Outbuildings

The lot is basically level and faces west on the northeast intersection of Roland Boulevard and Winchester Drive. The driveway enters the back yard from Winchester to access the attached garage on the southeast corner of the house. There is a bowed concrete sidewalk leading from the front entry to the sidewalk on Roland Blvd.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, June 9, 1933.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

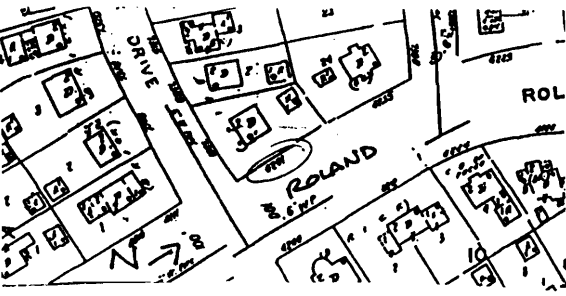
48. Date 49. Revision Dates

Sept. 2002

4200 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0275		4. Present Name(s) Churchwell, Elbert C. & Yolanda E., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Huck, August W. and Lee M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4201 Roland Blvd., Lot 1, Block 12		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935-1937	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable - Clay Tile
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 1+3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular+wing
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Churchwell, Elbert C. & Yolanda E.	36. Changes (explain in #47) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (reds and charcoal) brick house has a red clay tile roof with green accent tiles. The fascia boards have been wrapped with aluminum, but the house retains its original copper gutters and downspouts. The façade is divided into three vertical bays, with a large cross gable at the south end and a small, gabled, wall dormer in the north bay. There is a slightly projecting, one story, gabled vestibule in the middle bay. The cross gable in the south bay has brick half timbering around a rectangular, louvered, attic vent. The base of this gable is a reverse splayed wood beam, a motif repeated on the lintels for the two wood sashed windows directly below. On the first floor of this bay is a triple, doublehung wood sashed window unit with rock faced stone blocks highlighting the upper corners and mullion divisions of the soldier course brick lintel. Like the matching window in the north bay on the other side of the entry vestibule and the second floor windows in the south bay, these sashed windows have diamond patterned, leaded glass in the upper sash. The second floor of the north bay has another reverse splayed wood lintel and rock faced stone quoining on each side triple window unit which consists of three, 6 light, leaded glass transoms above 6 x 6 leaded glass, wood sashed windows. The entry vestibule has rock faced stone as a raised foundation and irregular quoining on both outer corners and on either side of the keystone, brick, round arched doorway. The wood paneled door has a diamond shaped, leaded glass light in the upper portion of the door surrounded by the panel 6 panel design. There is a low concrete stoop (currently clad with green outdoor carpet). On the side elevations, the windows are generally 6 x 1 wood sashed windows and there is a brick, end wall chimney sandwiched between the south end of the house and the hipped roof, one story side wing, that appears to have been an old porch wing that has been enclosed with vinyl siding with a hipped roof extension added on the south side that has banks of single light, vinyl casement windows. This wing has a composition shingle roof with a steel entry door by the wood deck in the back. On the north side of the house is a tall, bowed and curved, brick wing wall that extends from the second floor level. In the back, there is a small concrete stoop with iron railings that is probably original to the design, but has an aluminum awning added. The only other visible alteration to the exterior has been the addition of aluminum combination storm windows and storm door. On this side of the property, facing the street, is a two car, end gabled, matching brick and clay tile garage that has vinyl siding in the gable end and an aluminum overhead replacement door.

43. History and Significance

According to the assessor, this house was built in 1935, but it does not appear in the 1936 city directory. It is first listed in the next directory, 1938, as the new home of August W. and Lee M. Huck. His occupation was listed initially as "meats" but after 1943, no occupation was listed, probably indicating that he had retired. The couple continued to live in the house at least through 1949, according to the directories, but with the publication of the next directory in 1953, Phillip L. and Margaret L. Hoerr had moved into the house. He was president of Southwest Engraving [sic] Company. This is an excellent example of the Tudor Revival style homes that were the most popular choice for home designs in Pasadena Hills. While it is basically a rectangular plan, it has a number of the distinctive features associated with this style: cross gables of different sizes to provide visual interest to the roofline; a variety of leaded glass windows, a round arched entry recessed in a one story, gabled vestibule; the contrasting use of rock faced ashlar limestone detailing on multicolored brick walls, and a massive, curved and bowed, brick wing wall. Although this corner lot would have more easily accommodated a detached garage in the back yard if the house had been designed to face Winchester, the design positioned the façade to face Roland Boulevard, the main artery in the community, forcing the use of a detached garage that faces Roland Blvd. This is highly unusual for homes in the 1930s in Pasadena Hills early development, where the preference was to relegate the garage to a less visible position. Although the main house and garage retain all of their original character and charm, and a high degree of historic integrity, what was originally a side porch wing has either been substantially rebuilt or replaced with an enclosed room that was not designed to complement the original house styling (vinyl siding and single light vinyl casement windows), although it retains the original proportions of a side porch wing. Even though this alteration visually impacts the historic integrity of the property, the main house design and detailing still are the most prominent features and it is a contributing building in the historic district.

44. Description of Environment and Outbuildings

This flat lot on the northwest corner of Winchester Drive and Roland Boulevard faces east onto Roland. There is a two story, end gabled, matching brick, detached garage with a clay tile roof, that faces Roland at the north end of the property with a one-car curb cut, concrete driveway that widens to two car width at the garage. There is a serpentine, concrete sidewalk from the front entry to the street, cross the public sidewalk along Roland.

45. Sources of Information

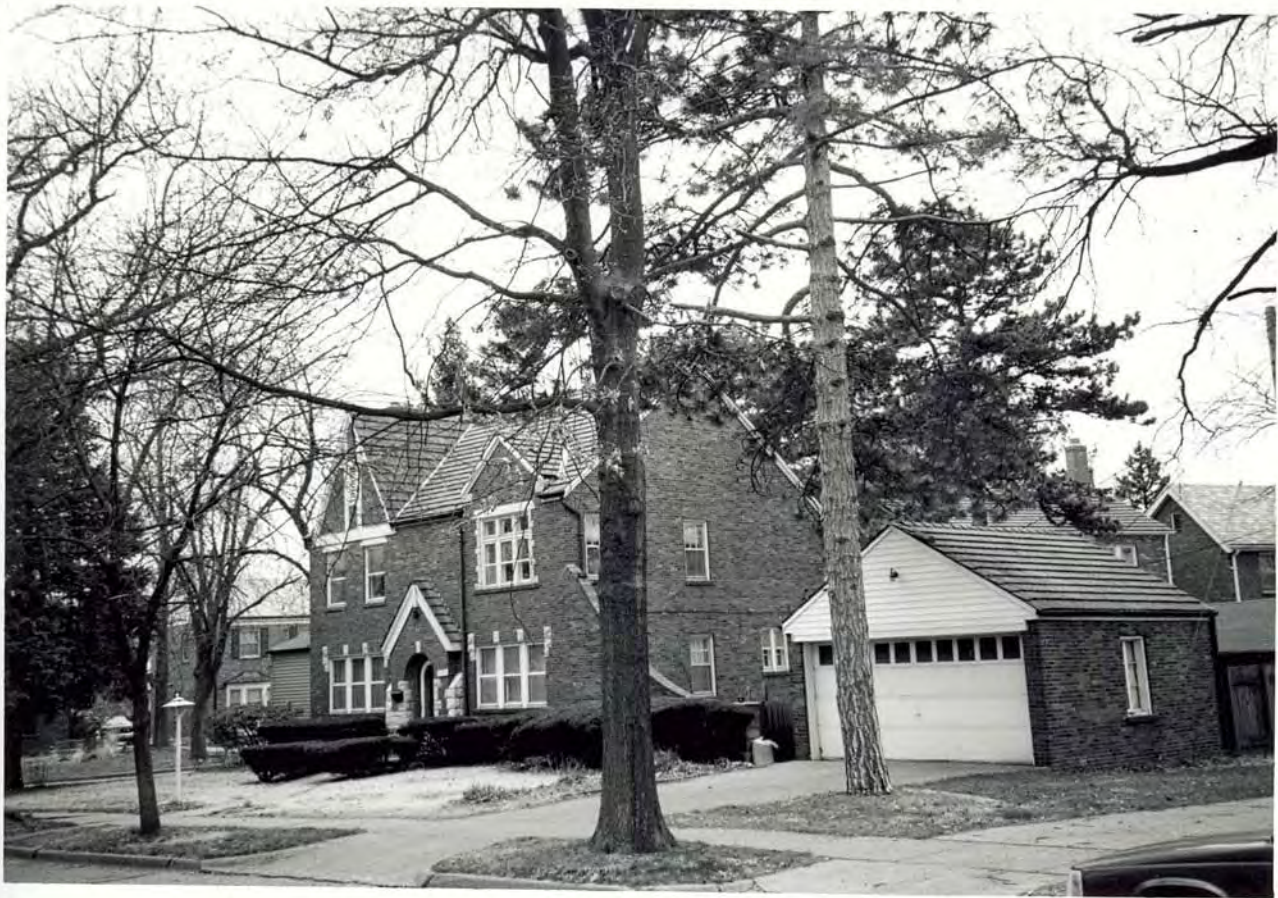
46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission


48. Date 49. Revision Dates

Sept. 2002

4201 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0276		4. Present Name(s) Bruns, William G. & Jeanne G., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kohl, Amelia, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4212 Roland Blvd., Lots 2, 3, Block 10		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material Concrete
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Hip - Slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 1+3+1 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular +wings
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Bruns, William G. & Jeanne G.	36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.

HISTORIC INVENTORY

42. Further Description of Important Features

This two story, multicolored (red, cream, tan, olive) brick house has a very steeply pitched, hipped, multicolored slate roof with an eave overhang. The slate was deliberately laid in an irregular pattern to make it look old. The house has copper gutters and round copper downspouts as well as a concrete foundation. The façade is divided into three vertical divisions, with side wings recessed on both sides of the house. The north bay of the main house has a large, cross gable that is clad in wavy butt siding above the large, multipaned, paired casement windows. On the first floor, there is a canted bay window with a slate roof and steel casement windows. The middle bay has a small pair of 6 light steel casement windows above the swayback hipped roof over the entry stoop. This slate roof is supported by large wood braces and the wood paneled door has 8 panels aligned below the similarly proportioned pair of clear glass lights at the top of the door. There is a shallow, concrete entry stoop. The south bay has a smaller cross gable with brick façade wall in the gable end above the paired, 8 light steel casement windows with a wood beam lintel. Below, there are three 10 light casements clustered together with another wood beam lintel. On the north elevation of the house is an attached, two car, steeply pitched, end gabled, slate roofed, two bay, matching brick, 1.5 story garage wing that has a hipped roofed dormer facing north above a pair of casement windows. The garage doors face the street and are the original folding, recessed panel, wood doors. On the south elevation of the house, near the façade there are paired 8 light casements above paired 10 light casement windows. Behind this bay of windows is a massive, brick, end wall chimney that is sandwiched between the house and the steeply pitched, 1.5 story, hipped, slate roofed open porch that is supported by wood timber post framing with a concrete porch floor and has a hipped roofed dormer facing south. There are a pair of 10 light French doors as well. The dormers in both wings are also clad with wavy butt siding. The only visible alteration to the façade is the full view storm door on the entry. On the back of the house there is a shallow (5 feet deep) open framed porch that extends between the two wings on either end of the house, according to the assessor's records, but it is not visible from the street or identified on the 1967 fire insurance map. The house was apparently remodeled in 1963 according to the assessor, but the alterations are not discernable from the façade.

43. History and Significance

This is one of the earliest houses built in Pasadena Hills, probably completed in 1930, based upon both the assessor and dead research. It was the home of a widow, Amelia Kohl, who had been married to Fred Kohl, but was already a widow at the time she invested in the property and had her new home built. She continued to live in the house, at least through 1943. In the 1946 city directory, new owners are identified, Joseph L. and Frances Gennari. He was identified as a cook at the Coronado Hotel in St. Louis. After his death, his wife was identified as a saleswoman. The assessor noted that the house was remodeled in 1963, but the alterations are not apparent on the façade, unless the garage wing was added at this time. However, its design and materials match the main house and it appears original to the design. This is one of the larger, Tudor Revival designs in Pasadena Hills and it has a distinctive, very steeply pitched hipped roof with a variety of intersecting roof forms to provide visual interest as well as a massive, end wall chimney and steeply pitched, hipped roof side porch with a dormer. The design utilizes other distinctive Tudor Revival stylistic details, including wavy butt siding, a multicolored slate roof, steel casement windows, and timber framing on the side porch and entry roof braces.

44. Description of Environment and Outbuildings

This large, double lot faces west onto Roland Boulevard and has a short driveway from the street to the façade garage entry of the attached two car garage. There is also a concrete sidewalk from the street to the front entry stoop.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, Book 1084, p. 615.

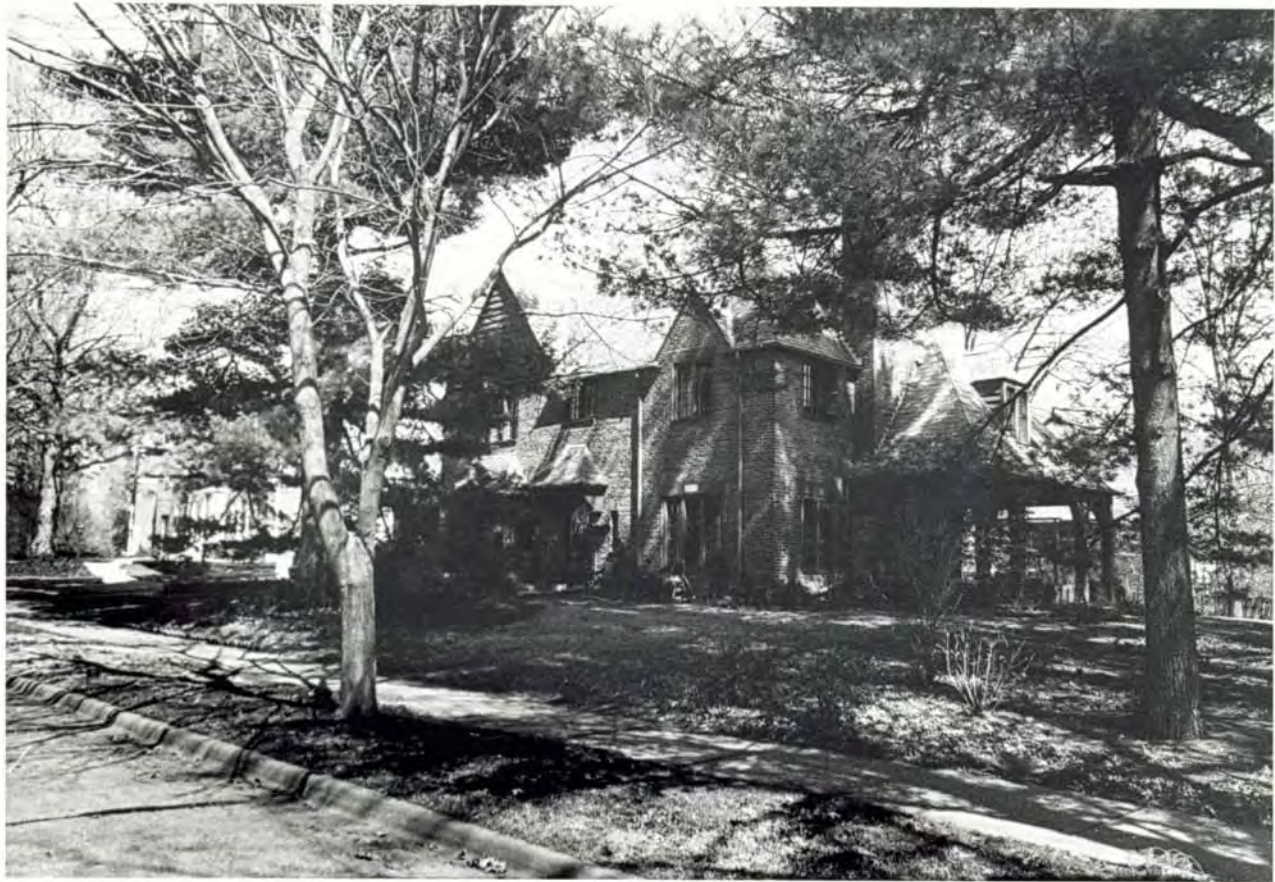
46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

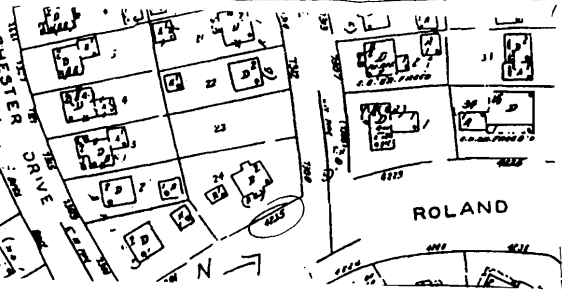
Sept. 2002

4212 ROLAND BLVD
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLHS039 - 0277		4. Present Name(s) Winfield, Leroy & Christine L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kalbfell, Arthur F. and Addie S., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4215 Roland Blvd., Lots 23, 24, Block 12		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	30. Foundation Material rock faced ashlar limestone
		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
		20. Contractor or Builder Moresi-Nauman-O'Neill, Inc.	32. Roof Type, Material gabled, slate
9. Coordinates Lat Long		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2+3+1 SIDE
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Winfield, Leroy & Christine L.	36. Changes (explain in #47) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Poor
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red and brown) brick house has a rock faced ashlar limestone foundation and a gray slate roof and copper gutters and downspouts. The main house is divided into three vertical divisions on the façade and is flanked by large, brick, corbelled capped, end wall chimneys. The south bay has a shed roofed, wall dormer with a 6 x 6 wood sashed window on the second floor. Below, is a transomed, steel casement window. The north bay has a gabled wall dormer with a pair of wooden, segmental arched, 12 light French doors which open onto a narrow balcony that has a replacement wood railing. Below, are paired, 6 x 6 wood sashed windows. The middle bay is actually a two story, gabled, projecting wing with a second floor overhang which has brick half timbered walls and small wood modillions under the base of the overhang. The brick on this upper section is laid randomly in a decorative pattern, rather than in rows. There is a 6 x 6 wood sashed window centered on the second floor. Under the slight overhang is the recessed, rectangular doorway that has a wood beam lintel that spans the opening and the width of the brick quoining on either side of the entry. The door is a wood paneled door with raised panels that consist of a 3 vertical panels on the upper half of the door and a diamond panel surrounded by smaller panels on the bottom half. The middle panel of the upper half is a clear glass light. There is a shallow concrete stoop that connects to the serpentine concrete walkway. Flanking the entry are small, pendant lights which appear to be original to the house. Other elevations also have 6 x 6 wood sashed windows and like those on the façade, first floor windows have a decorative brick lintel. The gable ends are clad in vinyl siding, which replaced original wood siding. On the north end of the house, deeply recessed behind the chimney is a side gabled, one story, brick sun porch that was originally open between the brick piers and has a round arched, brick quoined and keystone arch in the north elevation that extends into the gable end. These openings have been filled with glass jalousie windows. On the south end of the house is a side gabled, brick breezeway which is enclosed by more jalousie windows and jalousie doors that does not appear on the 1967 fire insurance map, but neither does the north wing which appears original to the design. It is possible that the breezeway was added when the north wing was enclosed with jalousie windows. The breezeway connects the main house to the hipped roofed, matching brick, two car garage that faces the street. It has its original slate roof and two car wooden door. It also has a small cupola on at the peak. The garage, may have originally been a detached garage, but even with the breezeway connection it retains most of its original historic integrity. Although not visible from the street, there is apparently a rear wing of similar proportions to the front gabled wing.

43. History and Significance

The building permit for this house was issued to Moresi-Nauman-O'Neill, Inc. of 2700 N. Grand Boulevard on June 10, 1936 for what was listed as 4213 Roland Blvd. (but the lot number matches). This is not the first confusion over this house's address, since it was listed as 4235 Roland Boulevard in the city directories until the 1950s, when it was also listed as 4215 Roland Blvd. Today, it is officially addressed as 4215 Roland. Moresi-Nauman-O'Neill, Inc. were apparently the builders or developer of this house, built for the first owners, Arthur F. and Addie S. Kalbfell., who owned the Pauline Theatre in St. Louis, a "motion picture" business. They continued to live in the house for many years, at least through 1955 when city directory research ended. While the house plan is less complex than many other Tudor Revival designs in the neighborhood, it has a number of distinctive details, including the use of both shed and gabled wall dormers, a projecting two story vestibule with a second floor overhang, a faux balcony with arched French doors, a variety of multipaned windows, and highly unusual, randomly laid, brick in the half-timbered overhang. Although the side gabled, porch wing does not appear on the 1967 fire insurance map, it does look like that was an error, since it matches the brick and distinctive brick quoining used on the main house. However, the house has had some alterations, including the replacement of the balcony railing, the enclosure of the porch wing, and the use of vinyl siding in the gable ends. It also had a breezeway connection added to what was probably originally a detached garage, but this minimal connection does not seriously detract from the historic integrity of the house. Despite the fact that the house has had some alterations, it still retains its basic historic integrity and is a contributing building in the historic district.

44. Description of Environment and Outbuildings

This large double lot faces west onto Roland Boulevard with the back lot forming the back yard. This property is on the southwest corner of Huntington Drive and Roland Boulevard and is basically flat. There is a curved (away from the façade) concrete driveway from Roland Boulevard to the façade garage entry of what was probably originally a detached two car garage, but is now connected to the house by a breezeway. The driveway has been widened but retains the one car curb cut. There is a curved concrete sidewalk from the entry to Roland Boulevard, angling opposite of the driveway. The façade of the house is obscured by the large overgrown evergreen shrubs and trees which hide the beauty of the façade.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, June 10, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

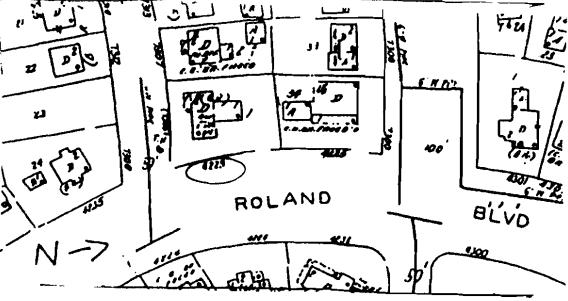
48. Date 49. Revision Dates

Sept. 2002

4215 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0278		4. Present Name(s) O'Brien, Robert W. & Gloria S., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Reineke, Harry J. and Ella L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4223 Roland Blvd., Lot 1, Block 13		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material Concrete
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable - Slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape T-shaped + porch
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known O'Brien, Robert W. & Gloria S.	36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, multicolored (red, cream, brown) brick house has rock faced stone accents scattered on the façade and it has a multicolored (grays with red) slate roof laid in an irregular pattern to mimic age and wear. The house plan is basically a T-shaped plan with the 1.5 story section paralleling Huntington and its end gable facing Roland where the one story, side gabled wing parallels Roland on the north side. The 1.5 story gable end is clad in stained, wood clapboard above the second floor lintel level where there are three, 8 light, steel casement windows flanked by a pair of wood plank shutters. On the first floor, there are two paired, 8 light, steel casements with wood plank shutters and rough hewn wood lintels. The façade on the side gabled one story wing has the standing seam, copper, shed roof of the small entry vestibule. The north side wall of the vestibule is clad with stucco half timbering and the door is a wood paneled door with 10 panels (the second pair is actually stained glass lights). The door is surrounded by rough hewn, timbers and there is a wooden storm door with 6 lights in the upper portion and 4 recessed panels below. On the other half of this wing's façade is a triple window unit with three, 4 light steel transoms above the three 10 light casements. There is a triple, steel casement window with a shed roofed extension supported by small wood beam brackets that faces north on the 1.5 story wing in front of the entry. On the north end of the house is a large, brick, end wall chimney and there is an internal chimney in the 1.5 story wing. On the Huntington elevation there is a shed roofed, wood clapboard, framed, sun porch that has replacement aluminum framed windows. This elevation also has the basement level, two car garage with a replacement fiberglass door. Flanking both sides of the driveway are stone retaining walls.

43. History and Significance

Ella L. Reineke purchased this property from Carter Realty on April 17, 1930 and the assessor estimated the year built as 1930. According to the current owners, but not verified by any other documentation, Harry Reineke built the house himself. The home was first listed in the 1932 city directory (no Pasadena Hills homes were listed prior to 1932) as the new home of Harry J. and Ella L. Reineke. He was in the auto accessories business, later identified as the tire business in 1936. By 1938, no occupation would be listed, probably meaning he had retired and in 1941 he served as treasurer for the Village of Pasadena Hills. Between 1949 and 1953, he died, but his widow, Ella, continued to live in the house at least through 1962 according to the current owners. That year, the house sold to new owners, who now live in Pasadena Park (a neighboring suburb to the west), by the name of Boue. They sold the house to Jerry and Sharon Lindhorst in 1972, but because of a divorce, the house sold to the current owners, Robert and Gloria O'Brien in August 1975. The O'Briens also noted that this house was featured in Better Homes and Gardens years ago and that it still retains the original red velvet drapes. The only interior alteration that they noted was the addition of central air conditioning, while retaining the original radiator heating. This is a highly unusual variation of the Tudor Revival style which helps characterize this community, but the design is much more modestly detailed, possibly a response of the Great Depression, but also reflective of a transitional style which will increase in popularity later in the decade, Minimal Traditional that is noted for similar cross gabled designs, but without the distinctive Tudor Revival features still evident on this house: rock faced ashlar stone detailing, multipaned steel casement windows, stained wood siding, wood plank shutters, decorative wood panel door with stained glass lights, rough hewn timber framing the entry, or the irregular pattern of the slate roof.

44. Description of Environment and Outbuildings

The lot is basically level at the northwest corner of Huntington Drive and Roland Boulevard. There is a serpentine concrete sidewalk from the entry to Roland Blvd. There is also a concrete driveway dug into the ground on the Huntington elevation that has stone retaining walls on both sides to access the basement level garage.

45. Sources of Information

O'Brien, Gloria. Interview with Karen Bode Baxter, Pasadena Hills, April 2002; Recorder of Deeds, St. Louis County, Deeds, Book 1067, p. 284.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

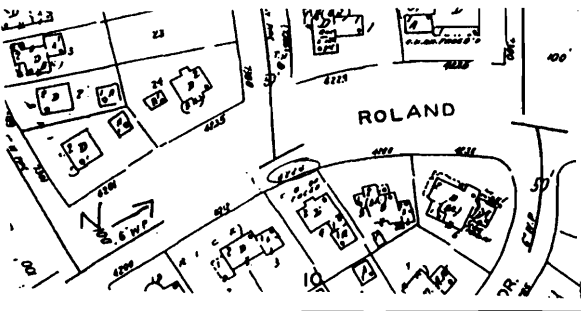
48. Date 49. Revision Dates

Sept. 2002

4223 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0279		4. Present Name(s) O'Neal, Betty T., et.al., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Wilschetz, Reuben E. and Idell, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4224 Roland Blvd., Lot 4, Block 10		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1954	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known O'Neal, Betty T., et.al.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block brick faced	
		32. Roof Type, Material Gable - Asbestos Tile	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape hyphenated rectangle	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior <input type="checkbox"/> Exterior <input checked="" type="checkbox"/> Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, tan olive) textured brick house has gray asbestos tile roofing with aluminum wrapped boxed cornices and aluminum gutters. The roofing is probably original, but the aluminum is probably a more recent alteration. The foundation is poured concrete and there is an end wall brick chimney with a brick banded cap (and metal flue cap) on the north elevation. The façade is divided into three vertical bays with the center bay projecting slightly with a second floor overhang and having a shallow cross gable. There are paired, leaded glass, wood sashed windows with a flat stone lintel and shutters on the second floor and what appears to be the remnants of a faux balcony railing under the window. The overhang is defined by a concrete base that forms the cap for the first floor walls which are clad with ashlar stone. The entry has a rectangular opening with modified pilasters and entablature. The painted wood door has raised wood molding forming three stacked rectangles with circular molding in the centers of each panel. There is a simple concrete stoop. On either side of the center bay, the second floor windows are 2 x 2 wood sashed windows with shutters. Like most other windows on this house the lights are horizontal, rather than the typical vertical pattern. On the first floor of the south bay is a triple, 2 x 3 wood sashed window unit with shutters. To the north, there is a large picture window flanked by narrow 2 x 3 wood sashed windows. Basement windows are wood casements. On the back of the house, at the north end is a one story, brick wing that connects to a one story, end gabled, brick, two car garage that has a wood overhead door that faces south toward the driveway. The gable end of the garage, above the door, is clad with aluminum siding that is probably a later replacement material, but could be original. The aluminum storm windows and full view storm door, as well as the aluminum cladding on the boxed cornice, and possibly the aluminum siding in the gable end of the garage appear to be the only alterations to the exterior, and all do not seriously impact the design or detailing of the house, which retains a high degree of historic integrity. There has been an aluminum awning added over the back door, that is not visible from the façade.

43. History and Significance

This is one of the post-World War II designs of Julius E. Tarling, a very popular architect in the development of Pasadena Hills, both before and after the war. Both the plans and the assessor identify the year built as 1954. The house is first listed in the 1955 city directory as home of Reuben E. and Idell Wilschetz. He was the vice president of Reliable Life Insurance Company. The house is a late example of the popular Colonial Revival style. Utilizing the center gable variant of the Colonial Revival style, which is characterized by the side gable, three façade bays, and the central cross gabled bay. Like other Colonial Revival houses, it has shuttered, multipaned wood sashed windows and an end wall chimney on the gable end as well as a central entry. Tarling provided a design that utilized features popular after World War II: horizontal lights in the sashed windows, ashlar stone on the first floor of the entry bay, and a modern pattern of rectangles with circles on the wood entry door. Although the house was built late in the development of the neighborhood, its design blends well with the earlier homes in the neighborhood, utilizing one of the more popular forms, a side gabled Colonial Revival, but it is significant in showing the transition of residential design features after World War II. As was common in Pasadena Hills, the garage was relegated to the rear of the property, in this case connected by a masonry wing on the back of the house, an indication of the importance of the automobile in the development of this commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically level and faces west onto Roland Boulevard with a driveway along the south side of the property that extends back to access the attached garage wing on the north side of the back lot. There is a sidewalk from the front entry that curves and tiers down to the driveway from the front entry.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

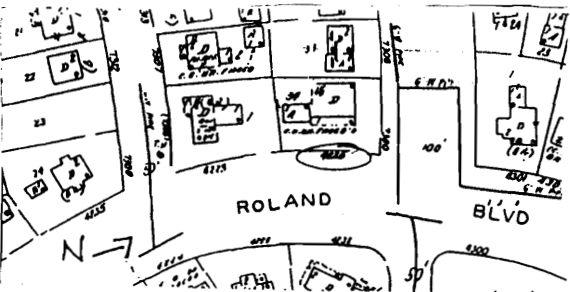
48. Date 49. Revision Dates

Sept. 2002

4224 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0280		4. Present Name(s) Hopson, John J. & Jerlanne L., House	
2. County St. Louis		5. Other Name(s) HISTORIC:	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4225 Roland Blvd., Lot 34, Block 13		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1952	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Minimal Traditional	30. Foundation Material Concrete
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction concrete block brick faced
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable - Asbestos Tile
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape L-shaped
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hopson, John J. & Jerlanne L.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, red brick house has a gray asbestos shingle roof with two gabled dormers, as well as a one story, side gabled attached garage wing on the south that is continuous with the main roof on the façade but has a shorter ridge. This wing has a broad cross gable that spans the width of the wing that is clad in siding, as are the two dormers. There is a small, rectangular, louvered vent in the cross gable and 1 x 1 replacement vinyl sashed windows in the dormers. The boxed cornice with a wider overhang under the cross gable is continuous with the shallow roof extension that spans the main house façade to form long porch that has a concrete slab under the three squared columns that divide the main façade into two bays, aligned with the dormers. Above the south bay on the main house is the broad, interior, brick chimney cap with its three decorative chimney pots. On the first floor of this bay is a picture window flanked by 1 x 1 vinyl sashed replacement windows. In the north bay of the main façade, there are paired, 1 x 1 vinyl sashed windows. Under the cross gable of the garage wing there are 3 shuttered, 2 x 2 wood sashed windows (with horizontal lights). Nestled in the corner between the side wall of the garage wing and the picture window is the entry door which is a painted wood door with a half round light at the top and two rows of paired raised wood molding panels. There is a single concrete step at this end of the entry porch to connect to the curved concrete sidewalk. There is a decorative iron framed, full view storm door that has been added and the garage wing windows have added aluminum storm windows. Windows on the side elevations are smaller, but there are two distinctive porthole windows at the rear corner of the garage wing, south side elevation. The garage is accessed from the rear and it is a two car attached garage with two steel overhead doors, which could be original given the age of the house.

43. History and Significance

The assessor estimated the year built on this house as 1952, but this address did not appear in the 1953 or 1955 city directory, although it is likely that it was built in the early 1950s given the patterns of development in Pasadena Hills. There is a listing for 4245 Roland Boulevard in the 1953 directory as being under construction, but there is no such address, making it likely that the directory was actually referencing what became this house at 4225 Roland. It does appear on the 1967 fire insurance map. The house is a good example of the trends after World War II to elongate the façade and lower roof lines, a trend that can also be seen in the popular Ranch style houses, but in this house, the roof pitch and 1.5 story form as well as the detailing (shutters, gabled dormers) that are influenced by earlier Cape Cod style houses help identify this as Minimal Traditional style house, a popular house form in the late 1930s through the 1950s. In this example, the façade has been stretched with a one story garage wing that continues the main roofline with a broad cross gable and by having a shallow porch under the roof extension that extends two-thirds the width of the façade, other features that are common to this style as is the broad interior chimney. As is common to Pasadena Hills, the garage is attached accessed from the rear, where it does not visually impact the streetscape. Although some of the windows have been replaced with vinyl sashed windows, the house retains a high degree of historic integrity and is contributing to the district.

44. Description of Environment and Outbuildings

This corner lot faces east onto Roland Boulevard at the intersection with Country Club Drive (by the community's original fountain in the middle of the intersection). The driveway enters the property from the rear, on Country Club Drive, along the west side of the property to access the attached garage. There is a curved sidewalk from Roland to the front entry of the house.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

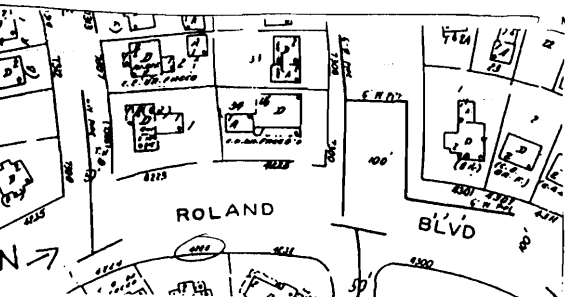
Sept. 2002

4225 ROLAND BLVD
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0281		4. Present Name(s) Kayser, Marianne C., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Mohr, Renner E. and Henrietta, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4228 Roland Blvd., Lot 5, Pt. 4, Block 10		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1929	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Kayser, Marianne C.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable - Slate	
		33. No. of Bays FRONT 1+5 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched cross gabled, house has a shed roofed extension of the façade gable over the one story, round arched vestibule and a large end wall chimney splits this façade gabled wing. A canted, flat roof with parapet, bay faces the south elevation at the corner with the façade. There is also a side gabled, one story, two car garage wing on the north side, recessed from the main façade. The walls are a combination of red, brown, and charcoal brick that has irregular surfaces and is laid in a randomly projecting pattern throughout the design. The rock face, ashlar limestone foundation extends up at corners into this brick and the limestone is scattered throughout the façade, especially at corners, intersections of gables, and as continuous sill banding. The multicolored (grays and red) slate roof is also highly textured, cut into irregular shapes and laid in a random pattern. Even the siding in the gable end and above the arched vestibule is wavy butt wood siding, designed to provide the appearance of age and weathering. The façade is divided into five bays, plus the garage wing on the north, which has a replacement steel overhead paneled door with lights. The north bay is devoid of penetrations but features the massive, collector box for the copper gutters and downspouts and the entry stoop with its rock faced ashlar limestone foundation and flagstone floor extends from the north corner of the house across this bay as well as the next bay where the vestibule is located. The bull nosed, quarry tiled steps are the same width as the doorway and have stone side walls. The vestibule has a side shed roofed extension of the two story cross gable in the bay to the south with a round arched opening that has stones at the base of the arch and as a keystone, as well as at the base of the roof where the brick wall flares out slightly. The stained oak, round arched, wood plank door is recessed in this archway and has large iron strap hinges and a round light with a spider web stained glass pattern. There is a wooden storm door protecting this door. The end gabled wing to the south of the vestibule projects even further from the side gabled façade to the north and is split by a decorative brick, tiered end wall chimney that has rock faced stones scattered up the corners and steps to the upper shaft and a plain brick band cap with a single decorative chimney pot. The gable end is clad in wavy butt siding to the lintels of the second floor windows and there are rock faced stones at each corner of the gable ends. The bays on either side of the chimney have paired, 8 light steel casement windows on the second floor with a continuous rock faced stone sill that wraps the sides of this wing and visually aligns with the bay parapet to the south. The first floor windows on either side of the chimney are also paired, 8 light steel casement windows with 4 light steel framed transoms and wood beam lintels. The foundation extends to the base of these windows. On the south corner of the gabled wing is a curved, wing wall outlined with rock faced stone that extends up half a floor in height. Behind the wing wall, on the south elevation is a large, flat roofed, canted bay window that has brick walls and a rock faced stone cap. It has paired steel casement windows in each face, except on the façade which is a paired, 12 light, steel French style door. The sills on this bay are continuous rock faced stone. On the north elevation, there is a large, 9 panel, diamond paned, leaded and stained glass, steel casement window at the landing between the first and second floor. On the back of the house is a small concrete stoop with iron railing that has a gabled roof with slate shingle roofing. Except for the replacement garage door, this house appears to have had no alterations and it retains an exceptionally high degree of historic integrity.

43. History and Significance

This is one of the earliest houses built in Pasadena Hills, although the assessor estimated the year built as 1929, it is unlikely that the house was completed that year since the deed was not sold to Renner E. and Henrietta Mohr until November 12, 1929 and there was another deed transfer to them on October 22, 1930. It is more likely that the construction began in late 1929 and was finished in 1930. Since the city directory identifies Mohr as an architect, it is highly likely that he designed his own house, although that has not been verified. The Mohr family continued to live in the house through 1938 and by 1939, Edward R. and Henrietta B. Sneed lived in the house. His occupation was initially identified as lawyer, but throughout most of the 1940s he was identified as the "research man" for Socony Vacuum Oil. Then in 1953 he was again identified as a lawyer in St. Louis, but by 1955 he was working with Dickmann Realty Company in St. Louis. The Mohr House is one of the more unusual Tudor Revival designs in Pasadena Hills, with a combination of features associated with this style, but a composition that is unusual. While it has the characteristic steeply pitched roof, the cross gable with the steep shed roof extension down across the arched entry vestibule, it is not a feature found often in this community. The striking horizontal banding created by the second floor stone sill line that extends as the parapet cap on the bay window on the side is accentuated by the contrasting rock faced limestone foundation and entry stoop as well as the wavy butt siding in the gable end to form horizontal blocks of materials. The house has the characteristic end wall chimney on the façade, but its upper shaft is boxier than usually found on designs in this neighborhood and the unpunctuated wall at the north end of the façade is highly unusual. As is characteristic of this style, there are scattered stone details contrasting the brick walls, but both the brick walls and slate roof are laid in an irregular pattern designed to approximate natural or hand hewn shapes. The façade garage entry, although recessed from the main house is uncommon in Pasadena Hills, especially on such early house designs, where garages were usually relegated to the rear of the house where they would not visually impact the streetscape.

44. Description of Environment and Outbuildings

The lot is basically flat and faces west onto Roland Boulevard with a one car curb cut, concrete driveway from the street to the recessed, façade entry to the two car attached garage wing. The driveway has been widened near the garage to provide for additional parking. There is a flagstone walk from the front entry steps that curves out to meet the driveway, midway and then parallels adjacent to the driveway to the public sidewalk.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, Book 1045, p. 312; Ibid., Book 1100, p. 401.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

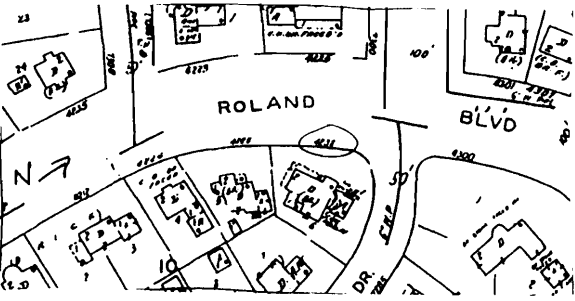
Sept. 2002

4228 ROLAND BLVD
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS029 - 0282		4. Present Name(s) McLaughlin, James P., & Maryhelen P., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Bernstorff, Paul H. and Doris L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4238 Roland Blvd., Lot 6, Block 10		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1929	
8. Site Plan with North Arrow 		18. Style or Design Spanish Eclectic	
9. Coordinates Lat Long		19. Architect or Engineer Thomas Barnett	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known McLaughlin, James P. & Maryhelen P.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable - Hip - Clay Tile	
		33. No. of Bays FRONT 6 SIDE	
		34. Wall Treatment stucco over brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, asymmetrical plan, stucco house has an irregularly laid, American Spanish tile roof that is a combination of a hipped roof with clipped corners and an intersecting gabled roof on the east end of the façade, which serves as the entry bay and is next to the one story, flat roof with the clay tile mansard edging. The projecting gabled wing that forms the entry bay has a small porthole vent in the attic and an elaborate second floor balcony treatment above the relieving arched, recessed entry. There are paired, transoms over the paired, 8 light wood framed, French style doors with round stained glass in each door light and transom. These doors open onto a faux, decorative iron balcony and there are elaborately carved, pecky wood cypress, functional shutters that span the upper portion of these doors as well as spindlework finial extensions from the hinges. The second floor of this gabled wing overhangs slightly and is supported by a series of small wood beam modillions. The entry is centered below and the relieving arch as well as the lower half of the façade wall are clad with decorative glazed tiles in a checkerboard pattern created by the alternation of black tiles with a multicolored (orange, green, and black) designed tile. On either side of the doorway are small, rectangular, deeply recessed windows with rounded stained glass pattern and iron wickets over the windows. The matching arched door is an elaborate, stained, wood with a distressed surface that has 12 recessed panels with a decorative crossed metal medallions forming horizontal rows between each panel. There is a twisted rope iron grate on the door as well as a red quarry tile floor on the stoop that has smooth limestone steps. . The hipped roof section of the roof extends out with suspended wood beam supports to form a second floor overhanging porch that has turned posts and balustrade. Under the overhang are additional wood beam supports. This porch extends around the corner onto the west elevation and spans the façade to a squared oriel window nestled in the corner under the hipped roof next to the gabled two story bay on the west end of the façade. This oriel is basically stucco with a small, tile roof extension and a small 6 light (rounded stained glass) wood framed window with decorative iron wickets, a treatment used on the matching windows to either side of the entry and on the façade wall of the garage wing as well. The façade of the remaining hipped roof section is divided into three vertical bays with paired, 5 light, French doors in each outer bay, and a matching door on the centered on the east elevation section of the porch. Like the roof, the corner wall is clipped. On the first floor of the façade, below the porch, there is a recessed, arcaded veranda with stuccoed arches and ceiling that with three round arched openings on the façade and one on the side elevation. Opening into this veranda is a round arched, multipaned, wood framed door and matching 16 light, wood framed, fixed, round arched windows with a decorative tile veranda floor at grade. There are additional window openings around the corner under the overhang on the east elevation and behind the porch on the east elevation the stucco walls continue the second floor overhang to the back corner. Other elevations of the house have wood casement windows on the second floor. The garage wing, which faces toward the northeast, not the façade, has two round arched garage door openings with steel overhead garage doors. Between these arches is an opening in the roof parapet to a decorative copper collector box and downspout.

43. History and Significance

This Spanish Eclectic style house was designed by noted, St. Louis architect, Thomas Barnett, in 1929. Barnett, who had inherited the architectural firm that had designed many noted St. Louis buildings in the nineteenth century, was also well known for his designs during the early twentieth century, carrying on the family tradition. This is one of two designs in Pasadena Hills known to be by Thomas Barnett, the other is the Buck House at 7247 N. Roland Blvd., but it is a Tudor Revival design. The Spanish Eclectic style was not utilized on many houses in the early twentieth century in St. Louis and there is only one other example of this style in Pasadena Hills. This house was designed for Dr. Paul H. Bernstorff in 1929 when he purchased the property from the Carter Realty Company, but it was probably not completed until July 1931 when the deed was filed. The house faces northwest, toward the intersection of Roland and Country Club Drive with the distinctive fountain that is one of the original landscaping features of Pasadena Hills, making this one of the most prominent landmark houses in the community. Dr. Bernstorff continued to live in the house through the 1930s, apparently marrying Doris L. Bernstorff between 1934 and 1936 since she is then listed with him in the city directory. In 1941, the directory lists the house as vacant. By 1943, Joseph and Minnie Pozzi had purchased the house. He was in the restaurant business in St. Louis. They lived in the house through the 1940s, but with the first directory in the next decade, 1953, Roland H. and Theodora E. Kolman were now the owners. He was the comptroller for Famous Barr, a major department store in St. Louis. Because of the house's distinctive design, its prominence in Pasadena Hills, and the design by a noted architect, this house is not only contributing to the historic district, it is individually eligible to the National Register.

44. Description of Environment and Outbuildings

This lot is basically level and is a large corner lot on the southeast corner of Roland Boulevard and Country Club Drive where the community's fountain is located. The house faces the intersection, toward the northwest. The driveway enters the property from the Country Club Drive side of the house to access the attached garage wing on the northeast end of the house.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, Book 1147, p. 407; Ibid., Book 1150, p. 87.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

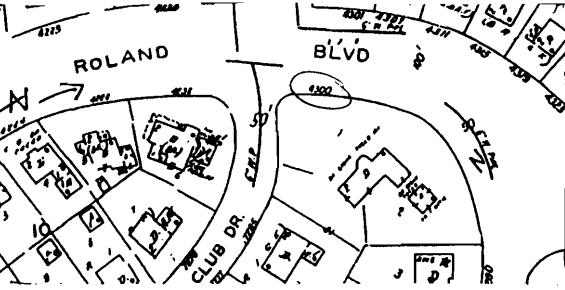
48. Date 49. Revision Dates

Sept. 2002

4238 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0283		4. Present Name(s) Cellular Now, Inc., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Carter, Henry and Frieda, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4300 Roland Blvd., Lots 1,2, Pt.30, 31, Block 9		16. Thematic Category	28. No. of Stories 2.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1928	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	30. Foundation Material Stone
		19. Architect or Engineer	31. Wall Construction concrete block. stone faced and fra
		20. Contractor or Builder	32. Roof Type, Material Gable and Hipped, Slate
9. Coordinates Lat Long		21. Original Use, if apparent Residence	33. No. of Bays FRONT 6 SIDE
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	34. Wall Treatment smooth limestone & half-timbered s
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	24. Owner's Name and Address, if known Cellular - 4579 Laclede Ave., Ste 228, 63108	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 2.5 story, house has dressed limestone walls on the first floor and stucco half timbered walls that elongate the second floor by extending down the first floor sill height. The roof is multicolored (gray, green, blue) slate and the overhanging eaves are enclosed with copper gutters and downspouts. The primary façade faces Country Club Drive and is side gabled with a hipped roof 2.5 story wing along the north (Roland) elevation, but these two wings are offset at the corner, exposing the gable end wall on the west end of the Roland elevation. At the north end of the side gabled façade wall, there is a two story octagonal tower with pointed, octagonal slate roof that continues the main façade wall treatments of stone and half timbered stucco. Facing the street at the stair landing of the tower, there is a large, paired, 2 light, diamond patterned leaded stained glass casement windows with a 2 light, leaded glass transom highlighted by heraldic shields. There is a wooden, shoulder arched lintel with a decorative sconce above this window. On the first floor, both the façade and flanking facets of the tower have 4 light wood casement windows deeply recessed in the limestone and with limestone sills. The remaining façade of the side gabled section has two flared, hipped roofed dormers with wide eaves and paired, 3 light wood casement windows. The gable end on the south is skirted. Below the northern dormer is a triple, 10 light, wood casement window. Below the other dormer is a shorter, triple window unit that hugs the eaves and has 6 light wood casement windows flanking a 9 light wood casement window. At the south end of the façade there is a triple, paired, diamond patterned, leaded glass casement windows above a section of half timbering that has a crossbuck pattern in addition to the rectangular half timbering used elsewhere on the house. This second floor, across the façade, overhangs the first floor and the bay divisions are not directly aligned. At the south end of the first floor façade there are two 5 light, wood casement windows deeply recessed into the stone walls. The middle section between this south end and the tower is deeply recessed, forming a covered entry porch at grade with a flagstone floor and a wood beamed ceiling. The main entry door is located at the north end of this porch, facing west in a segmental arched, limestone opening. It is similarly arched and made of stained hardwood, with 6 panes (the upper two panels being stained glass lights). The door has heavy iron strap hinges and retains its original 6 light arched wood storm door. There are also a pair of 10 light, French doors on the porch and an additional 8 light wood casement window facing north. There are also ornate carved stone designs on the front porch. The section of the façade on the north side of the tower, which is part of the hipped roofed wing of the house has a triple, 10 light wood casement window unit on the second floor and two paired, wood casement windows on the first floor. The north elevation has an additional hipped dormer and casement windows, as well as a hipped, slate roof overhanging a side entry near the back. This roof is supported by decorative ironwork and there is a railing around the basement entrance. In the back, there is another entrance door and courtyard with a fountain and swimming pool surrounded by a stone wall, which blends well with the house and may be historic but based upon present information (a 1967 fire insurance map), it is identified as noncontributing because it is not clear when it was constructed. There are also two chimneys on the back with decorative S shaped tie rods. There is an elaborate iron gate joining the stone walls between the house and "carriage house" style garage that has decorative hanging lamp incorporated into the iron work arch over the gate. The curved, side gabled, 1.5 story, two bay garage has two swayback hipped roofed dormers with wood casement windows on the façade which faces Roland Blvd. The garage is all stone, with a matching slate roof and it retains its original wood doors and the curved stone retaining wall by the driveway with steps up to the gate.

43. History and Significance

Although the deed to this property was not transferred from Carter Realty to Henry and Frieda Carter until 1930, the house was one of the earliest homes to be built in Pasadena Hills, utilized in the promotional literature for the new suburb, indicating that the assessor's estimate of the year built, 1928 is probably fairly accurate although details may not have been finished at that time. Henry Carter's business changed names to Pasadena Realty Company and then Henry Carter and Company, Inc., but he was apparently always involved in the real estate development business. The Carter family lived in the house through 1938, but the house was sold to Dr. Victor J. and Floy Meinhardt in 1939, although they only resided in the house for a short time. In 1941, the directory listed the house as vacant and with the next publication of the directory in 1943, Louis L. and Eleanor Flori are living in the house. He was in the iron pipe business. With the publication of the next directory in 1946, William W. and Anna M. (or Maude) Mac Donald have moved into the house. He was president of MacDonald Construction Company in St. Louis and they continued to reside in the house at least through 1955 when city directory research ended. This is probably the most significant house in Pasadena Hills, since it was the home of the developer of the suburb, Henry Carter and it is prominently located facing the fountain at the intersection of Roland Boulevard and Country Club Drive. It is also the only example of Tudor Revival design in the neighborhood that utilizes dressed limestone with the upper floor walls all clad with stucco half timbering rather than brick walls and the home has a distinctly castle-like appeal, for which the style is named. It also has a distinctive, octagonal tower on the façade, an uncommon Tudor Revival feature. Although the architect has not been identified for this house, something that would need to be further investigated for individual listing on the National Register, the Carter House and Garage should be individually eligible to the National Register as well as a key building in the historic district.

44. Description of Environment and Outbuildings

This large triple lot spans between Country Club Drive and S. Roland at the end of Roland Boulevard with a curved front yard and deeply recessed house that faces west onto the fountain at the intersection of Country Club Drive and Roland Boulevard. The driveway to the detached, side gabled, 1.5 story stone and half timber stucco, 2 bay garage (with paired, hipped dormers) extends from Roland Boulevard near the east end of the property to the Roland elevation entries. There is a long, winding, flagstone sidewalk from the corner of Roland and Country Club that provides pedestrian access to the front entry which actually faces Country Club Drive, although the house is addressed on Roland Boulevard. There is a privacy fence that has been added to separate the backyard from the large front yards along the street elevations. There is a noncontributing, concrete swimming pool in the back yard which appears to have been added after the 1967 fire insurance map was completed.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, Book 1101, p. 407.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission


48. Date 49. Revision Dates

Sept. 2002

*4301 Roland Blvd
PASADENA HILLS*



HISTORIC INVENTORY

1. No. SLAS039 - 0284		4. Present Name(s) Dickson, Reginald D. & Illona W., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Selvaggi, Vincent G. and Alice, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4301 Roland Blvd., Lot 1, Block 15		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1929	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	30. Foundation Material Concrete
		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
9. Coordinates Lat Long		20. Contractor or Builder	32. Roof Type, Material Hip - Slate
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 4 SIDE
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Dickson, Reginald D. & Illona W.	36. Changes (explain in #421) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Fair
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story hipped roofed house has intersecting hipped wings that project toward both streets. The walls are multihued red brick and the roof is light gray with red slate that has copper half round gutters and downspouts. The façade is divided into four bays, with the north bay being the east hipped wing. On the second floor of this wing are paired, 6 x 6 wood sashed windows with shutters and on the first floor is a triple window unit flanked by shutters that has a 6 x 6 wood sashed window flanked by 4 x 4 wood sashes. On the south side, second floor, there is an additional 6 x 6 wood sashed windows. Next to this projecting wing is a small cross gable with dark wood siding in the gable end. On the second floor below this cross gable is a 6 x 6 wood sashed window (and appears to have originally had shutters) above a hipped roofed, one story, vestibule that projects out beyond the adjacent wing. The round arched doorway has smooth limestone blocks laid in an irregular pattern around the arch. The door is a wood paneled door with a half-round fanlight in the upper portion of the door and massive strap hinges. The next bay of the façade does not have any windows. This bay is separated from the south bay on the façade by a massive façade end wall chimney that actually forms the end of the main hipped roof section's wall, which projects slightly from the south bay which is part of the hipped wing that extends toward Country Club. The chimney is tapered, but other detailing is hidden behind a large spruce tree. The south bay has shuttered, 6 x 6 wood sashed windows on both levels. The south elevation has additional windows and what appears to be a second floor iron balcony behind another tree. To the west of this hipped wing is a wood framed porch that is screened in. It has a replacement asphalt composition shingle roof, but unusual cedar construction. To the west of the main house is a 1.5 story, two bay, attached, brick garage wing that retains its original paneled wood doors. Although the assessor noted remodeling done in 1964, there is no evidence of this on the exterior.

43. History and Significance

Vincent G. and Alice Selvaggi purchased their lot from the Carter Realty Company on October 25, 1929 and construction began on their house shortly thereafter, although it was not listed in the city directory until 1932, the first time any homes in Pasadena Hills can be found in the directory. Vincent Selvaggi was a steam ship agent. They continued to live in the house at least through 1936, but the next city directory in 1938 listed new owners, Val A. and Esther A. Prevallet. He was vice president at Mercantile Trust Company in St. Louis. They would live in the house at least through 1955 when city directory research ended. This house is reserved version of the Tudor Revival style on a larger residence that utilizes a number of the distinctive features (multicolored brick, slate roof, varied roofline, a massive façade chimney, multipaned sashed windows, a one story vestibule, irregular stone outlining the arched vestibule, and a distinctive wood paneled door with strap hinges), but it does not have the exuberance of detail of some Tudor Revival houses. It does have an attached garage, an indication of the importance of the automobile in Pasadena Hills early development, but like other homes in this community, the preference was to locate garages on side or rear elevations so that they do not impact the primary façade. This house also has a distinctive stone, serpentine walkway from the front door to Roland Blvd.

44. Description of Environment and Outbuildings

This lot is basically level, located at the northeast corner of the intersection of Country Club Drive and Roland Boulevard where the fountain is located. The house faces east onto Roland Blvd. There is a driveway that accesses the attached two car garage on the Country Club elevation.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, Book 1041, p. 324.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

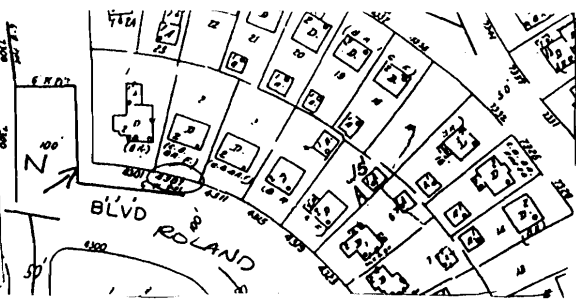
48. Date 49. Revision Dates

Sept. 2002

4301 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0285		4. Present Name(s) McCloud, Scott & Deborah, House	
2. County St. Louis		5. Other Name(s) HISTORIC:	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4307 Roland Blvd., Lot 2, Block 15		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1965	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Colonial Revival-Georgian Revival	30. Foundation Material Concrete
		19. Architect or Engineer	31. Wall Construction concrete block brick faced
		20. Contractor or Builder	32. Roof Type, Material Gable, comp.shingles
9. Coordinates Lat Long		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known McCloud, Scott & Deborah	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
14. District Potent'l? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This side gabled, two story, red and tan brick house has a composition shingle roof (probably the original roofing material as well) with wider eaves of the boxed cornice. The house has aluminum gutters and a concrete foundation. The façade is divided into three bays with a 8 x8 wood sashed window with shutters in each bay of the second floor and paired 8x 8 wood sashed windows with shutters in each outer bay of the first floor flanking the central entry. All of the windows have muntins which are actually inserts, rather than true divided lights and they have wooden storm windows. The basement windows are glass block. The entry has a wooden fanlight pediment and narrow , 4 light sidelights with a recessed panel at the base of each sidelight, and a four panel, painted wood door. The concrete stoop has iron railings. On the back of the house is a cedar deck which has been added in recent years. At the back of the lot there is a brick, gabled composition shingled roofed, detached, two car garage with a wooden overhead door. Other than the aluminum full view storm door and the cedar deck, this house appears to have no alterations, although the garage may be a later addition to the property.

43. History and Significance

According to the assessor this house was built in 1965 and it does appear that it was built before 1967 when the fire insurance map was published. Behind the house is a two car, detached garage which does not appear on this map, which probably indicates that it was built later. Even so, this house is a good indication of the continued popularity of the subtype of the Colonial Revival style, known as Georgian Revival. Georgian Revival houses can be readily identified by the side gabled, three bay façade, usually with a symmetry to the design and a pedimented entry and multipaned windows. Although this house lacks the flanking end wall chimneys of earlier Georgian Revival designs, it has all of the other characteristic features, and, in fact, is more precisely executed than designs that evolved in the late 1940s and 1950s. This example does have one uncharacteristic feature, a wide eave overhang. The house's design does blend well with other homes in the neighborhood, including the relegation of a detached garage to the rear of the property where it does not visually impact the streetscape, and only because it is not even close to being 50 years old is it not considered a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot faces southeast onto Roland Boulevard and there is a one car, concrete driveway along the east side of the lot to access the detached garage on the rear of the property. There is also a serpentine, concrete sidewalk from the front entry to the street. The ground is mounded up on the façade and slopes down to the sides, minimizing the appearance of the driveway in the streetscape.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

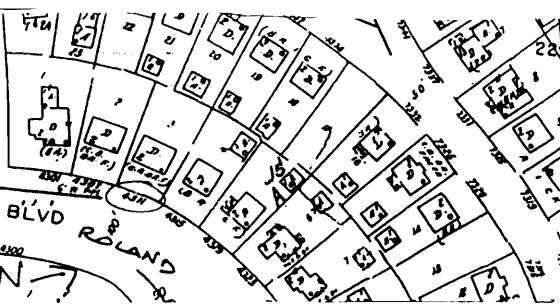
48. Date 49. Revision Dates

Sept. 2002

4307 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 -0284		4. Present Name(s) Newman, Andrew E. and Peggy A., House	
2. County St. Louis		5. Other Name(s) HISTORIC:	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4311 Roland Blvd., Lot 3, Block 15		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1967	
8. Site Plan with North Arrow 		18. Style or Design	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Newman, Andrew E. & Peggy A. - 5 Dromara Rd, St. Louis, MO 63124	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block brick faced	
		32. Roof Type, Material Gable, comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape hyphenated rectangle	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (black, red, yellow) brick has a black composition shingle roof with wider eaves and a nearly full width shed roofed, second floor overhanging porch across the façade that is supported by wrought iron posts. It has a decorative wrought iron railing as well. The façade is divided into three bays with two, 10 light, wood casement windows with shutters that look like French doors in each end bay. Below, the outer bays have triple windows with wood panels below the windows to the foundation level. Each of the windows is a 10 light wood casement. The entry is located in the middle bay and is a paired, painted, wood doors that each have one recessed panel below a large rectangular stained glass window. The north elevation has no windows, but has wood siding in the gable end. The south elevation has a brick end wall chimney with a brick banded cap and chimney pots. There is one stained glass, wood sashed window on the first floor with a another similar window on the second floor. Basement windows are also stained glass, four light windows with inoperable storm windows and metal bars. The wing on the back has 6 x 6 vinyl sashed windows on both levels. This wing appears to replace what was an open frame porch shown on the last assessor's survey. It serves as a breakfast room on the first floor and an additional bedroom on the second floor, as well as connecting to what was an older detached, two car garage that has a gabled roof facing the driveway to the north. It has a composition shingle roof and matching brick walls.

43. History and Significance

According to the assessor's records, this house was built in 1967, which is possible since it does appear on the 1967 fire insurance map. However, the back wing and garage wing are not shown on this fire insurance map, indicating that they are probably more recent additions and the assessor's files shows an opened framed porch between the garage and house when last surveyed. Survey crews thought that the back wing was actually newer than the garage, which was originally a detached garage. This house has the basic shape of many of the Georgian Revival houses in the community, side gabled with three bays on the façade, but the wider eaves and shed roofed, overhanging porch across the façade with elaborate wrought iron posts and railings, is clearly not influenced by a Colonial Revival design, making the style of this house difficult to classify. Because both its styling and age are aberrations in the neighborhood, this house cannot be considered a contributing building in the historic district, although the basic house forms fits well in this neighborhood.

44. Description of Environment and Outbuildings

This lot is basically flat and faces southeast onto Roland Boulevard with a one car, concrete driveway on the east side of the house and lot that extends back to access what was probably originally a detached garage, but is now connected to the house by a back wing. There is also a straight concrete sidewalk from the entry to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission


48. Date 49. Revision Dates

Sept. 2002

4311 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS0391 - 0287		4. Present Name(s) Kelly, Cedric A. & Meredith J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Guariglia, Charles C. and Adelaide M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4315 Roland Blvd., Lot 4, Block 15		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1932	
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Residence	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Kelly, Cedric A. and Meredith J.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, orig. slate, now comp.shingl	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, cross gabled, multicolored (red, dark brown) brick house has a dark gray composition shingle roof replacing the original slate roof, but it does retain its original copper gutters and downspouts. The foundation is rock faced ashlar limestone. The façade is divided into two primary bays, with a small side gabled, 1.5 story section visible on the south corner of the façade. The end gabled bay on the façade has a slender, rectangular attic vent with rock faced stone details near the top and as a lintel. This vent also has a faux iron balcony. Centered below is a triple, doublehung, 1 x 1 wood sashed window unit that has clustered, rock faced limestone blocks at each corner. Off-centered toward the south end of the gabled bay on the first floor there is another triple, doublehung, 1 x 1 wood sashed window, but this one has irregular stone quoining and segmental arched lintel. The other bay on the façade is created by the chimney and vestibule that overlap the end gabled bay. Behind the one story, hipped roofed section of the vestibule is the side gabled, two story wing and the interior walls at the corner created by the intersection of these two gabled wings are clad with slate. The chimney is an asymmetrical design, with sloping steps clad with stone detailing: one step on the south side at the first floor level, four others on the north corner beginning at the second floor sill line up to the upper shaft, which is banded top and bottom by rock faced stone courses and additional stone details. There is one chimney pot. The north side of this chimney overlaps the entry vestibule which has a round arched opening angled back to the entry door. The archway is framed with rock faced limestone, irregular, quoining and a limestone keystone. To either side of the entry are similarly detailed arched lintels on tiny, round arched, stained glass windows, which have rock faced stone sills as well. Above the entry arch is a small, decorative porch light which appears original and there is a S shaped tie rod end on the chimney shaft. The door is also round arched. It is a stained oak door with raised stiles and rails that form 8 panels and surround a diamond shaped stained glass light in the upper portion of the door. The entry stoop has a stone foundation with pebble stone floor and steps. There are iron railings on either side of the steps, which have been added. To the north end of the façade, there is a tall, sloped, brick wing wall capped by rock faced limestone. On the north elevation there is a one story, asymmetrical gabled bay, which appears to house the stairs to the basement given its window pattern. The first floor windows on this elevation include a stained glass, wood sashed window and a 1 x 1 sashed vinyl window. The second floor has a 1 x 1 wood sashed window and a round arched, stained glass, diamond patterned, wood framed, casement window. The south elevation has four similar stained glass windows, two of which are smaller on the first floor as well as a 1 x 1 wood sashed window and a vinyl framed, sashed window on the second floor. On the back, there are 1 x 1 wood sashed windows on both levels as well as two, stained glass, wood sashed windows on the first floor. On the back of the house is a one story, recent addition that has vinyl panel siding with triple sashed 6x 6 vinyl windows. The basement windows are hinged, 6 light, wood framed windows with opaque glass, except for one that is only 3 lights. There is a detached, end gabled, two bay, brick garage that has a matching composition shingle roof and what appears to be two replacement overhead doors. The alterations, besides the garage doors and roofing on both the house and garage, seem to be limited to the use of aluminum storm windows, and the replacement of some windows, obviously the vinyl sashed windows, but it is possible that some of the 1 x 1 wood sashed windows are also replacements as well.

43. History and Significance

Charles C. Guariglia took out a building permit for his new home on August 25, 1932. At the time, he lived at 6224 Lexington Avenue. He and his wife, Adelaide M. Guariglia would live in this house at least through 1955 when city directory research ended. He worked as a station engineer for Southwestern Bell Telephone Company. This is a nice example of a Tudor Revival cottage, with its more compact form than many of the examples in the community. It has many of the characteristic Tudor Revival details: a varied roofline, contrasting use of wall materials (brick, rock faced stone, and slate), stained glass windows, a round arched door, a variety of window shapes and a decorative wing wall. This home has a highly unusual combination of a massive decorative chimney on the façade that incorporates the round arched entry at its base. As with other homes in Pasadena Hills, the garage is relegated to the rear of the property where it has the least visual impact on the streetscape. Although the home has some replacement windows and the slate roof has been replaced with dark gray composition shingles, its distinctive styling continues to make it a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot is basically level and faces southwest onto Roland Blvd. There is a one car wide, concrete driveway along the east side of the property and house that extends back to the detached, end gabled, matching brick, two bay garage on the north corner of the lot. There is also a curved, concrete sidewalk from the street to the front entry steps.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, August 25, 1932.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

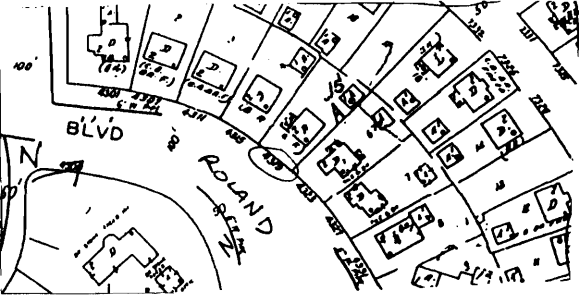
48. Date 49. Revision Dates

Sept. 2002

4315 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS0251 - 0288		4. Present Name(s) Robertson, Richard C., , Trustee, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Fienup, Emil J. and Etta M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4319 Roland Blvd., Lot 5, Block 15		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Colonial Revival-Georgian Revival	30. Foundation Material rock faced, ashlar limestone
		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
		20. Contractor or Builder	32. Roof Type, Material Gable, orig.slate, now comp.shingle
9. Coordinates Lat Long		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular +wings
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Robertson, Richard C., Trustee	36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior <input type="checkbox"/> Exterior <input checked="" type="checkbox"/> Good
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red and tan) brick house has a multicolored (orange, red, brown) composition shingle roof with copper gutters and downspouts that have been painted. The original roof was slate. The house has a rock faced, ashlar limestone foundation. The façade is divided into three vertical bays with 6 x 6 wood sashed windows with shutters in each bay of the second floor and a 8 x 8 wood sashed window with shutters in the middle and west bay on the first floor. There are continuous soldier course lintels and sills on the second floor but the first floor façade windows have capped, soldier course brick lintels and small brick sills. Below the first floor windows are decorative iron panels, reminiscent of the wood panels on older designs. The entry is located in the east bay and has brick quoining on either side of the rectangular opening and a splayed brick lintel above that is capped by the decorative metal bracket and porch light. The door is a painted wood paneled door with two vertical panels below the horizontal panel on the bottom half of the door and three long, shoulder arched leaded glass lights across the upper half of the door. There is a storm door on this entry and a simple concrete slab stoop. The east side of the house has a variety of windows, all wood framed. Two are leaded pane windows, one casement and one sashed. Another is a 1 x 1 wood sashed window and one an 8 x 1 wood sashed window. On the second and third floor there are 6 x 1 wood sashed windows. On the rear, there are paired casement, 6 light wood framed windows on the first floor and on both floors there are paired, 6 x 1 wood sashed windows. The one story, frame sunroom on the back of the house has the same 6 x 1 wood sashed windows used to enclose the porch above the wood clapboard siding and it has a side entry on the east. On the west elevation there is one window per floor, all three are 6 x 1 wood sashed windows. There is also a brick chimney on the west elevation and a two story, brick, sun porch wing. This wing has a screened porch on the first floor with two doors entering the house and the second floor is an open, roofed deck. Except for the aluminum combination storm windows and the storm door there appear to be no visible alterations to the exterior of the house. Behind the house, near the northeast corner is a two car, end gabled, matching brick and roof garage that has wood clapboard siding in the gable end.

43. History and Significance

The assessor estimated the year built on this house as 1938, which appears to be fairly accurate, since the house was listed in the 1939 directory as vacant, often an indication that it was not yet sold to the first owner, or not quite finished. By 1941, Emil J. and Etta M. Fienup had moved into the house. Through 1946, he was identified as being in the drug business in St. Louis, although he probably retired shortly after that. The couple continued to live in the house at least through 1955 when city directory research ended. This is one of the many Georgian Revival style houses found in Pasadena Hills, a style that is one variant of the Colonial Revival style. In the Fienup house, the standard Georgian Revival design has been modified by positioning the entry in the end bay and with the use of brick detailing: quoining around the entry, a splayed lintel over the door, and soldier course lintels and sills that form continuous bands on the façade. Even the unusual wood paneled door and the decorative iron work below the first floor façade windows distinguish this home from the typical Georgian Revival formula, although the house still retains the form (side gable with three façade bays), the multipaned and shuttered windows, and the modest entry design that characterize this style. This house retains a high degree of historic integrity and is especially significant since it is one of the few homes to retain the covered, second floor porch without it being enclosed with windows. It even retains the screened porch below on the first floor. Most of these two story porch wings have been modified and enclosed elsewhere in the community. Like other homes in Pasadena Hills, the garage is located at the rear of the property with the driveway cut down slightly between the yards to minimize the impact of this feature on the streetscape, despite the fact that the automobile was integral in the development of this commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically level and faces south onto Roland Blvd. There is a one car, concrete driveway along the east side of the property that extends back to the detached, two car, end gabled, matching brick garage at the northeast corner of the property. There is a short, curved sidewalk from the front entry over to the driveway.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission


48. Date 49. Revision Dates

Sept. 2002

4319 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0289		4. Present Name(s) Herndon, Darryl J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Marder, John L. and Catherine C., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4323 Roland Blvd., Lot 6, Block 15		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931-1933	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced, ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer Oliver J. Popp	31. Wall Construction concrete block brick faced
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Carl E. Lund, attributed	32. Roof Type, Material gable, slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick; half timbered stucco
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape L-shaped
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Herndon, Darryl J.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.

HISTORIC INVENTORY

42. Further Description of Important Features

This two story, L-shaped, multicolored (red, yellow, light brown) brick house has a multicolored (red, gray, brown) slate, gabled roof with painted copper gutters and downspouts. The foundation is rock faced ashlar limestone with beaded mortar. The interior of the L forms the entry porch on the east half of the façade. This porch stoop has a brick foundation and quarry tile floor, although the porch railing has been replaced with the twisted iron railings popular in the 1960s. The entry is nestled into the corner, facing the street, and next to the leg of the L, which is formed by a large, two story gabled wing. The rectangular opening is surrounded by dressed limestone which forms irregular quoining on the east side and carved to form a label mold and curved base to the lintel. The door is a stained oak, wood plank door with large strap hinges and a small rectangular stained glass light in the upper portion of the door. Above the door is a gabled wall dormer that has wood clapboard in the gable end and a leaded glass, wood sashed window. At the stair landing to the east, there is a similar window, but it has a transom and a soldier course lintel with limestone corner blocks. At the east corner of this wall, the rock faced ashlar limestone foundation extends up the wall about one-third of the height and then has other scattered stones above. The other half of the façade is the gabled end leg of the L, which is split by the asymmetrical, brick, end wall chimney that has sloped steps on either side at the base of the second floor where the wall is clad with stucco half timbering, mostly in a vertical pattern, but with symmetrical serpentine timbers on either side of the chimney. The chimney itself also has scattered limestones at the base, which emerges from the raised rock faced ashlar limestone foundation across this wall. The chimney has a corbelled brick cap with staggered chimney pots. On either side of the chimney on the first floor is a small leaded and stained glass casement window. On the east side of this wing, there is a shed roofed wall dormer that is faced with brick but has half timbered stucco for a small section on the sides. Its window is a 6 x 1 wood sashed window, like the one on the first floor below. The east elevation of the other leg of the L has a pair of 6 x 1 wood sashed windows on the second floor and a 6 light casement window as well as an 8 x 2 wood sashed window on the first floor. The west elevation has two 6 x 1 wood sashed windows on the first floor as well as a paired and a single window unit of the same configuration on the second floor. At the back of this elevation there is a bay window with 1 x 1 wood sashed windows on either side of the triple, 1 x 1 wood sashed window unit, all transomed with leaded glass in the upper sash. The back of the house has another 8 x 2 wood sashed window and a leaded glass paired casement window on the first floor as well as two 6 x 1 wood sashed windows on the second floor. There is an enclosed porch on the rear that has aluminum combination storm windows. It has been enclosed with vertical, tongue and groove board siding and has a back entry into the house. There is also a basement entry in the rear. Basement windows are 3 light wood windows. Behind the house is a two car, end gabled, matching brick garage with a slate roof. It doors face east. The only visible alterations to this house appear to be the aluminum combination and fixed storm windows and storm door as well as the replacement porch railing.

43. History and Significance

This house was designed by Oliver J. Popp, who designed at least two other houses in this community (including 7243 N. Winchester Drive and 7318 Huntington Drive), apparently with Carl E. Lund serving as the contractor and developer of these properties. The original blueprints were given by Lund's son to the current owners of his family home at 7243 N. Winchester Drive. Although the assessor estimated the year built as 1931, this address is not listed in the 1932 city directory. The next directory, in 1934 lists this as the home of Dr. John L. Marder. He was a physician and it is possible that he was not married when he bought the house since his wife was not listed until 1936 in the directory. Her name was Catherine C. Marder. Although the location of his office is not identified until the 1940s, it was located nearby at 7128 Natural Bridge Road. The couple continued to live in the house at least through 1955 when city directory research ended. This is an unusual variation of the Tudor Revival style that was the predominant house style for early Pasadena Hills homes since it is an L-shaped plan with an interior corner porch stoop that forms a front patio because of its size. In many ways, it retains a house plan that had been popular for many years, but it utilizes Tudor Revival details, such as: the combination of both shed and gabled dormers, a decorative chimney on the façade, the contrasting half-timbering, clapboard, and rock faced limestone details on what are basically brick walls, as well as a raise limestone foundation, a wood plank door, and a variety of multipaned and leaded glass windows. The use of dressed limestone around the doorway is less common than the other details and the serpentine boards that cross the vertical half timbering is also very distinctive. Although the front entry porch stoop has been altered with replacement iron railings and there are aluminum storm windows that obscure the appearance of the beautiful windows (in part because they are not painted to match the window frames and in some cases because the aluminum framing is too wide), these are minor alterations, and the house is still a contributing building in the historic district, as is the garage.

44. Description of Environment and Outbuildings

The lot is flat with the one car, concrete driveway cut slightly lower than the adjacent yards. It extends along the east side of the lot and curves in the back to access the end gabled, two car, brick garage that faces east.

45. Sources of Information

Oliver J. Popp, Architect (St. Louis) "Residence for Lot 6, Block 15, Roland, Pasadena Hills." n.d. [original construction plans]. John S. and Julie Thompson, Pasadena Hills.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

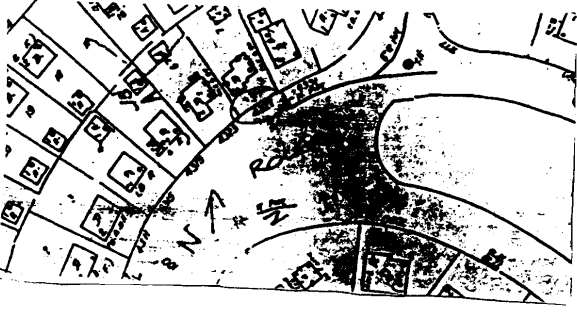
Sept. 2002

4323 ROLAND BLVD
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0290		4. Present Name(s) Coveney, Joseph Richard & Nancy Ellen, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Cooper, Robert W. and Nancy L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4327 Roland Blvd., Lot 7, Block 15		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction concrete block brick faced
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Harper and Koeln, Inv. Builders	32. Roof Type, Material gable, slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Coveney, Joseph Richard & Nancy Ellen	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Fair
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> By What? poor repointing
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.

HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, cross gabled, red and brown brick house has a gray slate roof and painted copper gutters and downspouts. The foundation is rock faced, ashlar limestone with beaded mortar and there is wavy butt, wood siding in the gable ends. The façade is divided into three vertical bays, with the cross gable wing forming the west bay. It has a 16 pane, steel casement window above a large 35 pane steel casement window. Both have soldier course lintels, but the first floor lintel also has a limestone keystone. The middle bay is actually a shed roofed, one story vestibule that continues the main side gabled two story roof above. It has a corbelled brick band near the top of its façade wall and most of the walls are clad with the elevated, rock faced, ashlar limestone foundation. This same stone also surrounds the round arched doorway. There is a small porch light to the east of the door which may be original. The door is a round arched, stained oak, wood plank door with a round leaded glass light with a spider web pattern. There is a low flagstone stoop. The east bay has a small gabled wall dormer with a 12 light, stained glass, steel casement window. The east elevation has steel casement windows on the first (12 lights) and second floor (16 lights and 8 lights) as well as two leaded and stained glass casement windows on the first floor. On the west elevation, there are two 8 light steel casements on the first floor as well as two 16 light steel casements on the second floor. On the back, there is a 6 light casement and a 12 light casement window on the first floor and as well as 12, 16, and 24 light steel casements on the second floor. There is a corner porch on the rear at the south end that has been enclosed with jalousie windows and a composition shingle roof as well as composition board siding. This porch is not shown on the 1967 fire insurance map and may be a later addition, but it does not seriously hurt the historic integrity of the house since it is not visible from the streetscape. The only visible alteration on the façade appears to be the poorly matching repointing around windows and the aluminum storm door. There is a detached, two car, brick garage behind the house.

43. History and Significance

Harper and Koeln, Investment Builders, received the building permit for this house on March 17, 1931, just 8 days after purchasing the property from Pasadena Realty (formerly Carter Realty). Their business was listed as 4505 Overbrook Drive in Pasadena Hills. Like Henry Carter, the real estate developer, these builders lived in the neighborhood and were responsible for several of its homes. They apparently bought this property as an investment and built the house, with Carl C. Koeln, the contractor, living in the house in 1932 when the city directory was published. Unfortunately, it did not sell quickly and by 1934 it was listed as vacant. By 1936, Robert W. and Nancy L. Cooper bought the house. He was a sales manager, but died shortly thereafter. His widow continued to live in the house in 1938, but by 1939, the house had sold to Oliver and Anne D. Bardon. He was the secretary for the Southwest Freight Bureau (a traffic bureau). They would continue to live in the house for at least a decade, but the first directory published in the 1950s, the 1953 directory, listed new owners, Leslie W. and Ann Ross. He was the director of the School for the Blind and by 1955, after he had died, his widow was listed as a nurse at St. Luke's Hospital. Harper and Koeln built a nice Tudor Revival cottage on this property, one that not only has the distinctive Tudor Revival features of multicolored brick, and ashlar limestone foundation, but it also has wavy butt siding in the gable ends, a one story, shed roofed vestibule as well as a large decorative chimney facing perpendicular to the vestibule on the façade and the round arched doorway. The use of multipaned, steel casement windows and the round arched, wood plank door are details found on many of the Tudor Revival houses in Pasadena Hills. Like many other homes in Pasadena Hills, the garage is located at the rear of the property, to minimize the automobile's impact on the streetscape of this commuter suburb.

44. Description of Environment and Outbuildings

The lot faces south onto Roland Boulevard and is basically flat. There is a one car driveway along the east side of the house that extends back to access the detached, two car, brick garage that faces the street at the back of the lot. There is also a curved sidewalk from the front entry to the driveway. Because the evergreen shrubbery is overgrown, it hides many of the distinctive decorative details on the façade.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, March 17, 1931.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

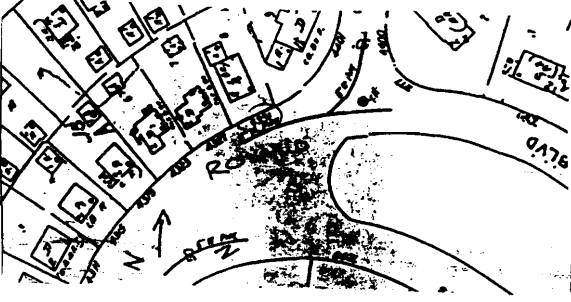
Sept. 2002

4327 ROLAND BLVD
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS0391 - 0291		4. Present Name(s) Roberts, Joyce M., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Crapp, Leverette H. and Blanche, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 4331 Roland Blvd., Lot 8, Block 15		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1933	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival influences	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Roberts, Joyce M.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry brick	
		32. Roof Type, Material Gable, orig. slate, now comp.shingl	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, multihued red brick house originally had a slate roof but that has been replaced with reddish orange composition shingles. The gutters have been painted on the boxed cornices, making it difficult to identify whether they are the original copper or not. The foundation is a rock faced, ashlar limestone with beaded mortar, that is elevated on the sides to the top of the basement windows, but is barely visible on the façade. The façade has an broad end gable spanning its with a one story, gabled vestibule with gabled porch extension in the west bay of the three bay first floor on the façade. The rectangular doorway has a painted wood six panel door with leaded stained glass in the two middle panels. The brick vestibule have small windows on each side. In front of this shallow brick vestibule, the gable roof extends out and is supported by paired corner posts. There are small friezes on each side and a basket handle arched opening in the gable end of this porch. The concrete slab porch floor has a rock faced ashlar limestone foundation with beaded mortar that extends not only under the porch but across the middle bay of the façade as well. There are stepped side walls on either side of the concrete steps on this porch, as well as iron railings (the railings are a more recent alteration). In the gable end of the façade is a half round fanlight window. Below, on the second floor, there are two symmetrically positioned 6 x 1 vinyl sashed windows that straddle the middle bay's window on the first floor, which is paired, 6 x 1 vinyl sashed windows. The east bay on the façade and the adjacent window on the east elevation are basket handle arch openings with a fanlight, leaded glass transoms above paired 8 light windows. Both these windows and the other façade first floor window have soldier course lintels with limestone keystones. There is a planter box mounted below the east bay window on the façade. On the east elevation there is a tall gabled wall dormer with a vinyl sashed 6 x 1 vinyl sashed window. There is a 1 x 1 vinyl sashed window below on the first floor and another 6 x 1 vinyl sashed window near the rear of this elevation. On the south elevation there is a large, brick, end wall chimney with a corbelled brick cap. There are additional 6 x 1 vinyl sashed windows as well as a leaded and stained glass wood casement window. On the back of the house there are more 6 x 1 vinyl sashed windows. There is a rear entry on the back of the house. The attached garage wing is positioned on the south end of the rear elevation, beyond the south elevation wall. It is a two car, brick garage with a gable that faces east. The garage appears on the 1967 fire insurance map and is probably original to the house, but there is some question about the covered front porch section, which does not appear on that map.

43. History and Significance

Built in 1933, based upon both the city directories and the assessor's records, this was the home of Leverette H. and Blanche L. Crapp. He was a physician, who died around 1938. His widow would continue to live in the house, at least through 1955 when city directory research ended. This modest design defies classification as any particular style, in part because the façade does not have the complexity of design seen on other cottages in the community. The house seems to have been influenced mostly by the popular Tudor Revival style, resulting in the baskethandle arched windows on the corner opposite the front entry. It also has a massive, brick end wall chimney with a decorative cap, another feature of Tudor Revival houses. Originally the house had a slate roof, although it has been replaced with composition shingles and some of the windows have been replaced with vinyl sashed windows, although they appear to replicate the muntin pattern of the original windows (6 x 1 sashes) since that same pattern is still in place in the attached garage wing. The front entry porch is not shown on the 1967 fire insurance map, which is known to have other errors, but not on the façade details, making it possible that the porch has been altered. Since this cannot be verified, it is assumed that this is another error, but if the covered porch is an addition, it is a major alteration that makes drastically affects the historic integrity of the façade and the house would have to be considered noncontributing to the historic district. The porch roof is well executed however, and replicates the basket handle arch of the façade corner windows and it is conceivable that it is original, although out of the ordinary for Tudor Revival designs, which usually had small masonry vestibules with stoops. This house does have an attached garage, made as a wing on the rear of the house, a common practice in Pasadena Hills where the automobile was a key factor in the development of this commuter suburb, but a feature that was usually located at the rear of the property where it did not impact the streetscape.

44. Description of Environment and Outbuildings

This lot faces south onto Roland Boulevard and has a replacement driveway, wider than normal, along the east end of the house and lot that extends back to access the attached garage that faces east on the back of the house. There is a tiered, concrete sidewalk from the front entry to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Sept. 2002

4331 ROLAND BLVD
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 -0292		4. Present Name(s) Brown, Bernard, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Harris, St. Clair M. and Pauline E., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7205 N. Roland Blvd., Lot 1, P2, Block 18		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1933-1941	
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Brown, Bernard, Trustee	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		28. No. of Stories 2	
15. Name of Established District Pasadena Hills Historic District		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material hipped with gable, slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply hipped roofed house has multihued red brick walls and a multihued gray and red slate roof with replacement aluminum gutters. The foundation is rock faced, ashlar limestone that is raised on the façade and also forms the base and half walls of the semi-circular front entry stoop. The main hipped roof spans the east two bays of the façade with the westerly bay having an intersecting hipped roof that is slightly shorter in height. The main hip is capped with a gable on the west end, probably to extend down over the back of the house. There is an intersecting two story, cross gable between these two hipped roof sections that forms a slightly projecting gabled vestibule bay. The window on the second floor vertical, 6 light stained glass window with a rock faced stone lintel. Each light of this window is separate by heavy mullions. At the base of the second floor, the brick coursing steps back, giving the appearance of a second floor overhang. The entry door is round arched with a wood plank door that has a small, round arched, stained glass light in the upper portion of the door. The door is recessed about 12 inches into the dressed stone surround that is made of blocks that are wider at the base and stair step around to the keystone of the arch. On either side of the entry there are large porch lanterns. The semicircular porch has a concrete floor and opens at an angle toward the driveway on the east with a series of steps. The bays on either side of the entry vestibule have paired 6 x 6 wood sashed windows on the second floor that have an unusual muntin pattern (two closely spaced vertical muntins near the center of each sash which is split horizontally by a single muntin). In the west bay there is an additional wood sashed, stained glass window near the gabled bay. On the first floor, the large window openings in both bays have been altered to be plate glass, picture windows. There is a broad, brick, thin end wall chimney on the east elevation and the basement windows, which are visible in the west bay are wood casement windows. There is a two story, enclosed framed porch on the west end of the house, but it is camouflaged effectively by the evergreens. It continues the stone foundation and brick walls and is enclosed with windows, but the pattern was not discernable. Although the assessor noted a two car, brick detached garage on his property, the survey crew did not find any garage.

43. History and Significance

The assessor estimates the year built as 1933, but this house does not appear in the city directory until 1941 and then it is listed as vacant, a term that is sometimes used for addresses that were still vacant lots and at other times for houses that had yet to be occupied. The first listed occupant of the house in 1943 was St. Clair M. and Pauline E. Harris. He was the sales manager for P. H. Davis Tailoring. They continued to live in the house throughout the 1940s. In the 1953 city directory, new owners are listed, Robert E. (later identified as Robert M.) Meyer Jr. and his wife, Jean. He was an employee of H. W. Pleitner Charcoal Company of St. Louis. The house is an unusual example of the Tudor Revival style, with a compound hipped roof that has a gable at the peak to extend over the back portion of the house. This hipped roof is two tiered and is intersected by a cross gabled bay on the front with an unusual stone arched entry opening that is wider at the base and stepped around the top. Although the house retains most of its historic integrity and distinctive windows, the first floor windows have been replaced with large picture windows, which are lacking the detail that obviously went with the original design and seem out of place on the house. The house also has a distinctive, semicircular stone half wall on the large entry stoop and a winding stone path along the driveway that accesses the garage in the back of the lot. As is common in Pasadena Hills, automobiles and their garages were not desirable streetscape elements, despite the fact that this was a commuter suburb in which the automobile was an essential element in its development, and efforts were made to minimize the visual impact of driveways and garages. In this case, this was achieved by making it a winding driveway, rather than straight run.

44. Description of Environment and Outbuildings

The lot is situated on the east border of the community at the entrance on the north side of the ravine and pond known as Roland Park that abuts Lucas and Hunt Road. There is a winding, one car driveway with a stone pathway along its east side. The path leads to the side of the front entry porch and the driveway leads around to the back of the house.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

Aug. 2002

49. Revision Dates

7205 N. Roland
Pasadena Hills





HISTORIC INVENTORY

1. No. <u>SLA5029 -0293</u>		4. Present Name(s) Rounds, Jay, House	
2. County <u>St. Louis</u>		5. Other Name(s) HISTORIC: Buck, Arthur Wells. and Mary K., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7247 N. Roland Blvd.; Lots 8-12; Pts 7, 13, Bl., 16		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period <u>1932</u>	
8. Site Plan with North Arrow		18. Style or Design <u>Tudor Revival</u>	
		19. Architect or Engineer <u>T.P. Barnett Co.</u>	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent <u>Residence</u>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use <u>Residence</u>	
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known <u>James H. Rounds</u>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization <u>Pasadena Hills Historic Preservation Com.</u>	
15. Name of Established District <u>Pasadena Hills Historic District</u>		27. Other surveys in which included <u>None</u>	
		28. No. of Stories <u>2</u>	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material <u>concrete</u>	
		31. Wall Construction <u>load bearing masonry 1st; frame 2</u>	
		32. Roof Type, Material <u>gabled, slate</u>	
		33. No. of Bays FRONT <u>4</u> SIDE <u>2</u>	
		34. Wall Treatment <u>ashlar limestone; half timbered stucco</u>	
		35. Plan Shape <u>T-shaped</u>	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior <u>excellent</u>	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This large, two-story, Tudor Revival house has a side-gabled, slate roof with a two-story, gabled bay facing Roland. The façade is divided into four bays. The west bay consists of a one-story, crenellated sunroom and the next bay has a hipped roof wall dormer vertically aligned with the triple casement window on the first floor level. The two-story, gabled bay comprises the next bay to the east with a second floor overhang as well as the front entry. The front door is set in an arch, with smooth-faced stone quoins topped by a triple-coursed brick arch. The east bay has windows flanking the end wall chimney that has a long, curved side that forms the wing wall next to the side gate. The first story is faced with rusticated ashlar stone. The stonework also encloses a stone terrace on the east side of the house, and a one-story, flat-roofed sunroom with crenellated parapets. The stonework rises higher on the massive chimney, up about two feet above the eaves. Above that level, the chimney continues with corbelled brickwork, topped with paired round chimney pots. The second story is faced with the stucco and half-timbering typical of the style. The slate roof rises to a high peak, with its plane broken by the chimney, by a small gable housing the master bedroom window seat, and by a much larger gable centered over the front door, housing the study. Fenestration varies across the façade, with pairs of small leaded-glass windows flanking the front door and the chimney. A very large window is centered in the gable above the front door. The lower section comprises four panels of diamond-pane leaded glass, while the upper transom comprises four smaller panels of stained glass medallions in a coat-of-arms motif. Unlike all the other windows, these are framed in wood, while the others are steel. To the west of the front door there is a triple eight-light metal casement window with two-light transoms above. This pattern is repeated in the sunroom at the western end of the house. On the second floor a triple six-light casement window with two-light transoms is set in the western gable, while at the eastern end two double six-light casements with two-light transoms flank the chimney.

43. History and Significance

Design by the renowned, St. Louis architectural firm of T. P. Barnett Company, this house was built in 1932 for, and occupied by, Arthur Wells Buck and his family. Buck had become wealthy through his business, Buck X-O-Graph, Inc., a leading manufacturer of dental x-ray equipment. Buck also served as one of the original trustees of Pasadena Hills. Buck and his descendants occupied the home continuously from its completion in 1932 until 1997, when the property was purchased by the current owner. This is an excellent example of the Tudor Revival style that was popular during the mid-twentieth century on house designs in the metropolitan area. Apropos for the suburban manor of a successful businessman, the Tudor Revival style was derivative of the styling of English manor houses. Unusual details, such as the heraldic symbols in the stained glass windows and in the tiles on the terrace, the prominent and elaborate chimney, and the combination of rusticated ashlar limestone and half-timbering, make this one of the most elaborate examples of the Tudor Revival style in the community. The Buck House is significant both for its association with Buck and his innovations in dental x-ray technology and as a design of T. P. Barnett Company. It is prominently situated in the neighborhood, on a knoll above the park and pond that are the most significant landscape features in this planned community.

44. Description of Environment and Outbuildings

Located on the west side of the intersection of North Roland Blvd. and Ravinia, the house is situated on a lot of approximately 9/10ths of an acre. It sits on a knoll overlooking a park and the city pond. The street frontage is enclosed by a stone retaining wall, and similar stone walls provide terracing at various points in the sloping lawns. A detached rusticated ashlar stone garage sits at the street, to the southwest of the house. Like the house, it has a gabled, slate roof.

45. Sources of Information

Buck, Jay. E-mail Interviews of Jay Buck, Grandson of Arthur Buck by James H. Rounds. September 29, 2001 and November 13, 2001; T. P. Barnett Company, Architects (St. Louis) "Specifications for Residence and Garage for Mr. and Mrs. A. W. Buck in Pasadena Hills, Normandy Heights, St. Louis County." March 1932; _____. [Original Construction Plans,

46. Prepared by / Organization

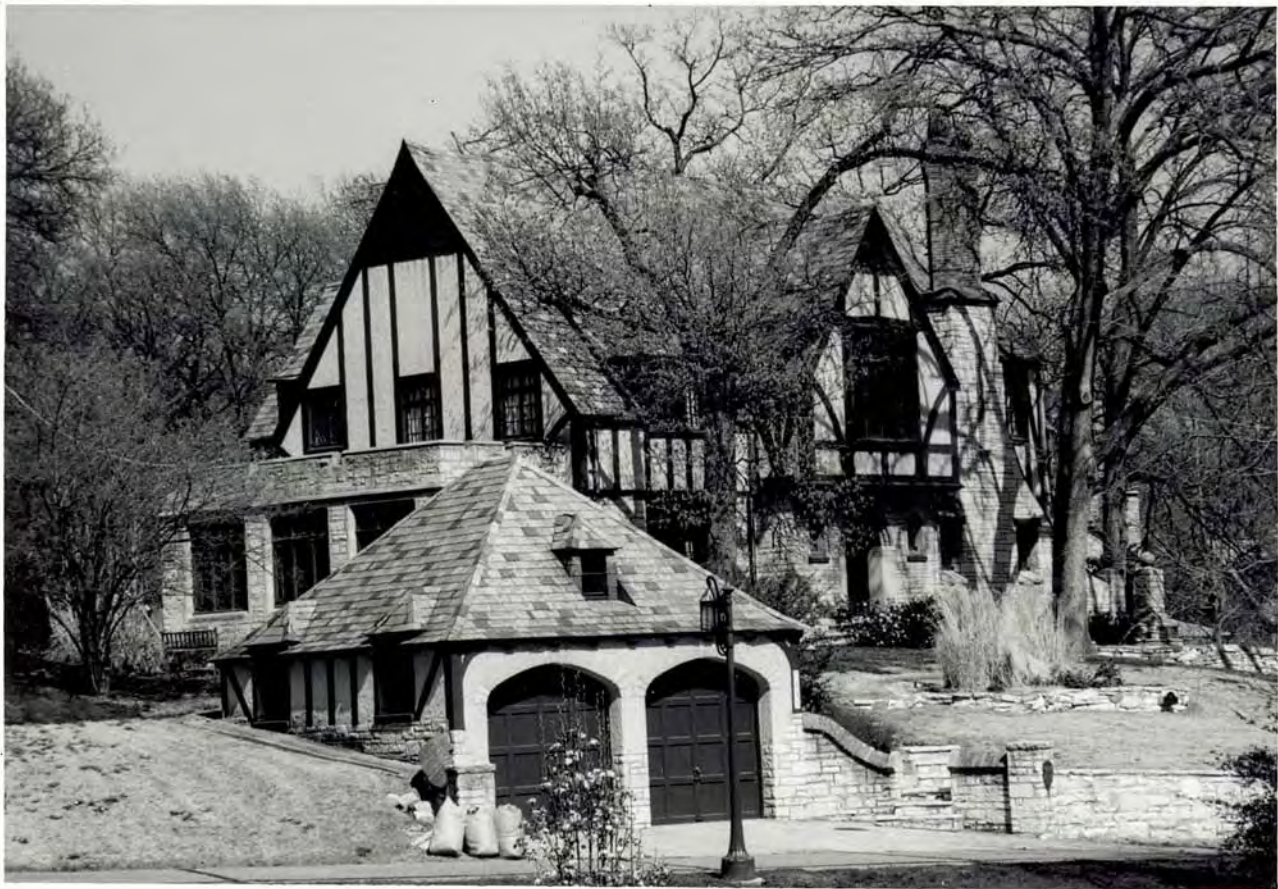
Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


April 2002

49. Revision Dates

7247 N. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. <u>SLAS039 - 0294</u>		4. Present Name(s) Houston, Lester L. & Sharon K., House	
2. County <u>St. Louis</u>		5. Other Name(s) HISTORIC:	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location <u>7255 N. Roland Blvd. -- Pts 5, 6, 7, Block 16</u>		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity <u>Pasadena Hills</u>		17. Date(s) or Period <u>1957</u>	
8. Site Plan with North Arrow		18. Style or Design <u>Colonial Revival-Georgian Revival</u>	
		19. Architect or Engineer <u>Julius E. Tarling</u>	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent <u>Residence</u>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use <u>Residence</u>	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known <u>Houston, Lester L. & Sharon K.</u>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization <u>Pasadena Hills Historic Preservation Com.</u>	
15. Name of Established District <u>Pasadena Hills Historic District</u>		27. Other surveys in which included <u>None</u>	
		28. No. of Stories <u>2</u>	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material <u>Concrete</u>	
		31. Wall Construction <u>concrete block, brick faced</u>	
		32. Roof Type, Material <u>Side Gable, gray comp.shingles</u>	
		33. No. of Bays FRONT <u>3+1</u> SIDE <u>2</u>	
		34. Wall Treatment <u>Brick</u>	
		35. Plan Shape <u>rectangular+wing</u>	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior <u>Good</u> Exterior <u>Good</u>	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red and gray brick house has a gray composition shingle roof. From the fire insurance map of 1967, it appears that the roof was probably originally composition shingles. The gutters have been replaced with painted aluminum gutters. The house façade is divided into three vertical bays with flanking end wall, corbelled brick chimneys with chimney pots on each end. The east elevation chimney is sandwiched between the main house and the two story, side gabled wing that has a continuous wall with the main façade, but a slightly shorter roofline. There is a basement level garage door on the façade of this wing, which appears to be the original wood paneled door with a row of glass panes. There are sloping retaining walls on either side of the one car driveway, but the garage is a narrow two car garage. The second floor windows of the main façade, one per bay, are shuttered, 8 x 8 wood sashed windows. The first floor windows on either side of the entry bay are 8 x 12 wood sashed windows with shutters. The entry has pilasters supporting an entablature and paired entry doors that have a brass knob near the center of each door with a panel above and below curved around the knob. The doors are painted hardwood doors and there are paired, full view storm doors protecting these doors now. The side wing has paired, 6 x 6 wood sashed windows on the second floor above paired 6 x 9 wood sashed windows, both with shutters. The side elevations, have multipaned sashed windows as well, divided into two bays on each end. In the back yard is an in-ground swimming pool with brick patio that has been added to the property. The only visible changes to the house are the use of aluminum storm windows and doors, but the paired entry doors look out of place and may be replacements, in the original opening of a sidelighted entry.

43. History and Significance

This house was designed by Julius E. Tarling, the most popular architect in the development of Pasadena Hills, and this may be the last house he designed in the community. The plans are on file in city hall. According to the assessor's records, this house was built in 1957. It is a Georgian Revival style house, which is a subtype of the Colonial Revival style, one of the most popular styles in Pasadena Hills. Although this example of Georgian Revival is not yet 50 years old, it appears that it retains most of its historic integrity and is contributing to the historic district, as one of the late examples in Pasadena Hills of Georgian Revival styling, an important element in the neighborhood's development, and as one of the last houses built in the community by the most important architect in its development, Julius E. Tarling. This house has the characteristic side gable, two story form with the symmetry to the façade, which is divided into three vertical bays and flanking chimneys with a two story side wing, which most examples in the community used. It also has the multipaned shuttered windows and the classical forms around the entry that help characterize the use of this style in the neighborhood. It is also a good example of the methods used to minimize the impact of the garages in Pasadena Hills, especially where the steeply sloping ravines meant that it was not feasible to locate garages at the back of the lot. This house has one of the basement level garages with a façade garage door and a driveway cut into the hillside with retaining walls, so that the streetscape, when viewed from an angle, barely includes the driveway or the garage doors.

44. Description of Environment and Outbuildings

The lot faces southwest onto the deep ravine of Roland Park and is itself a steeply sloping lot with the house elevated high above the street. There is a driveway from the street cut into the ground to access the basement level, façade garage door that has tall, sloping retaining walls on both sides as well as a series of steps from the base of the wall up to the front entry of the house. There is a large in ground pool in the back yard with a brick patio that was probably added to the property much more recently.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

49. Revision Dates

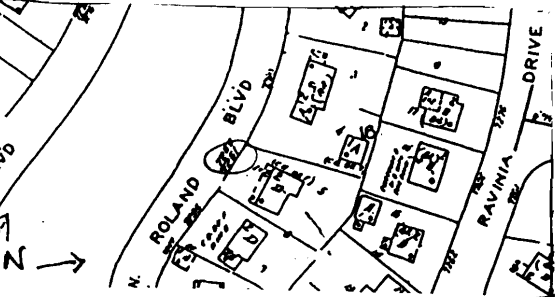
Aug. 2002

7255 N. ROLAND
PASADENA HILLS





HISTORIC INVENTORY

1. No. <u>SLAS029 - 0295</u>		4. Present Name(s) Railey, Michael & Mary, House	
2. County <u>St. Louis</u>		5. Other Name(s) HISTORIC:	
3. Location of Negatives Missouri Historic Preservation Office		6. Specific Location 7261 N. Roland Blvd. -- Pts 4, 5, 6, Block 16	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		16. Thematic Category	
8. Site Plan with North Arrow 		17. Date(s) or Period <u>1962</u>	
9. Coordinates Lat _____ Long _____		18. Style or Design <u>Neo-Colonial</u>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		19. Architect or Engineer	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		20. Contractor or Builder	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent <u>Residence</u>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use <u>Residence</u>	
14. District Potent'l? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
15. Name of Established District Pasadena Hills Historic District		24. Owner's Name and Address, if known Railey, Michael & Mary	
		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories <u>2</u>	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material gable, slate, now comp. shingles	
		33. No. of Bays FRONT <u>4</u> SIDE _____	
		34. Wall Treatment Tan and Red Brick	
		35. Plan Shape <u>L-shaped</u>	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior _____ Exterior <u>Good</u>	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled house has a flat roof, full width, two story porch roof supported by a series of 5 square columns. The roof is composition shingles, probably the original material as well and there are painted metal gutters on the house as well as an interior chimney barely visible on the ridge, off-centered to the east. The porch columns rest on a low concrete slab porch floor that extends the full width of the façade. Although the simple square columns divide the façade visually into four bays, the fenestration pattern is not directly aligned with these divisions. The entry with its pilasters and broken pediment is located in the second bay from the west and has paired entry doors that are painted hardwood, 4 panel doors with a fanlight in the top of each door. The upper level of each bay has 8 x 8 wood sashed windows with shutters, one to the west of the entry bay and one each in the other two bays, but these two are located to flank the first floor canted bay window that splits between the bays, rather than being centered in their own bay. The bay window multipaned wood sashed windows with the center one being 8 x 12, the same as the shuttered window in the first floor of the west bay. Behind the house on the north corner of the property is a side gabled, three car (2 bay), brick garage that faces the street. It was probably built around the same time, although it is not shown on the 1967 fire insurance map.

43. History and Significance

The building permit for this house was first issued on September 27, 1961 to Mr. And Mrs. Walter Duffin for a home to be built by Mr. W. P. Bundy Const. Co., but this permit was voided for some reason, and on April 30, 1962, another permit, for the exact amount (estimated cost of \$25,000), was issued, this time to William A. Ratteree. It is not explicitly stated whether he was to be the first owner or the developer or the contractor for the new house. The house is a Neo-Colonial design that loosely references Colonial Revival features with its pedimented entry, bay window, multipaned and shuttered windows, and four, two story, square "columns." Like most late twentieth century examples it does not have the symmetry to the design of the earlier Colonial Revival style houses in the neighborhood, and its colonnaded façade is not a feature found in this historic neighborhood which was mostly Tudor Revival, Georgian Revival, and Cape Cod houses, not house designs that had large front porches. Because it is less than 50 years old and because it is not consistent with earlier designs, this house is not a contributing property to the historic district.

44. Description of Environment and Outbuildings

The lot slopes uphill and faces down and southwest into the ravine of Roland Park. There is a one car, concrete driveway from the street along the west side of the house and lot to the three car, two bay, side gabled, brick garage at the rear, north corner of the property. There is a concrete sidewalk at right angles to the driveway that extends from near the top of the driveway to the front entry.

45. Sources of Information

Building Commissioner's Office. Village of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 27, 1961; Building Commissioner's Office. Village of Pasadena Hills, Saint Louis County, Missouri. Building Permit, April 30, 1962.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Aug. 2002

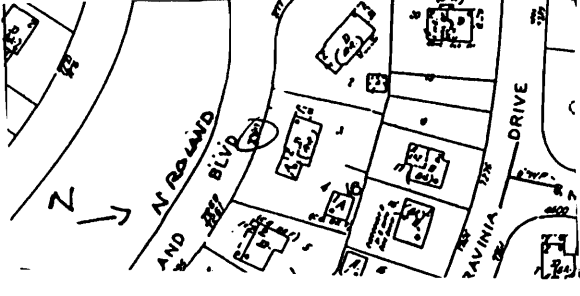
49. Revision Dates

7261 N. Roland
Pasadena Hills





HISTORIC INVENTORY

1. No. SLAS039 - 0296		4. Present Name(s) Horne, Everett A. & Phakisha K., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Sewing, Joseph H. and Ethel M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7269 N. Roland Blvd. -- Lot 3, Pts 4, 5, Block 16		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936-1937	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Horne, Everett A. & Phakisha K.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material hipped w/cross gables, concrete til	
		33. No. of Bays FRONT 4+1 SIDE	
		34. Wall Treatment Brick, Stucco Half Timbering	
		35. Plan Shape rectangular+wings	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched hipped roof house has cross gables that form a two story bay on the west end of the façade that is overlapped by another, smaller, gabled bay, in this case, a second floor overhang. The entry is located below this overhang. The fourth bay and east bay of the façade has a small cross gable. Unlike most Tudor Revival houses, this one has a tan concrete tile roof with painted copper gutters and decorative collector boxes on the downspouts. The walls are a mixture of brown brick, raised diamond patterned brick in the west gable end, and half timbered stucco on the overhanging gabled bay above the entry. Details of stone, the outer corner of the gable end on the west end of the façade as well as a stone lintel on the east end first floor window, and as a rock faced, ashlar limestone foundation that is visible across the façade, contrast with this brick. The façade is divided into four bays with the west bay having paired, 6 x 1 wood sashed windows with a segmental arched opening with a brick lintel spanning the two windows. Below, on the first floor is a quadruple casement window with transoms, each casement having 8 lights and each transom having 4. The overhanging bay above the entry has a fixed, multipaned, 20 light window. The bay is supported by beam brackets underneath and its roof has a slight overhang and decorative verge board. The entry below is an open vestibule, with a relieving arched opening and stone quoining. The door on the back side of this vestibule is also shaped with a relieving arch profile and has 8 panels on the stained hardwood door, with the second row being diamond pattern leaded glass panes. It is protected by its original wood storm/screen door (one light in the upper portion with two tall panels below). The entry floor is stone within the vestibule and there are a series of stone steps and flagstone walks that wind down the hillside to the street. The bay to the east is narrower and has a tall, stairwell, fixed multipaned window with a half round, multipaned transom that extends from the landing up onto the second floor. Below, there is a porthole window. The east bay has paired 6 x 1 wood sashed windows above a triple casement window unit (8 lights each with 2 light transoms). There is a one story, hipped roof, open porch with square corner columns of rock faced ashlar limestone on the west end of the house. There is a large, brick chimney between the main house east elevation wall and the open porch wing. There is a tiered, hipped roof wing on the east end (that is shorter than the main roof) with what was originally a two car garage on the first floor, with a paired (3 lights each), fixed casement window with a half round transom (two lights) centered on the façade. The garage door was originally on the rear, but the survey could not see this elevation clearly and it appears from the assessor sheet that this has now been converted into living space. Above, over half of the flat roofed garage wing is a hipped roofed, second floor, open porch that has wood railings and wood beam supports. There is an old brick patio in the back yard and a two car, detached, side gabled, brick garage with a man door to the east end that faces the street. There is also a short wing wall on the east end of the garage façade and at least one sashed window in the east gable elevation. It has a new overhead door and composition shingle roof. The garage is shown on the 1967 fire insurance map and does appear to be original to the house, making it a contributing building in the historic district.

43. History and Significance

The building permit for this house was issued on October 29, 1936. Although the assessor estimated the year built as 1938, it was probably finished late in 1937 since the new owners appear in the 1938 city directory. These owners, Joseph H. and Ethel M. Sewing would continue to live in the house at least through 1955 when city directory research ended. Dr. Sewing had listed his address as 6316 Emma Avenue at the time the permit was issued, but that could be either his office or their old home. He was a chiropractor in St. Louis. The house is one of the larger, more elaborate examples of the Tudor Revival style in Pasadena Hills, having many of the distinguishing features of that style, including a steeply pitched roof (in this case tile instead of the typical slate) with several intersecting gables for façade elements as well as side wings. It also utilizes a mixture of wall treatments: textured brick patterns, stone details, and half-timber stucco features. And, it has a wide variety of multipaned window shapes and types (sashed, fixed, round arched, casement). It has the characteristic arched entry vestibule and distinctive wood paneled door, as well as the winding, flagstone walk that help create the impression of a sedate country environment, like the English countryside from which this style evolved. The house appears to have had no exterior alterations and even originally had both an attached garage wing as well as a detached garage, both of which are historic and contributing to the character of the property, although the attached garage wing may now be finished interior space.

44. Description of Environment and Outbuildings

The lot is elevated from the street and faces southwest onto the ravine of Roland Park. There is a long driveway from the street on the east side of the property, back to the detached two car garage at the east corner of the property. There is also a winding, flagstone, tiered sidewalk from the street to the front entry.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, October 29, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Aug. 2002

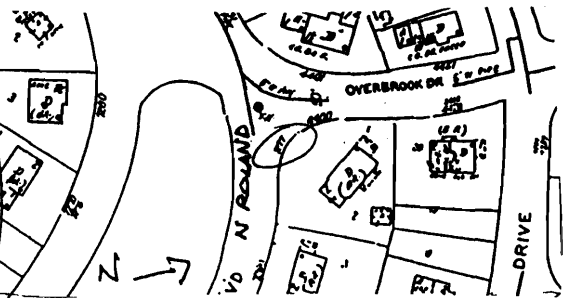
49. Revision Dates

7269 N. Roland
Pasadena Hills





HISTORIC INVENTORY

1. No. SLAS039 - 0297		4. Present Name(s) Thompson, Victor B. & Nancy H., House	
2. County St. Louis		5. Other Name(s) HISTORIC: O'Connell, Leo A. and Rosalie C., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7277 N. Roland Blvd. -- Lot 12, Block 16		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930-1932	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	30. Foundation Material Stone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Side gable, gray slate
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 1+5+1 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular+wings
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Thompson, Victor B. & Nancy H.	36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This steeply pitched side gabled, red and gray brick house has a gray and tan slate roof with boxed cornices with modillions and copper gutters with collector boxes on the downspouts. The house has brick quoins on all corners. There are flanking end wall, broad, brick chimneys with corbelled caps and 3 chimney pots each. The façade is divided into five vertical bays and there is also a two story, matching masonry (slate roof) side gabled wing on the south end of the house. The entry is located in the middle bay and has an entablature with a steep swans neck pediment above the porch light (lantern style) that spans the transomed, sidelighted entry. The sidelights and transoms are ornate, leaded glass windows and the door is a heavy, stained hardwood, seven panel door (one horizontal lower panel). The entry slab is concrete with a flagstone walkway and steps from the street up to the stoop. Each bay on the façade has shuttered, 1 x 1 wood sashed windows with aluminum combination storm windows. The four first floor windows have brick, splayed lintels with keystones, but the second floor windows share the cornice board as a lintel. The two story wing on the south sandwiches the end wall chimney next to the house and has another 1 x 1, shuttered, wood sashed window on the second floor above a round arched opening with a fanlight transom and paired, multipaned French doors on the façade as well as the south side, that appear to be painted shut and do not have a patio or landing outside the doors. The rock faced, ashlar limestone foundation is only visible on the back of the house. The original one story framed porch on the north end of the house has been replaced within the last 10 years by a one story, flat roofed, wide eaved, lighter brick family room with only one sashed window on the façade. At the back, east corner of the property is a detached, two bay, end gabled, brick garage with slate roof and original overhead doors that face Roland to the south. The sashed windows on this house seem to be replacements since it is highly unusual for Georgian Revival houses not to have multipaned windows, especially given the elaborate detailing elsewhere on the house, but these are wood sashed windows with aluminum combination storm windows, making it appear that these were installed, if they are not original, before double paned glass became a popular option. The only other alteration is the nonconforming family room added where there used to be an open porch on the side of the house and given the corner location of this house, this is a highly visible alteration, one that does not blend well with the stylistic features of the historic house. However, given the size and detail remaining on the historic house, the house and garage are both still contributing buildings in the historic district.

43. History and Significance

The assessor estimated the year built as 1930, which may be fairly accurate since this is one of the few houses in Pasadena Hills to be listed in the 1932 city directory (none were listed prior to 1932). It was originally the home of Leo A. and Rosalie C. O'Connell. His occupation was not listed and he died within years of moving into the house. By 1936, Rosalie O'Connell is listed as a widow. She continued to live in the house at least through 1946, but with the publication of the 1949 city directory, new owners now resided in the house. Dr. William E. and Lowella Moore were listed in the house. He was a physician whose business address was initially identified as 7301 Natural Bridge Road, but was later listed at 7315 Pasadena Blvd., both nearby offices. This is one of the more elaborate examples of the Georgian Revival style, a variation of Colonial Revival. It has the characteristic side gabled form, but has five bays instead of the common three bays on the façade. It also has massive, brick chimneys at each end with triple chimney pots and it has an original, two story, wing on the south that has a fanlighted, French door opening. The most distinctive features however, are the pedimented entry with the elaborate leaded glass sidelights and transoms, the modillions on the boxed cornice along the roof, the brick quoining at the corners, the splayed and keystoned lintels, and the shuttered windows. However, the house has had some apparent alterations since the 1 x 1 sashed windows would appear to be an obvious replacement given the complexity of the design which normally has multipaned sashed windows even on simpler examples of this style and the one story open frame porch wing on the north has been replaced within the last decade with a non-matching, one story, flat roofed addition that is jarring to the appearance of this stately Georgian Revival home. Even so, because of the scale of the house and its remaining elaborate, historic details, it is still considered a contributing building in the historic district. As was common in Pasadena Hills, the garages were a necessity, but not one that was desirable as a streetscape element and as consequence, the detached garage is located at the back corner of the property, but in this case, two driveways are cut into the elevated lot, one from each street, that meet in the back by the garage, since this house is angled at the corner of North Roland Boulevard and Overbrook Drive.

44. Description of Environment and Outbuildings

This is a large corner, double lot and the house is angled to face the corner where N. Roland Boulevard and Overbrook Drive meet at the head of the ravine that creates Roland Park to the east. This is also the intersection where Roland Boulevard splits around the park to become North and South Roland Boulevards. There are two driveways, cut into the elevated lot, along both side lot lines, entering from both streets and meeting in the back yard by the detached, two car, end gabled, matching brick, slate roofed garage that retains its original doors. There is also a sidewalk that curves up from the street, near the corner, to the front entry. Midway, there is a sundial on a pedestal in the middle of the sidewalk, which is hard to date.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Aug. 2002

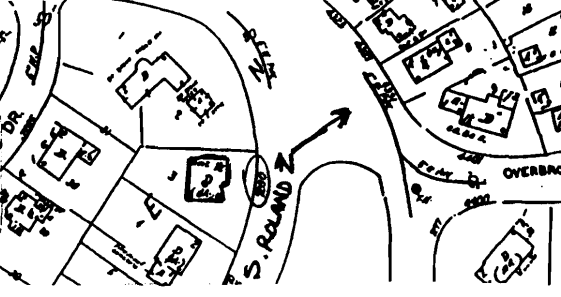
49. Revision Dates

7277 N. Roland
Pasadena Hills





HISTORIC INVENTORY

1. No. SLASO39 - 0298		4. Present Name(s) Wilson, Alvin J. & Carol A., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Dohrmann, Charles, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7280 S. Roland Blvd. -- Lot 3, Pt 4, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1933	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Wilson, Alvin J. & Carol A.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hip on gable, gray slate	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Brick with Stone	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, hipped roof house has a large cross gable on the north half of the façade as well as hipped dormers next to the cross gable and on the south elevation. There is another cross gable on the north side of the house that is split by the large, brick, end wall chimney. The roof is gray slate, the walls are red and tan textured brick, and the raised foundation is rock faced ashlar limestone. The façade is divided into two primary units, with the cross gabled north half having a one story, overlapping, projecting vestibule on its south end, near the center of the façade. This gabled vestibule has a scalloped verge board with decorative rafter tails and wider eaves than most of the house that are supported by decorative beam brackets near each end at the ridge. The wall of the vestibule has a decorative diamond patterning to the brick and a round arched doorway that is outlined by a brick lintel with stone bases and keystone. Flanking the doorway are narrow, rectangular, stained glass, diamond pattern windows with stone sills and brickwork lintels that extend part way down the sides. The round arched, hardwood, plank door has a rectangular, diamond pattern, leaded glass light in the upper portion of the door and an original wooden storm door. There is a very shallow entry porch with a red tile floor and brick half-wall railings sharing the raised limestone foundation. There is a long series of wide steps with brick half wall railings with a smooth concrete cap. The north side of the cross gabled bay has a large fanlight transom above two pairs of multipaned casement windows. The fanlight has beveled leaded glass and the window forms a basket handle arched opening outlined by rock faced stones laid in an irregular edging. It also has a stone sill. Below this window are two of the tall, basement level casement windows. The end of the gable has another beam bracket like the vestibule and there are stones from the foundation emerging up the corner of the brick wall. On the second floor there is a triple, diamond pattern, stained glass, casement window with a brick round arch with keystone centered above, referencing Palladian style windows. The south half of the façade has a hipped dormer near the cross gable that has paired, 1 x 1 wood sashed windows above a sashed window on the first floor. To its south is a small triple casement with multipaned leaded glass. On the south end are paired 6x1 wood sashed windows above another basement level casement window unit. These basement level windows extend to the division between the stone foundation walls and the brick walls of the house. On the north elevation there are two additional distinctive windows, leaded glass with beveled glass transoms. If the 1967 fire insurance map is correct, the original garage was in the basement of the main house, but now there is an attached two car, basement level garage below an enclosed sun porch wing on the back south end of the house. It actually appears to be original to the house and retains its two original doors.

43. History and Significance

The building permit for this house is one of the oldest in the city, issued on June 9, 1933 to Herman Dohrmann of 3964 Natural Bridge Road. The first occupant of the house listed in the city directory in 1934 was Charles Dohrmann, but with the next city directory, Hattie C. D. Peters is listed as the owner. Weirdly enough, Charles Dohrmann is now listed at 7280 W. Roland (there is not a W. Roland), an obvious error on the part of the directory publishers. It appears that Charles Dohrmann was a relative of the developer or builder of the house, but that has yet to be verified. Hattie Peters, however, was the first long-term occupant of the house and for that reason the historic name of the house is associated with her. She is one of a number of female head of households who purchased homes in Pasadena Hills, lured by the promotional information that recommended the development as a safe, clean, healthy, pastoral environment. Hattie Peters continued to live in the house at least through 1943 but the next directory was not published until 1946, by which time Willis G. and Luella A. Ehrhardt had purchased the home. He owned Ehrhardt Tool and Machine Company. They continued to live in the house through the 1940s, but by 1953 a new owner is listed, Laddie and Dorothy B. Hamilton. He was president of Ozark Air Lines, a regional air carrier that grew in popularity after the war. This is one of the more interesting Tudor Revival cottage designs, with a complex roof of intersecting hipped and gabled roofs and a variety of decorative details, including the stonework on the brick walls, the bracketed gable ends, a scalloped verge board, a fanlight window, a round arched doorway, and a variety of window types and shapes. The most distinctive feature of this house was provided by the steeply sloping lot which resulted in a long series of steps up to the entry, a rarity in Pasadena Hills, where most entry stoops are near grade. The house also has a back entry into the basement level garage, a popular feature in Pasadena Hills to minimize the impact of this feature on the streetscape.

44. Description of Environment and Outbuildings

The lot is steeply sloped uphill toward the back of the property and faces northeast onto the curve and head of the ravine of Roland Park where Roland Boulevard separates around the ravine to become North and South Roland Boulevard. There are tall stone retaining walls on the driveway which extends along the south side of the lot and around to the basement level, two car garage attached on the rear. There is a winding concrete sidewalk from the driveway up to the steps on front and another retaining wall on the north side of the property.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, June 9, 1933.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

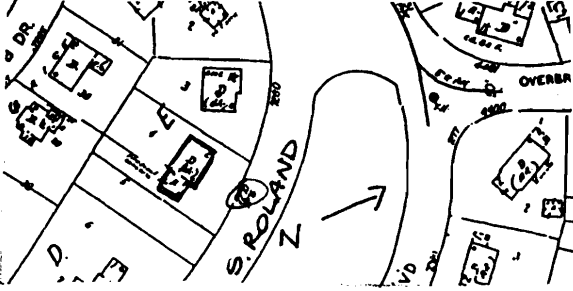
Oct. 2002

49. Revision Dates

7280 S. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. SLHSC 39 - 0299		4. Present Name(s) Zagurski, Alan G. & Sally E., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Duncan, Horace and Rose, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7270 S. Roland Blvd. - Lot 5, Pts 4, 6, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Nolan Stinson, Designer & Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Zagurski, Alan G. & Sally E.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Cross gable, gray slate	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment Brick & some wood siding	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, brown and tan brick house has flanking end wall brick chimneys with corbelled caps and paired chimney pots. The roof is multihued gray slate and the house has painted copper gutters and downspouts. The foundation is a rock faced, ashlar limestone, but it is only visible next to the garage wing on the façade. The façade is divided into three vertical bays with the middle and north bay having cross gabled roofs, and the north roof being taller. On the south end of the house is a side gabled, one story, matching brick, sun porch with a basement level garage that has a new overhead, two car door on the façade. There are rock faced, ashlar limestone, tiered retaining walls on either side of the driveway to the garage. The main entry is located in the middle bay and has a relieving arched opening that has rock faced stone quoining and lintel that provides access to the deeply recessed entry door that is Tudor arched. It is a stained hardwood, six panel (around two hexagonal panels, the top one being a beveled glass window) door and it has a 12 light, wooden, Tudor arched storm door. There is a flagstone walk and series of steps that tier down the hillside in a winding pattern from the front entry to meet the head of the driveway. To each side of the entry are slender rectangular windows of stained glass. Above the entry is a triple casement window with beveled glass and 4 light leaded glass transoms that are separated by heavy mullions. There is patterned brickwork in this gable end, just as there is in the gable end to the north. This north bay has a slender attic window above the paired, 3 x 1 wood sashed windows. Below, there is a large canted bay window with a slate roof and brick walls below the windows. There are two pairs of casements on the face of the bay with paired 6 x 1 wood sashed windows on each side, all with transoms. The south bay has paired, 3 x 1 wood sashed windows as well on the second floor above two pairs of casement windows with vertical light transoms separated by heavy mullions. The one story, side gabled wing has two sets of paired, sashed windows separated by brick piers above the brick half walls. The south elevation has two sets of three sashed windows clustered together similarly. The gable end is wood clapboard. The enclosure of the sunroom may be a later alteration but it is identified as enclosed on the 1967 fire insurance map and it retains much of its transparency with the sashed windows between the brick piers. The only other alterations appear to be the aluminum storm windows and the newer garage door.

43. History and Significance

The trustees of Pasadena Hills issued Mr. N. Stinson of 34 Fair Oaks the building permit for this house on May 14, 1936. He was both the designer and builder of this house. The first owners are listed in the next city directory, 1938, as Horace and Rose Duncan. He was president of Sterling Aluminum Company in St. Louis, a manufacturer of aluminum products. They would continue to live in their new home for many years, at least through 1955 when city directory research ended. This Tudor Revival house was designed to reflect the country manor houses of England and is one of many Tudor Revival houses in Pasadena Hills, but this is one of the larger, more stately examples. It has the characteristic steeply pitched slate roof with intersecting, asymmetrical gabled bays, as well as the contrasting use of brick, wood siding, and stone. It also has a wide variety of window forms, from sashed to transomed casement and even a large bay window and some are beveled, leaded glass. The front entry has unusual relieving arched stone opening with a deeply recessed Tudor arched door that is quite distinctive and it has a large side wing with a basement level garage that is accessed from the façade with a driveway flanked by stone retaining walls that minimize the visibility of the driveway in the streetscape, an important consideration in the development of Pasadena Hills, where the automobile was an important element in the suburb's development, but not a desirable façade feature. This house also has the long, winding, tiered sidewalk that also reinforces the concept of a country home.

44. Description of Environment and Outbuildings

The large double lot faces east near the head of the ravine that creates Roland Park and the house is built on the north lot, creating a large side yard to the south. The lot is elevated from the street and there is a driveway flanked by tiered, ashlar limestone retaining walls that accesses the façade entry to the basement level garage. There is a tiered, winding, flagstone sidewalk that leads to the front door from the base of the driveway. On the back of the house is a large concrete slab patio, that appears to be newer.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, May 14, 1936; Zagurski, Alan G. and Sally E., Private Collection, Pasadena Hills, Missouri Blume, [Nolan Stinson, "7270 S. Roland, Pasadena Hills." [blueprints] n.d.].

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Oct. 2002

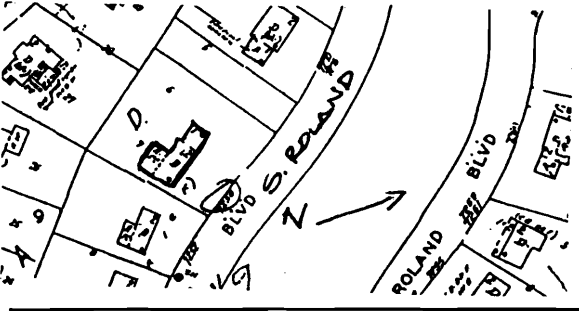
49. Revision Dates

7270 S. Roland
Pasadena Hills





HISTORIC INVENTORY

1. No. SLASC29 - 0300		4. Present Name(s) Uthoff, Gary S., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Klein, Harry A. and Rita, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7256 S. Roland Blvd. -- Pt 6, Lot 7, Pt. 8, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder L. Hunicke	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Uthoff, Gary S., et.al. J/T	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hipped, gray slate	
		33. No. of Bays FRONT 5+2 SIDE	
		34. Wall Treatment Brick and Limestone	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, L shaped, hipped roof house has tan and red brick walls with a multihued gray slate roof and copper gutters. The façade is divided into five vertical bays in addition to the two bays on the one story, flat roofed sun porch wing. The south bay steps out from the main façade slightly with a hipped roof in line with the main roof and has paired, 4 x 1 wood sashed windows above a large, canted bay window with a slate roof that is suspended from the façade wall. The bay window has paired 12 x 1 wood sashed windows flanked by 12 x 1 wood sashed windows. The next bay to the north is the entry bay, which is also tiered out from the bay to its north slightly. It has an elaborate basket handle arched window with a brick lintel that terminates with stone details. The window is divided into three units, each a leaded and stained glass window with a transom, that is separated by heavy muntins. The door has a elliptical arched, stone lintel and rock faced ashlar stone quoining around the entry, which is a stained, hardwood, 12 panel door that has a leaded glass light in the center panel of the second row. Above the door is the original ornate porch light. The entry stoop is a simple concrete stoop which retains its original iron railings (a rarity in Pasadena Hills). The next two bays are split by a large brick end wall chimney with a corbelled cap. On both levels, there are 12 x 1 wood sashed windows. The north bay of the main façade has paired 12 x 1 wood sashed windows on the second floor above a paired casement window that matches the casements in the sun porch wing to the north. Each casement is 8 lights with a 4 light transom. Besides the pair of casements next to the main façade, the sun porch has a double, paired casement window which is mirrored by adjacent set on the north elevation. This sun porch wing has a pierced brick parapet railing for the rooftop deck and is surrounded by a slate, mansard roof at the top of the windows that has enclosed, wide eaves. On the north elevation, both midway across the elevation and at the back corner there are rectangular brick buttress walls under this eave line. On the south elevation, there is another end wall brick chimney with corbelled cap that is flanked by sashed windows on both levels. On the back, there is a one story, two car attached garage wing nestled on the interior of the L shaped floor plan that has its doors facing the north side. There is also a stone patio with walls and a fountain that appear to be original to the house. The only visible alterations to the house appear to be the metal chimney caps, the full view aluminum storm door and the aluminum storm windows.

43. History and Significance

The building permit was issued to L. Hunicke on January 18, 1936 and the assessor identifies the year built as 1936, but it was not finished in time to be listed in the 1936 city directory. It was listed in the next directory as the home of Dr. Harry A. and Rita Klein. He was a physician with offices in St. Louis. They continued to live in the house for many years, at least through 1955 when city directory research ended. L. Hunicke was either the developer of the property or the builder, but it is not clear which. This is a large, Colonial Revival style house in a form that is not as common in Pasadena Hills as the Georgian Revival variant that utilized side gabled roof form. The Klein House has intersecting hipped roofs instead. It also has many of the features popular in Colonial Revival houses of that era, multipaned windows, leaded and stained glass windows, a bay window, a paneled wood door with a simple stoop, and a one story side wing, in this case with a rooftop deck.

44. Description of Environment and Outbuildings

The lot faces east onto the ravine near the top of Roland Park and is elevated above the street, sloping uphill to the back. There is a driveway cut into the ground along the north end of the lot that extends to the north facing, attached garage on the rear of the house. There is a long, tiered sidewalk to the front door.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, January 18, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


Oct. 2002

49. Revision Dates

7256 S. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0301		4. Present Name(s) Littles, Frank & Dew D., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Jones, Fred C. and Agnes Z.	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7252 S. Roland Blvd. -- Lot 8, Pt. 9, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Littles, Frank & Dew D.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hip, gray slate	
		33. No. of Bays FRONT 3+1 SIDE	
		34. Wall Treatment Brown Textured Brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched, side hipped roof house has multihued brown textured brick walls with a multihued gray slate roof and painted copper gutters. The foundation is rock faced, ashlar limestone, although that is not visible on the façade. The L-shaped house has a three bay façade, plus a one story, hipped roof masonry wing on the north end of the house. The center bay is a projecting hipped roofed, two story bay with two small 1 x 1 wood sashed windows in the upper portion of the second floor. This wall of this bay is clad with contrasting horizontal brick banding and there are two diamond shaped dressed stones inset below the second floor windows and a wide dressed stone band separates the first and second floor façade of this bay and serves as the lintel for the entry. The door is rectangular, slightly recessed in the opening and is a 12 panel, stained hardwood door. There is a flagstone stoop with rock faced ashlar limestone base and flagstone steps, but large overgrown hedges hide the lower façade, making it difficult to determine whether or not the original railing is intact or not. To the south, the bay has paired 6 x 1, wood sashed windows on the second floor above a very wide, bow front, bay window with a hipped slate roof and brick walls below the windows, which are now 5 vertical lights. To the north, the bay also has paired 6 x 1 wood sashed windows on the second floor, but on the first floor there are two casement window units, near each edge of the bay. Each unit is paired, 4 x 6 casements. On the north elevation is the one story, hipped sun porch wing that appears to be original to the house, even though it is not clearly identified on the fire insurance map. It has paired 1 x 1 wood sashed windows on the façade. There are flanking end wall chimneys. On the back, the interior of the L contains what appears to have originally been a two car garage on the first floor, but it is now enclosed as living space with glass blocks and a door. The only other alterations appear to be the replacement windows in the bay window, and the use of fixed aluminum storm windows and an aluminum storm door.

43. History and Significance

The assessor estimated the year built as 1936, which appears to be fairly accurate since the house was not finished when the canvassing was completed for the 1936 directory, but was listed in the next directory, in 1938 as the new home of Fred C. and Agnes Z. Jones. He was originally identified as being in the wholesale fruit business in St. Louis, later as a commercial merchant, then salesman for Schaper Products. The couple continued to live in the house at least through 1949 when they are still listed in the city directory. By 1953, when the next directory was published, new owners had moved into the house, John S. and Therese Roberts. He was a supervisor for Woolworth's in St. Louis. This is an interesting design that interprets the Colonial Revival style with modern stylistic details, especially on the entry bay where the upper portion of the façade wall has contrasting horizontal banding of brick and even a broad stone course separating the first floor and second floor. Otherwise, it still reflects the characteristics of the hipped roof form of the Colonial Revival style, with the characteristic multipaned windows and even a large bay window on the façade. Like other houses in this neighborhood, the garage wing was attached to the back of the house to minimize its visual impact on the face, but it appears that that has been converted into additional living space now with glass blocks.

44. Description of Environment and Outbuildings

The lot faces east onto the ravine near the top of Roland Park and is slightly elevated from the street. The driveway is cut into the north side of the lot to extend back to what was originally a rear garage wing that faced north. It appears that the split faced block retaining walls were recently rebuilt on either side of the driveway and there is a series of steps and curved sidewalk to the front entry from the upper portion of the driveway. There is an old stonework patio in the back.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

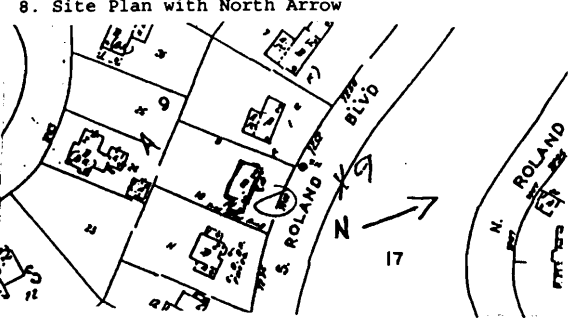
Aug. 2002

49. Revision Dates

7252 S. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. <u>SLAS039 - 0302</u>		4. Present Name(s) Blume, Jeffrey B. & Sharon L., House	
2. County <u>St. Louis</u>		5. Other Name(s) HISTORIC: Surkamp, Henry S. and Jeannette, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7242 S. Roland Blvd. -- Pt 9, 10, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period <u>1937-1938</u>	
8. Site Plan with North Arrow 		18. Style or Design <u>Tudor Revival</u>	
9. Coordinates Lat Long		19. Architect or Engineer <u>Bernard T. Hensgen</u>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent <u>Residence</u>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use <u>Residence</u>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Blume, Jeffrey B. & Sharon L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories <u>2</u>	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, gray slate	
		33. No. of Bays FRONT <u>1+3</u> SIDE	
		34. Wall Treatment clinker brick, rock faced limestone	
		35. Plan Shape <u>asymmetrical</u>	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior <u>Excellent</u>	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, brown and red clinker brick house has a gray slate roof and retains its original, unpainted copper gutters. The façade is divided into three vertical bays and there is a one story, clipped side gabled, matching brick sun porch wing on the south end of the house that has a two car, basement level garage which retains its original overhead, wooden garage door on the façade. There are rock faced ashlar limestone, tiered retaining walls on either side of the one car driveway. The center bay of the façade projects slightly and has a shallow hipped roof. On the second floor it has a triple window unit of casements with transoms, all leaded glass and with heavy muntin bars. The second floor has a decorative brick pattern and forms a slightly projecting, flat, overhanging bay that is stepped in from the corners of this vertical two story bay. On the first floor, the entry walls are clad in rock faced, ashlar limestone around the rectangular recessed doorway. The door is a stained, hardwood, plank door with strap hinges and a small, rectangular stained glass window. The porch light above the stone surrounding the doorway appears to be the original lantern. There is a low, stone entry stoop. To the south, this bay has a clipped cross gabled roof and the gable end has a decorative diamond pattern of rows of projecting bricks. The second floor window unit is paired, 6 x 1 double hung wood sashed windows with a basket weave brick lintel. The window opening below on the first floor is a triple, 6 x 6 wood sashed window with leaded, transoms and spanned by a lintel. The bay to the north has another paired, 6 x 6 wood sashed window unit on the second floor and another triple, 6 x 6, leaded glass, wood sashed window unit with transoms on the first floor, but this window has a large rock-faced stone lintel. On the north elevation there are windows, vertically aligned on either side of the end wall, tapered, brick chimney that has decorative rock faced stones at both joints in the shaft and it has a corbelled brick cap. In front, there is a brick wing wall. On the family room, sun porch wing on the south, there is a large window opening that has wood shingle siding around the four, diamond lighted, casement windows. This has a connecting beams lintel with stone lugs. This is flanked by what appear to be single fixed, vertical windows. The south elevation of this wing has another large window opening with a series of casements and it has a clipped gable end with wood shingles in the gable end. There is a narrow, stone wing wall as well. Above, the south elevation has two sashed windows on the second floor. The only alterations to the house appear to be the full view aluminum storm door protecting the stained hardwood entry door and the fixed, metal storm windows, although the enclosure of the sun porch may not be original, it was enclosed prior to the publication of the 1967 fire insurance map.

43. History and Significance

This distinctive Tudor Revival house was designed by Bernard T. Hensgen, a St. Louis architect. This appears to be the only commission he had in the community. The plans were finished on January 23, 1937 and work probably began shortly after, but the assessor identified the year built as 1938, indicating that it was probably finished early in 1938 since it was listed in that year's city directory. This house became the home of Henry S. and Jeannette Surkamp. He was president and treasurer of H. B. Surkamp Company at the time, a position he retained through 1953. By 1955 he was president of the First National Bank of Wellston, another suburban community of St. Louis. The house is an unusual example of the Tudor Revival design, with clinker brick walls and an unusual combination of a two story clipped gabled bay next to a shallow hipped, two story vestibule. The house utilizes a variety of decorative details associated with Tudor Revival designs, including the diamond patterning in the brick, the contrasting use of rock faced limestone around the entry, the multipaned windows, the use of casement and wood sashed windows, leaded glass windows, and a wood plank door. This variety in the roofline, masonry, and window patterns are distinctive Tudor Revival features. The house also has a two car basement level garage, in this case under the sun porch wing, a feature often found in Pasadena Hills, but it has a façade garage door unlike most others in the neighborhood where garages were usually associated with rear entries, to minimize the impact on the streetscape of this necessity in a commuter suburb. On this house, the impact is minimized by cutting the driveway into the ground with retaining walls.

44. Description of Environment and Outbuildings

The lot faces east onto the ravine of Roland Park, but the facade is slightly elevated from the street with a one car driveway on the south end of the property to access the façade level door to the basement level garage under the sun porch wing. There are stone retaining walls on either side of the façade garage door.

45. Sources of Information

Blume, Jeffrey and Sharon. Private Collection. Pasadena Hills, Missouri [Bernard T. Hensgen (St. Louis), "H. S. Surkamp S. Roland Drive, Pasadena Hills." [blueprints] January 23, 1937.].

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

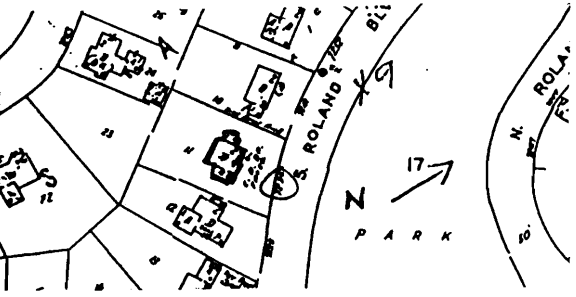
Aug. 2002

49. Revision Dates

7242 S. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0303		4. Present Name(s) Irvin, Dorothy L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Guenther, Ella C., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7236 S. Roland Blvd -- Pt 10, Lot 11, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1954	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Irvin, Dorothy L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block. brick faced	
		32. Roof Type, Material Gable, comp.shingles	
		33. No. of Bays FRONT 3+1 SIDE	
		34. Wall Treatment Brick; wood clapboard	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red and gray brick house has a gray composition shingle roof that appears to be a replacement of a similar original roof material. It has aluminum gutters and two end wall, brick chimneys flanking the north gable end. There is a cross gabled, slightly projecting, two story entry bay centered on the façade which is divided into three vertical bays. To the north, there is a one story, side gabled, framed sun porch wing. Above the entry is a single sashed 1 x 2, narrow window that has dressed stone quoins and a stone, keystone lintel. It appears that the house may have originally had an iron balcony (similar to others in the neighborhood), given the shadow on the brick below this window, but it is missing. If so, it would have an iron railing like that that is still surrounding the concrete entry stoop (a rarity to be still intact in Pasadena Hills). The entry also has dressed stone quoining and a stone entablature around the door, which is a unique, stained hardwood door that has a circular panel in the middle of the door with a large panel below that echoes the circular in its inverted arched top, as does the shallow leaded, stained glass light above. To the south, there is a one car, garage on the first floor that retains its original wood over head door with lighted panels forming a horizontal band across the door. Above, the second floor sun porch has a large 5 casement window that spans between the brick corner piers. These casements have 5 lights each. To the north of the entry bay the paired second floor windows are 4 x 4 wood sashed windows (with horizontal lights like all other windows on the house). Below, there is a canted bay window with a 6 x 9 wood sashed window flanked by 2 x 3 wood sashed windows. There are vertically aligned sashed windows in front of the front chimney and side gabled porch wing. The gable end of the porch wing, like the south gable end, is clad with wood clapboard. It is basically a framed structure on a concrete floor that has been enclosed with glass, two pairs of tall lights with a transom on each face of the porch, which appear to be sliding glass patio doors. Although this enclosure is a later enclosure, it was probably screened originally, and the glass maintains much of the transparency of this porch.

43. History and Significance

Built in 1954, according to the assessor, house was designed by Julius E. Tarling, a popular architect in Pasadena Hills, throughout the community's development. The plans are on file in city hall. The house is listed in the 1955 city directory as the home of Ella C. Guenther, an office secretary for Mercantile Trust Company in St. Louis. It is unusual to find female head of households even in the early 1950s, but there are several original homeowners in Pasadena Hills who were women, apparently attracted by the promotional efforts of a clean, safe, pastoral setting. Tarling designed a nicely composed Colonial Revival house, of the form known as center gabled, for the two story gabled bay that projects slightly from the side gabled house. It utilizes not only a form found on Colonial Revival style houses, but also many of the features that were commonly found on post-war examples: a one story porch wing on the side, a large bay window, a second floor sun porch, and a garage incorporated into the main house with a façade garage entry. It also used the characteristic end wall chimneys, dressed stone quoining, and an entablature on the entry, all common Colonial Revival details, but the detailing on the porch's iron railing and the horizontal lights in the windows, as well as the circular panel in the front door are all modernistic details. The distinctive iron porch railing is one of the rare examples of an intact porch railing in Pasadena Hills. The façade garage entry was becoming increasingly popular in the 1950s in Pasadena Hills, a commuter suburb that had previously relegated garages to the back of the property and this house is an example of that transition, in part because of the steeply sloping ravine park across the street from the house that elevates the house steeply in the lot.

44. Description of Environment and Outbuildings

The lot faces east onto Roland Park's ravine. It is elevated from the street and there is a one car driveway from the street to the façade garage door on the south end of the façade. The sidewalk with its tiered concrete slabs merges with the driveway and extends to the front entry.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

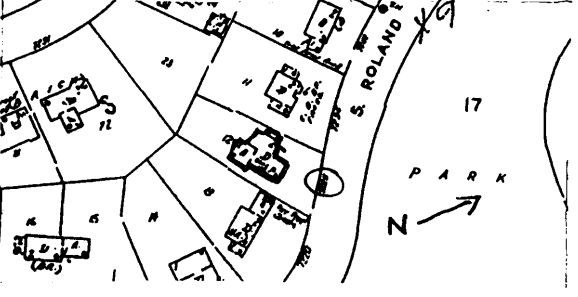
Aug. 2002

49. Revision Dates

7236 S. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0304		4. Present Name(s) Slater, R. J. House	
2. County St. Louis		5. Other Name(s) HISTORIC: Melville, Claude T. and Della M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7228 S. Roland Blvd. -- Lot 12, Pt 13, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930-1933	
8. Site Plan with North Arrow 		18. Style or Design French Eclectic	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Slater, R. J., Trustee	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hipped, gray Slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick, limestone	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply hipped roof house has brown and red textured brick walls with rock faced limestone details, generally surrounding first floor openings and emerging from the rock faced ashlar limestone foundation up the corners as well as capping the battlement. The roof is gray slate and the house retains its original copper gutters (unpainted) with decorative collector boxes. The plan of this house is basically L-shaped, with a two story tower vestibule in the interior corner of the L, but the outside corner of the L is overlapped with a two car, one story garage wing that was identified on the fire insurance maps as being concrete, a more fireproof separation than just the brick walls. There is a large brick chimney on the south side of the roof that retains its original paired tall chimney pots. The two story tower vestibule is octagonal in form with three facets exposed on the façade. It has a battlement on its parapet with a stone crest centered near the top. There are three, round arched, slender windows clustered together on the second floor of the face of the vestibule that have brick arched lintels and sills. These windows are casement, stained glass windows. Below is a relieving arched opening outlined with rock faced stone that forms irregular quoining on the sides and has a keystone in the lintel. It forms an open vestibule that has a marble floor, stucco interior walls and the door on the west wall. This is a stained, hardwood, plank door with small, rectangular, beveled glass light in the upper portion of the door. It also has its original wood screen/storm door that has a large light above three vertical lights on the bottom of the door. On either side of the arched opening are the original brass and leaded glass porch pendent lanterns. The shaft of the L-shaped plan that forms the east façade bay has a series of relieving arched openings outlined similar to the vestibule in stone. One faces north, next to the vestibule, two face east and one faces south. All are now enclosed with tall single light glass panes, but they probably were originally screened openings. Above, the north wall has paired casements and the east façade has what appears to be paired French doors of 12 lights each with 6 light sidelights. In front there is a balcony supported by wood brackets. The leg of the L, to the north of the vestibule has paired casements on the second floor facing east above clustered, 4 casement windows, leaded, with some stained glass. On the north elevation there are additional casement windows near each end of the second floor and a shed roofed, clapboard, one story wing that extends from the front corner nearly two-thirds of the length of the side. It appears to have been a side entry porch that is now enclosed by a series of window sashes, but it is original to the house since the stone foundation extends under this porch and it also has a slate roof. The two car, attached garage on the back retains its original overhead door and has a flat roof with a sundeck and wood railings. There is a newer wood deck with a granite rock garden in the back which does appear to be more recent in design, but it is not visible from the façade.

43. History and Significance

Although the assessor estimates the year built as 1930, this address does not appear in the city directories until 1934. While further research may actually show an earlier construction date, it is still one of the earlier houses in the neighborhood. It became the home of Claude T. and Della M. Melville. He was obviously a successful insurance broker given the unusual design and larger size of the house. They continued to live in the house for many years and his widow is listed in the city directory at this address in 1953. By 1955, new owners had moved into the house, an engineer with Lincoln Engineering, Carl H. Mueller and his wife, Ann. This is one of the few examples of the French Eclectic style in Pasadena Hills and one of the larger examples as well, and it may be individually eligible to the National Register as such, but such a nomination would probably require further research to determine the architect or designer of this unusual house. It has the characteristic steeply pitched hipped roofs, quoined arched openings, plain brick walls, and distinctive entry tower. It also utilized the characteristic multipaned windows and leaded glass casement windows as well as the wood plank doorway that are features of the French Eclectic style, but it also had some highly distinctive features as well, the marble floor on the entry vestibule, and the battlement on the tower. All of this combines to reference the country homes that influenced its design. While it is similar to those of the Tudor Revival style, the French Eclectic style was influenced by the continental rather than English country homes.

44. Description of Environment and Outbuildings

The lot faces northeast with views of the ravine and pond that create the scenic Roland Park. The lot slopes uphill from the street and there is a driveway along the north side of the lot to access the rear entry to the attached garage on the southwest corner of the house. There is a series of rock faced stone steps that wind up to the angled front entry tower, beginning near the base of the driveway. There is a paired pendent light pole that matches the porch lights and may be original to the property as well.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

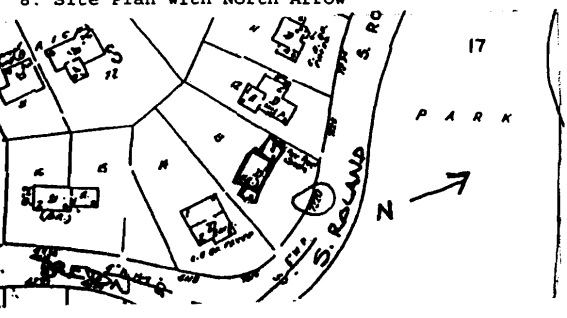
Aug. 2002

49. Revision Dates

7228 S. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 -0305		4. Present Name(s) Fruend, Robert A. Jr., & Holly H., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Borbein, Alfred H. and Dellnorah L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7220 S. Roland Blvd. -- Pt 13, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder H. Simon & Company	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Fruend, Robert A. Jr., & Holly H.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Stone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, gray slate	
		33. No. of Bays FRONT 1+3+1 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular+wings	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, gray and beige) brick house has a blue gray with red slate roof and copper gutters (painted). There is a cross gable centered on the main façade which is divided into three wide vertical divisions and there is a one story hipped roofed sun porch wing on the south and a basement level brick and stone flat roofed garage with a rooftop deck on the north. Each end of the house has a corbelled brick end wall chimney. The entry is located in the center bay where the cross gable forms a pediment with a fanlight window in the attic level. Like other second floor windows, the 6 x 6 wood sashed window has shutters and wood hinged storm windows as well as utilizes the cornice board as a continuous lintel. Below entry has pilasters supporting an entablature surrounding the door with a decorative, wrought iron porch lantern centered in the entablature. The heavy, painted wood panel door has two panels below the two long, rectangular stained glass lights. The door has a wood framed, single light storm door. There is a low slab concrete stoop. The north bay has two additional windows, like the center window, on the second floor as well as paired, shuttered, 6 x 9 wood sashed windows with a keystone brick lintel made of rowlock header bricks. The hinged wood storm windows on the first floor windows have a muntin bar that does not align with the raised meeting rail of the windows. The south bay also has two matching sashed windows on the second floor above the canted bay window with a standing seam metal roof. It has a 8 x 12 window flanked by 6 x 9 windows. It has a brick base to the foundation. The one story, hipped wing on the south has an arched window opening that is also outlined with a double rowlock lintel. It has large 4 light fixed window, but it has been altered by the use of sliding patio doors, in the openings that were probably originally not enclosed. The two car, attached, basement level garage has a flat roof with a pierced brick railing around the rooftop balcony that can be accessed from the side entries to the house. The original garage door has been replaced with an overhead metal door and the masonry piers on either side of the door are clad with the ashlar stone that is also used on the tiered retaining walls on either side of the driveway. Except for the garage door and patio door enclosure of the sun porch, the house appears to have had no exterior alterations.

43. History and Significance

The building permit for this house was issued to H. Simon and Company on September 22, 1936, based upon plans designed by architect, Julius E. Tarling. It is not clear whether H. Simon and Company was the builder of the house or the developer alone. When finished in 1937, it became the home of Alfred H. and Dellnorah L. Borbein. He owned an automobile business that was naturally called, Borbein Auto. They would continue to live in their new home at least through 1949, but the next directory in 1953 lists new owners, Dr. Lloyd L. and Ann Heid. He was a physician in St. Louis. Tarling was a popular architect in Pasadena Hills, throughout its development, and he designed this home in the popular Colonial Revival style, but the pedimented cross gable centered on the façade distinguishes it from the Georgian Revival subtype of Colonial Revival. It has many of the features that distinguish mid-twentieth century Colonial Revival houses: the side gabled form, the multipaned window, shutters, a large bay window, a classical motif (pilasters and entablature) on the entry, as well as side wings, in this case two, one for a sun porch and the other for the basement level garage. This house is also one of several houses in Pasadena Hills that was built as fireproof construction, at least according to the fire insurance maps, and that usually meant not only a masonry separation between the garage wing and main house, but also masonry interior walls as well. Because this house faces the ravine of Roland Park and its natural pond, the steep slope of the land required the modification of the usual preference in Pasadena Hills for a rear entry garage and one of the distinguishing features of this house is the deeply cut basement level garage entry on the façade.

44. Description of Environment and Outbuildings

The lot faces northeast onto S. Roland Boulevard with a view of the ravine park and pond across the street. The land slopes steeply from the street uphill to the façade and there are tiered, ashlar stone retaining walls on either side of the driveway that access the basement level garage wing on the façade. There is a series of concrete tiered slabs and steps from the south wall, winding up to the front entry. There is a brick patio in the back yard.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 22, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

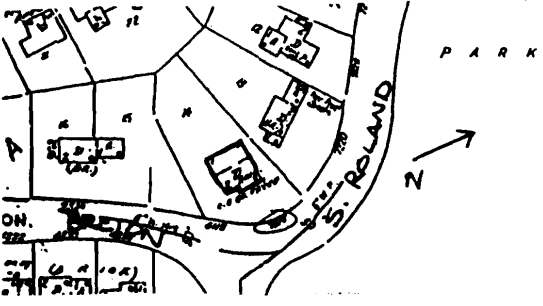
Aug. 2002

49. Revision Dates

7220 S. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0306		4. Present Name(s) Ingram, Preston D. & Pauline C., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Schieller, Albert M. and Jean M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7216 S. Roland Blvd. -- Pt. Lots 14, 15 Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1953	
8. Site Plan with North Arrow 		18. Style or Design Neo-Colonial	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Ingram, Preston D. & Pauline C.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material Cross gable, gray comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment brick; wood clapboard	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This side gabled, two story, muted red and beige brick veneer house has a very wide and shallow cross, wood clapboard gable spanning the middle portion of the façade. The roof is a gray composition shingle, which appears to be the original material, and it has painted copper gutters. The foundation is poured concrete. The façade is divided into three bays, but because of the L-shaped configuration, the façade is on two planes, with the recessed bay being on the south end. This recessed bay on the south has a shuttered, 4 x 4 aluminum sashed window like others on the house it has horizontal panes of glass. Below, is a picture window with 4 x 4 aluminum sashed windows flanking the picture window. The entry porch faces south on the interior of the L and is a shallow, curved, standing seam metal, hipped roof supported by decorative iron posts (which are original to the house). The porch floor is white flagstone and the ceiling is aluminum. The door has a large circular brass knocker in the upper portion of the door and a circular metal frame around the knob in the lower portion of the wood door. The middle bay of the façade has another 4 x 4 aluminum sashed window with shutters on the second floor and, off-center toward the entry on the first floor, a porthole window. The north bay has paired, shuttered, 4 x 4 aluminum sashed windows on both levels. Below is the two car, horizontal paneled, wood, overhead door with two lights at the outer edges. There are rock faced ashlar limestone retaining walls on either side of the basement level driveway. There is also a flagstone patio in the back with tall stone walls that also appears original to the property. Although the unusual aluminum sashed windows are original to the house, they are extremely poor on energy efficiency so it is no wonder that aluminum combination storm windows have been added to the house. There is a metal barred storm door on the entry that detracts from the visual appearance of the unique door, but otherwise the house appears to retain all of its historic integrity.

43. History and Significance

Built in 1953 according to the assessor, the blueprints are on file in city hall, designed by architect, Julius E. Tarling. The house was not finished when the canvassing for the 1953 directory was completed and it is first listed in the next directory in 1955 as the home of Albert M. and Jean M. Schieller. He was the assistant vice president for General Steel Casting Company in St. Louis. This is an interesting example of the impact of post-World War II housing trends that influenced Julius E. Tarling, a popular architect in Pasadena Hills, both before and after World War II. It references the earlier Colonial Revival styles, but more loosely interpreted without being restricted by the sense of symmetry of earlier designs, thus the stylistic name of Neo-Colonial. It utilizes shuttered, multipaned windows, but in this case, they are made of aluminum and have horizontal panes and the façade is still divided into three bays, but one end is actually recessed and the entry opens onto the side, not the façade of the house with a unique circular pattern on the door. There is also the post-war necessity, a picture window and the accommodation to the steeply sloping land, a basement level garage cut beneath the façade.

44. Description of Environment and Outbuildings

The wedge shaped lot faces east at the junction where S. Breton Drive ends at S. Roland Boulevard, with a view of the pond in Roland Park, the largest park in Pasadena Hills. The park is a deep ravine and as a consequence the lot rises sharply uphill toward the back. There is a short one car driveway from the street to the north end of the house where there is a basement level garage. There are rock faced ashlar limestone, stepped retaining walls on both side of the driveway since it is cut into the ground. There is a U-shaped concrete sidewalk with two series of steps up the hillside from the base of the retaining wall to the front entry on the south elevation of the house. There is also a flagstone patio with high stone rock walls in the back yard that appears original to the house, but the large square concrete slab on the side of the house is more recent.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

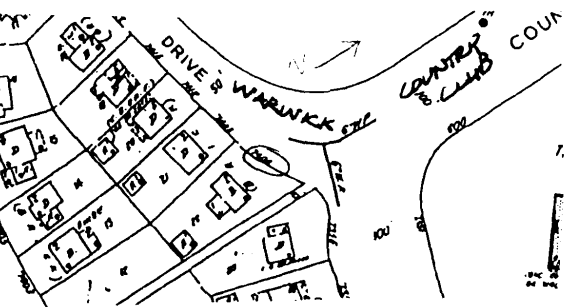
Oct. 2002

49. Revision Dates

7216 S. Roland
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0307		4. Present Name(s) Day, Jeffrey K. House	
2. County St. Louis		5. Other Name(s) HISTORIC: Jacob, Karl A. and Evelyn House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7400 Warwick Dr. - Lot 22, Block 13		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939-1940	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Day, Jeffrey K., et.al.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction loading bearing masonry-brick	
		32. Roof Type, Material Gable - Concrete Tile	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Brick	
		35. Plan Shape stacked rectangle	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (reds and browns) brick house has a ribbed concrete tile roof with a prominent ridge crest. The façade is divided into three vertical bays with a gabled wall dormer in each bay and with copper gutters on the boxed cornices with copper downspouts that frame each bay. On the west elevation, there is a large, end wall chimney with a corbelled brick cap and tiered chimney pots. All of the windows on the house appear to be 6 x 6 wood sashed windows with storm windows painted to match the sashes. There is a window in each wall dormer, and paired windows on either side of the central entry. The first floor façade windows have soldier course lintels with brick dentil caps. The entry is framed by soldier course brick and has narrow 4 light sidelights on each side and a shallow 6 light transom (the same size panes) around the painted wood, 6 panel door. There is a concrete slab stoop that spans the width of the bay. On the west side there is a window on each side of the chimney on each floor. On the east side, there are two windows centered on the second floor, one near the rear of the first floor as well paired stationary windows near the façade on the first floor. The gable end on this elevation has wider wood clapboard siding with a louvered attic vent. The foundation on this house is coursed, rock faced, ashlar limestone with beaded mortar which helps to verify that the one story, intersecting gabled wing on the back of the house and the framed porch on the west side of this wing are both original to the house despite the fact that they are not shown on the fire insurance map. The framed porch extends beyond the west elevation line and is screened floor to ceiling with painted wood framing. The porch has decorative wood support beams as well as a matching concrete tile roof. There is a transom above the rear door with a storm door added. The rear wing has two windows on the south side with 10 x 10 stained glass panels of green, blue, purple and gold, as well as two 6 x 6 windows. The basements have glass block windows. Behind the house is the original, two car, end gabled, matching brick garage that has a composition shingle roof which is probably a replacement. Except for the garage roof and the storm windows and full view storm doors, this residence appears to retain all of its original exterior features and historic integrity.

43. History and Significance

Although the assessor estimated the year built as 1936, this house did not appear in the 1936-1939 directories, but first appeared in the 1941 directory as the new home of Karl A. and Evelyn Jacob. He worked for Burkart Manufacturing Company in St. Louis at the time, but by 1943 was employed as a superintendent for Welsh Company. They continued to live in the house at least through 1949. In the next directory, a student, Karl A. Jacob is listed at this address. It is not clear if this is the same person, or possibly a son, and Evelyn is not listed either. By 1955, George E. and Virginia Buckles now lived in the house and he worked as a salesman for IS Company in St. Louis. This is an interesting example of the Colonial Revival style, with the characteristic two story, side gabled, three bay façade, but it has gabled wall dormers in each bay and a heavily textured concrete tile roof. This house is larger than it appears from the street since it has a one story wing as well as a screened porch on the back that are also original to the house. The house has the characteristic multipaned sashed windows, boxed cornices, and sidelighted entry that help identify it as a Colonial Revival style residence. Like most other homes in Pasadena Hills, the garage is detached, and the driveway is cut into the yard to minimize its impact on the streetscape.

44. Description of Environment and Outbuildings

The lot is basically level and faces north at the Y intersection with Country Club Drive, although the ground is elevated on the façade to minimize the impact of the driveway. There is a small public walkway between this house and the one to the east. Warwick drive forms a portion of the boundary for the city limits. Along the east side of the house is a concrete driveway that extends back to the detached, end gabled, two car, matching brick garage that is near the southeast corner of the property. There is also a tiered, concrete slab sidewalk from the street to the front entry.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

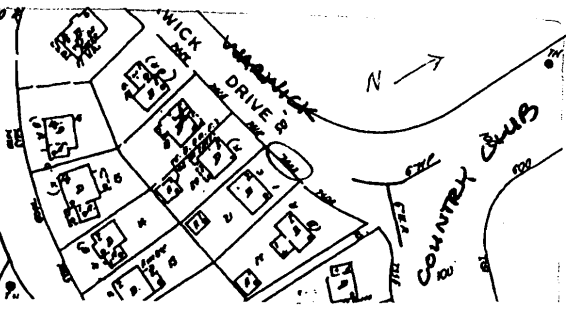
48. Date 49. Revision Dates

Sept. 2002

7400 Warwick
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0308		4. Present Name(s) Johnson, Melvin L. & Andrea J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Nord, Claude A. and Hazel, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7408 Warwick Dr. -- Lot 21, Block 13		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939-1940	
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Residence	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Johnson, Melvin L. & Andrea J.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction loading bearing masonry-brick	
		32. Roof Type, Material Gable - Concrete Tile	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, ribbed concrete tile roof house has multihued red brick walls and copper gutters and downspouts. There are end wall chimneys on each side elevation, with the one on the east splitting the gable ridge and the one on the west placed in front of the ridge. Both have projecting brick courses near the cap and replacement metal caps. The foundation is rock faced ashlar limestone with beaded mortar, but the only other masonry details are the dressed stone lintel and threshold on the entry, the soldier course brick used on lintels, the brick dentil course separating the first and second floor of the west bay, and the diamond brick patterning in the vestibule gable end. The façade is divided into three bays with a clipped gabled wall dormer than spans more than the east bay. It has a rectangular louvered attic window and a triple window on the second floor that has a 2 x 2 (vertical muntins) wood sashed window flanked by 2 x 2 (horizontal muntins) wood sashed windows. Below, the large first floor window is a plate glass, wood framed window, but this appears to be an alteration, not in keeping with the character of the Tudor Revival design. The west bay is a slightly projecting, broad end gabled wing with the gable ends extending down to the lintel height of the first floor and spanning across the middle bay as well. There is a small rectangular, louvered attic vent separated from the second floor window by the continuous soldier course lintel over the stained glass, paired 9 light casement windows. The first floor window located in the west, highlighting that west bay is a 8 x 12 wood sashed window. The middle bay is created by the one story, end gabled, overlapping vestibule that has a rectangular entry that is flanked by triple rows of rowlock bricks and capped by a dressed stone lintel. The stained oak, wood plank door has a small rectangular stained glass light. The concrete stoop has one step. Windows on the remaining elevations all appear to be 3 x 1 wood sashed windows. All windows have aluminum storm windows, which, in the case of some of the façade windows, obscure the decorative detailing of these varied window patterns. On the back of the house there is a shed roofed dormer and on the southwest corner there is an enclosed rear porch that has been modified with bank of windows above a half wall now clad with vinyl siding. At the southwest corner of the yard, there is a detached, one car, end wall garage that faces east and has the same brick and tile roof as the house.

43. History and Significance

Although the assessor estimated the year built as 1937, this house does not appear in the 1938 or 1939 city directories. It is first listed in the 1941 directory as the home of August C. and Hazel Nord. After 1941, the names were listed as Claude A. and Hazel Nord. He was employed as a clerk or storekeeper for Monsanto Chemical. By 1953 he was employed by Mallinckrodt. The house is an interesting Tudor Revival design, utilizing the same ribbed concrete tile roofing as other houses on Warwick Drive, which is not the common slate roofing choice used with this style. The design utilizes the varied roofline created by a series of overlapping and variously sized gables to create visual interest on the façade and it also has a variety of window patterns to provide additional visual variety to the design. As is characteristic of Tudor Revival style houses, it has multicolored brick, with some interesting patterning and contrasting use of stone details. Behind the house is a one car, detached garage, situated at the rear corner of the property, with the driveway cut into the side of the front yard to minimize its impact on the streetscape, a common characteristic in Pasadena Hills where the preference was to relegate the garage to the rear of the property rather than placing it prominently on the façade.

44. Description of Environment and Outbuildings

The lot is basically level and faces north onto Warwick Drive and the city limits. The ground is elevated in the front with the driveway cut lower along the east side of the house and lot, extending back and turning toward the west to access the end gabled, one car, matching brick and tile roofed garage that has wood siding in the gable end, which faces east. There is also a tiered, concrete sidewalk from the entry stoop to the steps by the public sidewalk.

45. Sources of Information

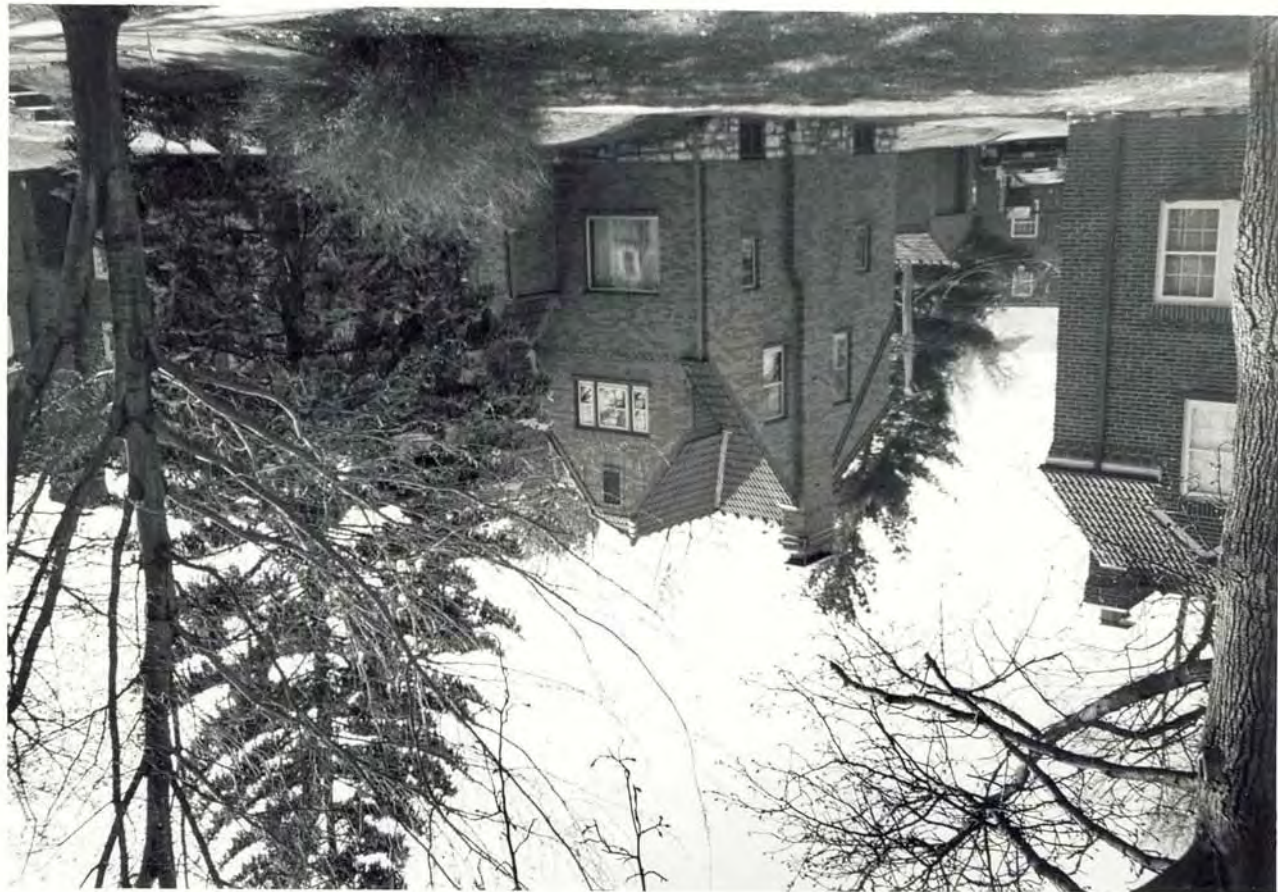
46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date 49. Revision Dates

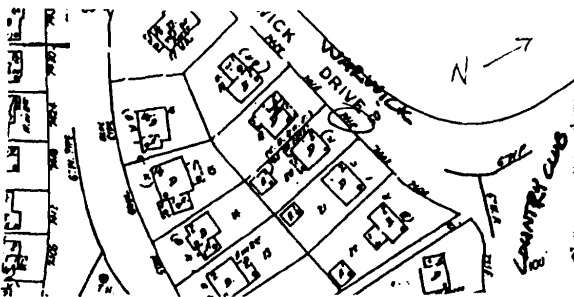
Sept. 2002

7408 Warwick
Pasadena Hills





HISTORIC INVENTORY

1. No. SLAS039 - 0309		4. Present Name(s) Baker, Maurice & Brenda J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Weisler, Theresa, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7412 Warwick Dr. -- Lot 20, Block 13		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939-1940	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Baker, Maurice & Brenda J.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction clay tile, brick faced	
		32. Roof Type, Material Gable - Concrete Tile	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red and brown) clinker brick house has a two story intersecting gabled bay west of the massive, end wall chimney on the façade. The roof of this house is ribbed concrete tile and the house retains its original copper gutters and rectangular copper downspouts. The foundation is rock faced, ashlar limestone, but it is barely visible on the façade. The asymmetrical design of the chimney is accentuated by the horizontal brick frieze on the lower shaft, the sloping face of the chimney which makes it merge with the west bay façade wall on the lower shaft, and the sloping buttress and wing wall affect on the east side. The chimney itself has a corbelled cap with soldier course brick below. The east bay has paired windows on each level, all diamond paned, aluminum sashed windows, and the first floor window has a soldier course lintel and vertical vinyl siding under the windows. The gabled bay on the west side of the façade has paired, diamond patterned aluminum sashed replacement windows on the second floor above the entry. These windows retain the original wood plank shutters and has a decorative half round brick lintel silhouette. The entry has a segmental arched opening with the sides and lintel outlined with rock faced, ashlar limestone, irregularly framing the opening. The door is rectangular, stained, oak wood plank door with a leaded glass rectangular light. There is a broad, concrete slab stoop with two steps to the sidewalk. On the east elevation, the main house is divided into two bays with original, multipaned sashed windows on each level of each bay, except for the paired, replacement aluminum sashed windows on the first floor near the façade. Behind these windows, there is another brick, end wall chimney (flue) with another first floor wood sashed window behind the chimney. On the west elevation most windows have already been replaced, but there is a small, wood framed, leaded glass, diamond pattern window. The basement windows are hinged, multipaned, wood framed windows. On the west side of the rear, there is a back entry into the house as well as a basement entry which has an additional hinged wood framed 3 light window. The rear extension appears to be an addition, although the first floor may be the original brick, open sun porch shown on the fire insurance map. It is now enclosed with matching replacement aluminum sashed windows and a second floor screened porch has been added that has a shed roof with wide eaves, composition shingle roofing, and exposed rafters. At the southwest corner of the property is a two car, detached, end gabled, matching brick and tile roofed garage. On the façade of the garage is a small framed extension around the garage door, apparently added later to make the garage accommodate larger cars.

43. History and Significance

Although the assessor estimated the year built as 1936, this house does not appear in the city directories published through 1939 and is first listed in the next directory in 1941 as the home of a widow, Theresa Weisler. Pasadena Hills apparently attracted a number of women, who were the heads of their households (usually widows but also some single working women), and Theresa Weisler was one of those women who was attracted by the Carter Realty Company's promotional efforts that identified this new community as a clean, safe, and pastoral setting for her family. By 1946, Theresa Weisler is identified as a clerk at Southwestern Bell Telephone Company and by 1949, Helen M. Weisler is also listed, as a teacher at Seigel School. In 1953, Mary J. Weisler is listed as the head of the household, as a clerk at the telephone company, but Patricia and Theresa Weisler are also listed as residents. By 1955, new owners now resided in the house, Earl A. and Alice I Mansfield. He was a druggist with a business at 3722 Jennings Road. This is nicely designed Tudor Revival house, with the characteristic steeply pitched roof with intersecting gables, a massive front end wall chimney, an arched vestibule, contrasting use of rock faced stone and multicolored brick, and a wood plank door. Unlike most Tudor Revival houses in Pasadena Hills, this house, as well as most others on Warwick, has a ribbed concrete tile roof rather than slate roofing. The current owners are in the process of replacing all windows with aluminum sashed windows, with a diamond pattern grid, which is not the original muntin pattern, which negatively impacts the historic integrity of this house. On the back of the house is a newer two story addition that replaced what was a one story porch, but the first floor brick matches the main house and may be original. Although the second floor roof has wide eaves on the screened porch, this does not significantly affect the historic integrity of the façade since it is not easily visible from the façade. Despite these alterations, the house retains its distinctive Tudor Revival design and other significant features, such as form, masonry details, door and roofing, are still intact and as such the house is still a contributing building in the district at this point, although the loss of the distinctive roofing might tip the balance in this evaluation. There is a detached matching brick garage at the back of the property which is also contributing to the historic district.

44. Description of Environment and Outbuildings

The lot is basically level but the front yard is elevated with the driveway along the west side cut into the ground and extending back to the detached two car garage in the back, southwest corner of the lot. There is also a serpentine, concrete sidewalk from the entry steps to the steps at the public sidewalk.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

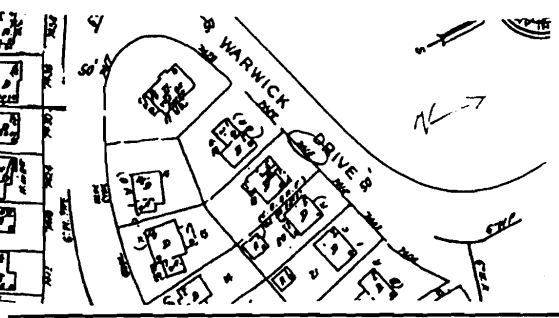
Sept. 2002

49. Revision Dates

7412 Warwick
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 -0310		4. Present Name(s) Martin, Marnee Lee, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Langenberg, Harold J. and Ruth, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7416 Warwick Dr. -- Lot 19, Block 13		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1952	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Minimal Traditional	30. Foundation Material Poured concrete
		19. Architect or Engineer Crawford Nielson	31. Wall Construction concrete block brick faced
		20. Contractor or Builder	32. Roof Type, Material Gable-orig.slate/tile,now comp.shin
		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
		22. Present Use Residence	34. Wall Treatment Brick
		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular +back
		24. Owner's Name and Address, if known Martin, Marnee Lee, Trustee	36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
9. Coordinates Lat Long		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			41. Distance from and Frontage on Rd.
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
15. Name of Established District Pasadena Hills Historic District			



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, red and gray brick house has gabled dormers near each end of the façade. The roof is now composition shingles, but according to the fire insurance map it may have originally been tile or slate (like others on this block). The façade is divided into two vertical bays with the east bay being a screened porch and the west bay containing the one car, 16 panel wood overhead garage door (with one row of glass) and a porthole window with 9 glass blocks (between the garage and porch). Below this porthole window is coursed, rock faced ashlar stone suggesting a stone foundation, but in fact this is above the foundation level, which is actually poured concrete. The dormers are clad with wood clapboards and have 6 x 1 wood sashed windows with canvas awnings. The screened porch is divided into three bay the square porch posts and there is a railing with evergreen shaped piercing in the hand railing. The western bay has a wooden screened door. Visible inside the porch is the large picture window that has 4x4 sashed windows flanking the plate glass window. The entry faces west within the porch and is a 6 panel, painted wood door. The porch floor is a low concrete slab. On the east elevation there is an end wall, brick chimney with a corbelled cap. On either side of the chimney, first floor level, are tall, vertical strips of glass blocks. Behind the chimney is a 1 x 1 wood sashed window on the second floor and near the rear on the first floor is a large, 20 pane, glass block porthole window. Like the other porthole window it appears to be framed with smooth stone. On the west elevation there are paired 2 x 2 wood sashed windows and a 25 pane glass block window in the garage on the first floor level. On the rear, there are paired 6 x 6 wood sashed windows as well as a 2 x 2 wood sashed window. There is a rear wing, sun porch, which was apparently always enclosed, according to the fire insurance maps, but has recently been resided with vinyl siding. There are 2 windows on the all three elevations of this wing, which is near the west end of the house, and a back door on the east elevation as well. Each of these windows is 6 x 6 wood sashed window. The basement windows are generally glass block windows, although there are two, paired 3 light wood casement windows on the east elevation. Besides the screening on the front porch and the vinyl siding on the back porch, the only apparent alterations to the house are the aluminum storm windows and canvas awnings.

43. History and Significance

Crawford Nielson designed this home in 1952 and the assessor verified the year built as 1952. There is also a building permit on file, dated March 6, 1952 for this address, but it did not list the owner's or builder's name. This is the only known example of his work in Pasadena Hills. Although the house was not listed in the 1953 city directory, probably because the canvassing was completed as the house was being finished, it was listed in the 1955 directory as the new home of Harold J. and Ruth Langenberg. He was the department manager for Midwest Piping Company in St. Louis. This is a great example of the transition from the Cape Cod style to the Minimal Traditional style. While Cape Cod style houses, a cottage variant of the Colonial Revival style, utilized a side gabled, 1.5 story form with dormers, the façade was normally divided into three bays and did not incorporate a porch. At first glance, this home reflects that stylistic form, but in reality has a screened porch incorporated into the east half of the first floor, under the main roof. Also, like other Minimal Traditional styles, this house utilizes other post-war modern residential details: an attached garage incorporated into the main roofline with a façade door, a picture window, horizontal lights in some windows, and extensive use of glass block window designs. Although the vinyl siding on the back sun porch wing and the screening on the front porch may not be original, the porches are original features, and this house retains a very high degree of historic integrity.

44. Description of Environment and Outbuildings

The lot is basically level and faces north onto Warwick Drive, but the land slopes sharply downhill toward the neighboring property on the west side. There is a one car, concrete driveway from the street to the façade entry and a short sidewalk from the head of the driveway to the screened front porch entry.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory; Normandy Fire Protection District, Saint Louis County, Missouri. Building Permit, March 5, 1952.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commissio

48. Date

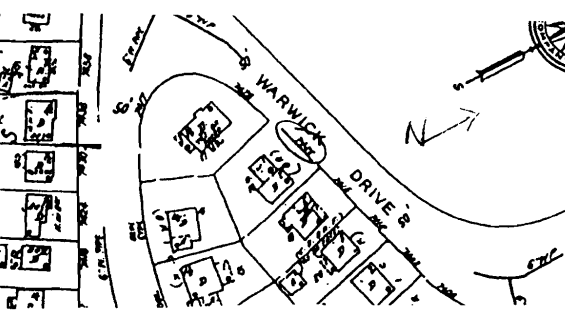
Sept. 2002

49. Revision Dates

7416 Warwick
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 -0311		4. Present Name(s) Schaffner, James D. and Donna G., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Magee, Lawrence A. and Lillian E., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7422 Warwick Dr. -- Lot 18, Block 13		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design	30. Foundation Material Rough Stone (irregular)
		19. Architect or Engineer	31. Wall Construction loading bearing masonry-brick
9. Coordinates Lat Long		20. Contractor or Builder	32. Roof Type, Material Hip, Concrete Tile
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE 3
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Schaffner, James D. and Donna G.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This multihued red brick house has a ribbed concrete tile roof in shades of red and brown and copper gutters and downspouts. The east end of the house is a two story, end gabled form which is intersected by a side gabled, 1.5 story wing that creates both the entry bay, next to the two story wing, and two additional bays, each defined by a gabled wall dormer. The 2 story end gabled wing is split by a massive, end wall, brick chimney that has a tapered step and broad flat shaft. On either side, the gable end has a herringbone pattern and there are matching windows on each level. The second floor windows are 6 x 6 wood sashed windows and the first floor windows are fixed, 8 light, vinyl framed windows with brick capped soldier course lintels. At the top of each corner of this wing there are brick brackets that broaden the appearance of the gable end. The entry has a brick, segmental arch lintel with a wood carved lintel above the wood plank door. This stained oak door has a diamond shaped, clear glass, leaded light in the upper portion of the door and there is a concrete slab stoop with a high concrete threshold. The treatment of the two west bays is the same, with 6 x 6 wood sashed windows in the dormers above the 6 x 6 wood sashed windows on the first floor. All of the windows have soldier course lintels. On the west elevation of this wing there is a replacement 6 x 1 vinyl sashed window on the second floor and the first floor opening has been covered with heavy gauge plastic sheeting. On the east elevation there is a picture window near the façade on the first floor which has 4 x 4 (horizontal light) windows flanking the plate glass window. There are also two 6 x 1 wood sashed windows near the rear of the first floor that straddle the brick chimney flue. On the second floor, irregularly placed are three 6 x 1 wood sashed windows. On the rear, the windows have all been replaced, in the original openings, with 6 x 1 vinyl windows, except for one 1 x 1 vinyl window. On the back elevation, west end is the two car garage entry.

43. History and Significance

Hall Construction Company of 4715 Easton Avenue, took out the building permit for this house on November 7, 1935. They built several other homes in Pasadena Hills as well. However, this address is not listed in the city directories prior to 1941, making it likely that it was not completed until 1939-1940. It then became the home of Lawrence A. and Lillian E. Magee. At the time he was the foreman of NBM Corporation in St. Louis. By 1943 he became a superintendent with the NB Division of American Brake Shoe Company, later becoming their metallurgist. The couple continued to live in the house, at least through 1955 when city directory research ended. This Tudor Revival style house is less elaborately detailed than most in Pasadena Hills, where this style helped define the character of the neighborhood. It has the characteristic tiered roofline created by cross gables and wall dormers, the front end wall chimney, the wood plank door, multipaned windows, and the arched entry, but the roofing is ribbed concrete tile rather than the commonly used slate and the walls have a only minimal detailing. The upper shaft of the chimney has been repointed, which may indicate that the detailing was eliminated and the large picture window on the east side is a feature usually not seen until the post-World War II era. Also, some of the windows have been replaced with vinyl sashed windows, but mostly on the rear, not the façade. Even if these are alterations, the house retains most of its character defining features and original forms on the facade, and it is a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot is basically level, although it slopes slightly downhill toward the east. There is a paved, one car driveway on the west side of the property that extends back and around to access the rear entry into the attached garage. There is also a serpentine, concrete sidewalk from the entry to the street.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, November 7, 1935.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

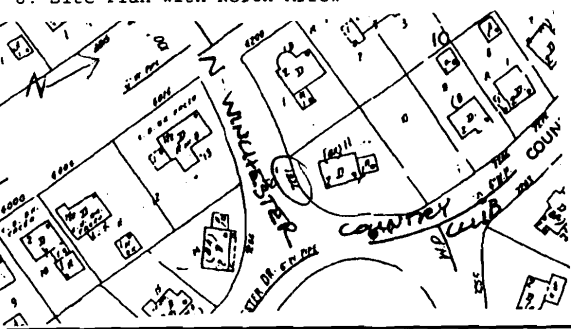
Sept. 2002

49. Revision Dates

7422 Warwick
Pasadena Hills



HISTORIC INVENTORY

1. No. <u>SLAS029 - 0312</u>		4. Present Name(s) Bantle, Daniel J., House	
2. County <u>St. Louis</u>		5. Other Name(s) HISTORIC: McNamara, Harley V. and Pauline, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7281 Winchester Dr. - Lots 10, 11, Block 10		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period <u>1936</u>	
8. Site Plan with North Arrow 		18. Style or Design <u>Tudor Revival</u>	
9. Coordinates Lat _____ Long _____		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder <u>Hall Realty Company</u>	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent <u>Residence</u>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use <u>Residence</u>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Bantle, Daniel J., et.al.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories <u>2</u>	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hip - orig. slate, now comp. shingles	
		33. No. of Bays FRONT 1+4+1 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape <u>rectangular+wings</u>	
		36. ADDITION <input checked="" type="checkbox"/> Changes (explain in #42) ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior _____ Exterior <u>Very Good</u>	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By what?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, hipped roof house has multicolored (reds and brown) sandy textured brick walls and a replacement architectural slate line composition shingle roof (red and brown), which replaced the original slate roof, although it retains its original copper gutters. The façade is divided into four primary bays, of unequal sizes: a large cross gabled bay on the south end with the narrow entry bay located to its north (with an overlapping gabled, second floor overhanging bay of half timbered stucco) and then the narrow stairwell window bay to its north and with a small cross gabled bay on the north end of the façade. There is a hipped roofed, one story, sun porch wing on the south elevation and another one story, two car, hipped garage wing on the north elevation that has a small cross gable on the façade and the two car original wood paneled door facing the north. The large cross gabled bay on the south end has a diamond pattern in the gable end brick work and a segmental arched opening on the paired 6x1 wood sashed windows on the second floor. On the first floor below is a triple, transomed, wood casement window unit (transoms have 4 lights and each casement has 8 lights). The half timbered stucco second floor bay overhangs the entry in the next bay and has paired leaded and stained glass wood framed casement windows with a wood framed, leaded glass transom. The entry is recessed nearly 42 inches and has a vaulted ceiling and a segmental arched opening with flanking brick quoins around the opening and an arched, stained oak, 8 panel wood door that has diamond patterned leaded glass lights in the second row of panels. To the north of the entry door is a round porthole window with diamond patterned leaded glass. In front of the entry is an entry slab at grade with marble flagstones. The next bay has large round arched, steel framed, multipaned fixed window that is positioned at the stairway landing and has a decorative, metal, faux balcony railing. The north bay has a small, rectangular attic vent in the cross gable with the soldier course lintel of the second floor paired 6x1 wood sashed windows forming the base of this cross gable. Below, there is a triple wood casement window (4 lights in the transoms and 8 lights in the casements) that has a large dressed stone lintel. There is a large end wall brick chimney on the south elevation that extends into the one story hipped sunroom that appears to be a later addition since it does not appear on the 1967 fire insurance map. It was apparently built as an open porch but was enclosed in recent years with vinyl siding and vinyl clad wood casement windows (with canvas awnings). It has a door that provides access directly to the back yard and the in ground swimming pool that is surrounded by metal fencing. Although the pool is a noncontributing structure, the sun porch is a later addition/alteration, and the roof has been replaced, at least it was with architectural slate line shingles to maintain the textural quality and most of the house retains its historic integrity. While the sashed windows have aluminum storm windows, the casement windows have wooden storm windows. The only other visible alteration is the railroad car electric lantern on the garage, more of a personal decorative item than a permanent fixture.

43. History and Significance

The Hall Realty Company of 4715 Easton Avenue received the building permit for this house on May 7, 1936. Apparently they were the developers and probably the contractors for this building. The first occupants of the house were Harley V. and Pauline McNamara, listed in the next city directory in 1938. His occupation was identified simply as manager. The couple continued to live in the house into World War II but between 1943 and 1946 they relocated and David Koeller Jr. and his wife Amanda moved into the house. He was the president of Blackwell-Wielandy Company. By 1953, Amanda is not listed at this address and by 1955 Harold and Ruth Roediger had moved into the house. He was an employee of Ormsby-Osterman Inc.

44. Description of Environment and Outbuildings

This corner lot is located at the western head of the ravine park that splits Winchester Drive with adjacent properties to the north listed on Country Club Drive. The lot is basically level and faces east onto the park. There is a driveway along the north side of the property to the side entry of the garage wing on the north side of the house. Behind the house is a fiberglass swimming pool and concrete patio that have been added to the property in recent years and are noncontributing to the district.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, May 7, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


Aug. 2002

49. Revision Dates

7281 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLA5039 - 0313		4. Present Name(s) Greer, James E. & Vera L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kolman, Roland H. and Theodora, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7308 Winchester Dr. - Lot 2, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	
8. Site Plan with North Arrow		18. Style or Design Colonial Revival-Georgian Revival	
		19. Architect or Engineer Saum Architects	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Greer, James E. & Vera L.	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
15. Name of Established District Pasadena Hills Historic District		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Side gabled, asbestos tile or slate	
		33. No. of Bays FRONT 3+1 SIDE	
		34. Wall Treatment Brick-weatherboard-gable ends	
		35. Plan Shape rectangular +wing	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, gray and brown) brick house has a boxed cornice with small dentil molding (on both the front and back elevations). It has a multicolored (red, brown, and gray) tile (slate or asbestos) roof. The gutters are still partly the original copper gutters, although some of the downspouts have been replaced with aluminum. The foundation is rock faced ashlar limestone with beaded mortar, but it is not visible on the façade, only on the sides and rear elevation where the grade is slightly lower. The façade is divided into three bays with shuttered windows on the second floor in each bay, the middle one being a 6 x 6 wood sashed window and the others being 8 x 8 wood sashed windows. On the first floor there is another shuttered, 8 x 12 wood sashed window in the west bay and there is a canted bay window with a standing seam metal roof in the east bay. This bay window has 4 x 4 wood sashed windows flanking a 6 x 6 wood sashed window. There is a scalloped wood trim under the edge of the roof and the window sills. Below the windows the walls are wood weatherboard that continues to the foundation. The entry is located in the middle bay with tall, wooden pilasters on either side of the entry capped by a projecting, elliptical crown with a carved urn and swags in the entablature above the door. Wood panels (now protected by the full view storm door) on either side of the recessed entry add to the elaborate detailing of this entry. The door itself is a painted, wood door with four panels below the three shoulder arched lights across the top. There is a low pebble stone, concrete stoop with one step. The side and rear elevations have additional multipaned, wood sashed windows and the gable ends are clad with wide wood weatherboards and have a louvered attic vent at the peak. On the west end, there is an end wall brick chimney with a brick cap that is sandwiched between the main house and the one story, side gabled, sun porch wing. This wing was originally an open porch, but has been enclosed with aluminum siding and shuttered, 1 x 1 wood sashed windows, one on each elevation. On the back, there is what appears to be an original porch with a matching slate roof, brick walls, and a concrete slab floor, but this wing does not appear on the 1967 fire insurance map (which has made other mistakes). Behind the house is the original, 2 car, end gabled, matching brick and roofing, detached garage that has wood weatherboard siding in the gable end.

43. History and Significance

In 1938, Saum Architects, a well known team of brothers who designed many of the nicer homes in the mid-twentieth century in St. Louis County as well as a number of smaller commercial buildings and their own large apartment building on South Grand Avenue in St. Louis (just south of Interstate 44), designed this house as well, the only known example of their work in Pasadena Hills. The plans are on file in city hall. It is a good example of the popular Colonial Revival subtype known as Georgian Revival, which is characterized by the features found in this house, especially its side gabled, three bay façade, as well as a boxed cornice, side wall chimney, multipaned windows, shutters, bay windows, and one story wings on the side. This particular design utilizes a much more elaborately detailed entry with classical motifs (especially the elliptical roof, pilasters, and urn and swag details) and a dentil detail in the cornice, features that are characteristic of only the more stately Georgian Revival residences. The house was listed as still vacant in the 1939 directory, which could mean it was not yet sold to the first homeowners, or more likely, it was not yet finished and occupied. By 1941, the next city directory listed this as the home of Roland H. and Theodora Kolman. By 1943, he was identified as an accountant for F B Company (probably Famous Barr, a local department store). The couple continued to live in this house at least through 1946, but by 1949, new owners now lived in the house, Fred A. and Marguerite Jacobs. He was a physician in St. Louis with offices at 4952 Maryland. The couple was still living in the house in 1955 when city directory research ended. The detached garage at the rear of the property is characteristic of the concerns of builders in Pasadena Hills with trying to create a pleasing streetscape while accommodating the automobile which was such an important part of the development of this commuter suburb, which also accounts for the fact that the driveway is cut slightly into the ground to minimize its visibility from the street. Although the sun porch wing has been enclosed, the house has had few other alterations and retains a high degree of historic integrity.

44. Description of Environment and Outbuildings

The lot is basically level and faces north onto Winchester Drive, just west of Roland Boulevard. There is a driveway cut slightly into the ground that extends along the east side of the property and house to access the detached, end gabled, brick, two car garage on the southeast corner of the house. From the front entry stoop, there is also a serpentine concrete sidewalk with a step down to the public sidewalk.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date


Aug. 2002

49. Revision Dates

7308 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 -0314		4. Present Name(s) Edwards, Carl and Treadina Briggs, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Peters, Charles W. and Gladys L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7309 Winchester Dr.-Lt.2, Bl. 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1934-1935	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Fred F. Schiller	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Edwards, Carl and Treadina Briggs	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gabled, clay or concrete tiles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape rectangular+wings	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story side gabled, multicolored (red, cream, green, dark brown) brick house has a flat, red and light brown concrete, faux clay tile roof with copper gutters and downspouts that have been painted. There is a brick corbelled course under the boxed cornice. The foundation is rock faced ashlar limestone, a material that is also used to outline the entry and to form wing walls on both ends of the house, front and back. The façade is divided into three bays, with a one story gabled vestibule in the center bay that has an off centered door framed with irregular stone quoins and a round arched, narrow, colored bottle glass and leaded glass window as a sidelight. The wood plank door is rectangular with a etched pattern of flowers and leaves and a rectangular opaque light in the upper part of the door. This vestibule has matching roofing and wavy butt siding in the gable end as well as a concrete slab stoop. Above the vestibule and offset to the west is a small, paired casement, diamond patterned, leaded and stained glass window. The west bay does not appear to have a second floor window, but the first floor window is a broad window with a baskethandle arched, stone lintel. The transom of this window unit is clear glass, four lights. The triple window below has narrow 3 light steel casement windows flanking an 8 x 8 wood sashed window. The east bay has a tall, gable through the eaves over the second floor window with projecting rowlock bricks extending down from each of the gable ends to frame a bay that has a brick dentil course at the base and simulate an overhanging bay window. The window repeats the baskethandle arch in a soldier course of brick with a stone keystone that has herringbone brick in the false arched transom. It has paired 6 x 1 wood sashed windows. Below, the first floor, triple window unit has a reverse splayed wood lintel that has 4 light casement windows flanking the 6 x 6 wood sashed window. Side elevations have multipaned wood sashed windows. On the west elevation there is a end wall brick chimney. On the back of the house is what appears to be an original one story sun porch wing with a French door, but this wing does not show upon the fire insurance map in 1967, which could be an error. The recent addition of a half round canvas awning obscures the top of the doorway and the overgrown shrubbery and trees hide the beauty of the façade and many of its distinctive features, but these are cosmetic issues and the aluminum storm windows appear to be the only alterations. Behind the house is a matching brick, two car, end gabled garage that has a replacement, brown composition shingle roof that has the original wood recessed panel door (top row is glass) and there is wood siding in the gable end.

43. History and Significance

The building permit for this house was issued to Fred F. Schiller on December 11, 1934 and it is unclear whether Fred F. Schiller was the real estate developer or the contractor on this project. It appears that the house was finished in 1935 since it appears in the 1936 city directory as the new home of the president of AALCO Express Company (St. Louis), Charles W. Peters and his wife, Gladys. They continued to live in the house at least through 1949 and with the publication of the next city directory in 1953, the vice president of the AALCO Express Company (St. Louis), Alfred B. Carter and his wife, Hazel A. Carter had moved into the house. This is a very unusual example of the Tudor Revival design that combines the characteristic features of this style to create a unique composition on the façade. There is a cross gable on the east end of the façade that appears to be an overhanging bay because of the dentil course below the window, a one story gabled vestibule with an unusual round arched bottle glass window next to the wood plank door, and there is a bowed stone lintel over the first floor window on the west end, and there is a small casement window offset above the vestibule. The design utilizes patterned brick and rock faced ashlar limestone as detailing around the front door and as wing walls, wavy butt wood siding in the vestibule gable, as well as multipaned sashed windows and leaded glass casement windows, which are all characteristics of this style, but the use of the red and brown concrete, flat, faux clay tiles are uncommon on this style in Pasadena Hills, where the roofs are usually slate. Like other homes in this community, the matching garage is detached, and located at the rear of the property to minimize the visual impact on the streetscape.

44. Description of Environment and Outbuildings

The lot is basically level and faces south onto Winchester Drive just west of Roland Boulevard. The one car, concrete driveway is located on the east side of the house to access the detached, two car, matching brick, end gabled garage at the northeast corner of the property. There is also a serpentine concrete sidewalk from the vestibule to the street.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, December 11, 1934.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


Aug. 2002

49. Revision Dates

7309 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0315		4. Present Name(s) Kibby, Kenneth L. & Ava M., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Prevallet, Henry C. and Clara, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7314 Winchester Dr. - Lot 3, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Kibby, Kenneth L. & Ava M.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable on hip, cement tile	
		33. No. of Bays FRONT 3 SIDE 3	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular orig.	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What? painting needed	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched, gable on hip roof has boxed cornices with copper gutters and downspouts. The roof is reddish brown, flat concrete tiles. The walls are multicolored (red, yellow, brown), rough textured brick with a brick dentil course under the cornice. The façade is divided into three bays with the same window treatment in the east two bays, which have 6x1 wood sashed window on the second floor and paired, wood framed casement windows with diamond patterned leaded glass, but one has stained glass while the other is clear glass with stained glass medallions. These two bays are split by the massive end wall chimney that has rock faced stone detailing the steps on the lower shaft and a faux split, upper shaft and corbelled brick cap as well as a series of projecting stringcourses. The west bay has a small cross gable with a slit attic vent above the second floor, transomed, paired casement window. The first floor has a slightly projecting, gabled vestibule with matching roofing and an angled, rock faced, ashlar limestone, round arched, recess to the round arched oak wood plank door with a leaded glass light in the upper portion of the door. The entry stoop is flagstone on top of rock faced ashlar limestone, like the main house foundation. The sides of the vestibule form tiered, sloped, wing walls that are mostly rock faced ashlar limestone. There are also two paired, wood framed, casement basement windows. The west elevation has wood sashed windows on the first floor (6x1, 1x1, leaded, stained glass) while the second floor has a wood framed 6 x 1 sashed window and a stained glass casement window. The basement windows are hinged, 3 light wood framed windows. Near the rear is a brick end wall chimney flue. On the first floor of the east elevation there are two small stained glass inoperable, wood framed windows and near the front a nonfunctional paired, French door that has leaded, opaque glass (24 panes per door) with a stained glass symbol in each door as well as an iron railing approximately 4 feet off the ground. The second floor has two 6 x 1 wood sashed windows. There is a sloped, rock faced, ashlar limestone wing wall on the front corner. On the rear are four window units, all wood framed, 6 x 1 sashed windows (a triple and small double window unit on the first floor and two double window units on the second floor). The basement windows on this elevation are replacement glass block windows. On the back of the house is a newer one story, gabled wing that has a wider roof overhang on the composition shingle roof and stucco walls with simple half timbering (rectangular panels), a bay window on the south side and a triple window unit. All windows are casements except the middle bay and have diamond patterning. This addition appears to have been added after 1967 when the fire insurance map was printed (and based upon the dissimilar roof form). Behind the house, near the southeast corner is a end gabled, two car, matching brick and tile roof garage that faces east onto the driveway. It has wood siding in the gable end. Besides the aluminum storm windows, the only alteration appears to be the rear addition, which does not blend well with the main house, despite the attempt to utilize half-timbered stucco, primarily because of the wider eaves on the roof, but this alteration is not too prominently positioned from the street view and does not seriously impact the historic integrity of the house.

43. History and Significance

Although the assessor estimated the year built as 1939, the house was not finished in time to be listed in the 1939 city directory. The next directory, published in 1941, listed this as the home of Henry C. and Clara Prevallet. He was a private secretary for Drug Package Company in St. Louis. They continued to live in this house at least through 1955, by which time he was vice-president. The home is an interesting Tudor Revival design, with a steeply pitched gable on hipped roof of flat concrete tiles, both unusual features on the Tudor Revival homes that dominated this community since most other houses had steeply pitched side gabled, slate roofs. The design of this house is interesting also for the small, cross gable which further defines the roofline and the one story vestibule with the round arched stone entry as well as the massive, end wall chimney on the façade that gives the appearance of a split shaft. Besides these features, the house also utilizes characteristic Tudor Revival details, such as the multipaned, casement, and stained glass windows, as well as wood plank door. Behind the house is a detached, matching garage, but unlike most other garages in this community, the entry is positioned facing the outer edge of the property and at right angles to the driveway, creating the appearance of a private alley.

44. Description of Environment and Outbuildings

The lot is level and faces north onto Winchester Drive. There is a concrete driveway along the east side of the property that extends back to access the detached, end gabled, two car, matching garage facing the driveway at the southeast corner of the property. There is a serpentine, concrete sidewalk from the entry with a step to the public sidewalk. There is a large brick patio on the back side of the house that has decorative brick pillars framing the patio.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

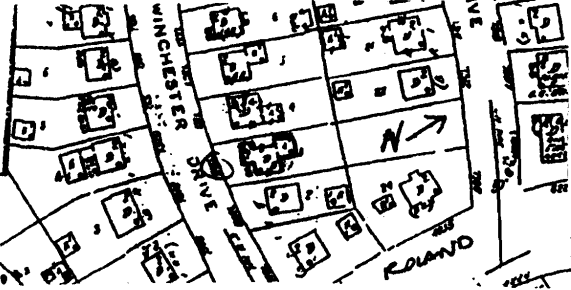
Aug. 2002

49. Revision Dates

7314 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0314		4. Present Name(s) Wynne, Aileen R., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Ernst, Frank M. and Mary A., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7315 Winchester Dr. - Lot 3, Block 12		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Craftsman	30. Foundation Material rock faced ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gabled, slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE 1
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Wynne, Aileen R.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Fair
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This brick house has a two story, gabled, multicolored (gray, red, brown) slate roof and L-shaped plan with a shed roofed, interior corner porch that forms the east bay of the three bay façade. Above the porch, the two story cross gabled section of the L forms what looks like a large, shed roofed, wood clapboard dormer that abuts the two story end gabled wing that forms the middle bay on the façade. The west bay is a one story, side gabled, wing. On the back, also projecting out on the west side, there is an intersecting gabled, attached garage wing. There is a window on the side and one on the façade above the porch; both are 1 x 1 wood sashed windows and the one on the façade has shutters. The windows on this house are all diamond pattern, leaded glass, wood sashed windows, except for the one on the entry porch, which is a small round arched, diamond patterned, stained glass window. The entry door is also round arched, near the interior corner of the entry porch and has an elaborate, mahogany wood door with a round arched, leaded glass light in the upper portion of the door that has raised panels at the base of this light with modillions as well as along the base of the door and as three vertical panels between. The porch extends the rock faced ashlar limestone, raised foundation with tiered, rounded corner and bullnosed, quarry tile steps leading to the quarry tile floor of the porch that caps this stone wall. There is an iron railing, which may be original given the blending of Craftsman and Tudor Revival features on this house, but it appears to be a later replacement. The outer corner has a large rock faced ashlar limestone corner post that extends from the foundation nearly to the eaves where there is a dressed stone cap and then wood posts that have curvilinear brackets. On the end of the porch adjacent to the middle bay there is a pilaster treatment that is the same as one half of the corner posts. The two story, end gabled bay in the center has a small, rectangular, louvered attic vent in the gable end with the eave overhang supported by beam brackets at the peak and near each end. There is a single second floor sashed window that has a decorative iron, faux balcony. The first floor has a triple window unit with a wood beam lintel and turned spindle pilasters between the three sashed windows with shutters. Continuing the wood lintel and as a continuous lintel across the second floor is a brick soldier course. The gable end has a contrasting diamond pattern brick. The side gabled wing on the west has paired windows on each elevation and a stone wing wall. The gable end is wood clapboard. There is a brick end wall chimney that appears to be behind this wing on the two story section of the house. On the east elevation, there is a hipped pent roof supported by curved brackets over a side entry door. This door is also a patterned wooden door and it opens onto the adjacent driveway. On the back of the house is a small, wooden porch supported by short concrete posts. It has a wood paneled door with 4 lights. The adjacent window has 6 lights but the lower sash has been replaced with a window air conditioner. This porch appears original, although it does not show on the 1967 fire insurance map. On the back elevation, offset beyond the west elevation wall is a side gabled, attached, two car garage made with the same brick. It faces east toward the driveway. Besides the aluminum storm windows and the replacement aluminum gutters, the house appears unaltered on the exterior.

43. History and Significance

Frank and Mary Ernst purchased this lot from Carter Realty on July 10, 1930 and their building permit was issued on August 20, 1930. At the time, they lived at 4529 Greer Avenue. The plans for this house were designed by Julius E. Tarling, the most popular architect in Pasadena Hills development. This Tarling design is especially significant because it appears to be his earliest design in Pasadena Hills and it is the only known example where he utilized both Craftsman and Tudor Revival stylistic features. The Craftsman influence is evidence in the house form, which is basically an L-shaped house with a large shed roofed, interior corner porch and a side gabled, one story wing. Craftsman detailing is also found in the wider eave overhangs, exposed rafters, the beam brackets, the tall stone corner posts supporting the roof of the porch that support short wood posts and curvilinear braces. While the prevalent design is Craftsman, the use of the round arched doorway and small round arched window on the porch are features found on Tudor Revival designs. Both styles utilize the stained glass windows and decorative brick details. The Ernsts continued to live in the house for many years, apparently as their retirement home since no occupation was ever noted in the city directories and by 1941 Mary Ernst was a widow. Between 1949 and 1953, Frank M. and Helen F. Roeder had moved into the house. He had one of the early supermarkets in St. Louis. This house is also significant for having an attached garage, a rarity for such an early house, but it was designed much like a detached garage with abuts the back of the house.

44. Description of Environment and Outbuildings

The lot is basically level and faces south onto Winchester Drive. There is a paved, one car, driveway along the east side of the lot that extends back and around to enter the garage attached on the west end of the back of the house. There is a straight, concrete sidewalk from the street to the porch entry on the façade.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, Book 1074, p. 283.; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, August 20, 1930.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


Aug. 2002

49. Revision Dates

7315 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLHS0391 - 0317		4. Present Name(s) Carter, Ernest T. & Betty T., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Gilmore, Arthur R. and Willie E., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7320 Winchester Dr. - Lot 4, Block 11		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced, ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable - Slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape hyphenated rectangle
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Carter, Ernest T. & Betty T.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Fair
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored slate roof, and multihued red brick house has copper gutters and downspouts with a soldier course of brick below the simple fascia boards to cap the façade walls. The foundation is rock faced, ashlar limestone with beaded mortar that is barely visible on the façade, but this same stone is utilized to form wing wall effects and as scattered decorative details on the shaft of the massive, end wall chimney on the façade. This chimney splits the two west bays, which have identical fenestration patterns (6 x 6 wood sashed windows on the second floor and 6 x 9 wood sashed windows on the first floor). These windows have simple, dark red brick sills and the same brick is used as the soldier course lintels with projecting brick caps on the first floor windows. The shaft of the chimney is divided into three sections with the corners of the base section having irregular stone detailing. The middle section is slightly narrower, again with scattered stones on the edges, but near the top of this section the shaft begins its split with another stone at its base. This split shaft is banded by a elaborate corbelled and dentil brick band just above the roofline and the upper shaft is laid to look like two separate shafts with a banded brick cap and two decorative chimney pots. The slightly shorter two story, cross gabled bay on the east end of the façade has another wood sashed window with leaded glass and shutters. On either side of the entry, angled back toward the recessed door, are rock faced stones, alternating three narrow stones with one large block to form a quoin pattern. On top of the entry is a rock faced stone, segmental arched and keystone lintel. To the west side of the entry is a metal, porch lantern which appears to be the original and there is a flagstone stoop which also has a rock faced ashlar limestone foundation. The oak, wood plank door has the arched top and a diamond patterned, stained glass light in the upper portion of the door. On the west end of the entry bay there are stacked stones that give the appearance of a wing wall and there is a large rock faced, ashlar limestone wing wall at the west corner of the façade. The west elevation has two sets of paired, 6 x 6 wood sashed windows on the first floor as well as two 6 x 6 wood sashed windows on the second floor. There is a narrow, rectangular, louvered, attic vent both the west and east gable ends. The east elevation has another chimney, this one a flue chimney. There are wood sashed windows on both the first and second floor, one a simple sash, a 6 x 6 sash, and one with stained glass and a medallion ornament. There is a stained and leaded glass casement window. On the rear elevation near the west end, there is a two story, hyphenated wing that connects the side gabled, two car, matching brick and slate roofed garage that faces east onto the driveway. It retains its original wood paneled door with paired lights in the upper row of panels. The rear elevation has one 6 x 6 wood sashed window. On the east end of the rear elevation is a two story porch wing that connects to the hyphenated section but does not connect to the garage behind it. All of these wings are original to the house, but the porch wing has been altered, enclosing both porches with wood siding and aluminum storm windows, with the first floor retaining the brick piers. The only other visible alteration has been the addition of aluminum storm windows.

43. History and Significance

Built in 1939, according to both city directory and assessor records, this Tudor Revival style house was initially the home of a credit manager, Arthur R. Gilmore and his wife, Willie E. Gilmore. The couple continued to live in their new home at least through 1943, but when the next directory was published in 1946, George W. and Elizabeth S. Bergman were now listed in the house. He was a sales engineer for Sullivan Mach. Company. They also lived in the house only for a short time, when the next directory was published in 1949, Andrew H. and Isabelle Till had moved into the house. He was a sales manager for Orchard Paper Company. They were still living in the house in 1955, when city directory research ended. This is one of the many Tudor Revival style houses that help characterize this commuter suburb. Its design is focused on the massive, elaborate end wall chimney on the façade that is balanced by the two story cross gable of the entry bay and the contrasting stone arched entry and the large stone wing wall on the other end of the façade. The design utilizes other distinctive Tudor Revival characteristics: multipaned sashed windows, a wood plank door, and scattered rock faced stones as highlights on the façade. As was characteristic of this community, the garage was located behind the house, in this case connected by a hyphenated wing on the rear of the house. Unlike most houses in Pasadena Hills, there is a side entry connecting to the driveway as well as rear entries. Although the two story sun porch between the house and garage has been enclosed in a manner that contrasts rather than blends with the rest of the house, it is located along the rear side of the house and as such does not have a major impact on the historic integrity of the property.

44. Description of Environment and Outbuildings

The lot is level and faces north onto Winchester Drive. There is a straight concrete sidewalk from the entry with one step down to the public sidewalk. Along the east edge of the property is a paved one car driveway that turns to the west to the entry of the attached garage.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

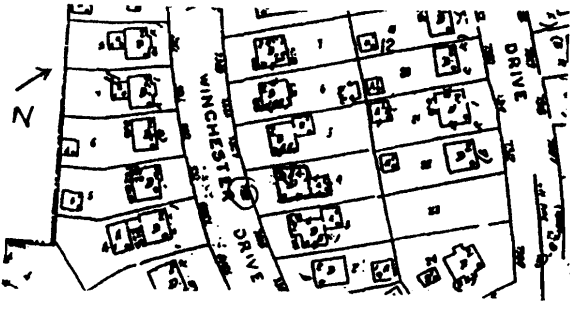
Aug. 2002

49. Revision Dates

7320 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0318		4. Present Name(s) Dieckmann, Steven L. & Kay E., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Krewinghaus, William F. and Grace, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7321 Winchester Dr. - Lot 4, Block 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Fred J. Kleinhoffer, probably	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Dieckmann, Steven L. & Kay E.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable - Slate	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, cross gabled, multicolored (red, brown, and yellow) brick house has a multicolored slate roof with copper gutters and downspouts with small collector boxes. The main roof is side gabled, with a massive, asymmetrical cross gable which has one side that continues down to the first floor, with a slate used on the wall behind this slender section of roof on the side gabled section. The façade is divided into two bays on the first floor with the upper floor having a triple sashed window unit of narrow 2 x 1 wood sashed windows and a soldier course lintel. Above this window is a round arched, slender, louvered, attic vent that has a metal, faux balcony. On the first floor, the west bay has a broad segmental arched window unit with the arch and sides framed by irregular, rock faced limestone. The elliptical transom has diamond patterned, stained and leaded glass. The four windows are also leaded, stained glass within the wood sashed frames and the upper sashes of the two middle windows have decorative stained glass medallions. Both windows have dark brick sills. The west corner has a small wing wall with the two angled steps accented by irregular limestone rocks. A similar treatment is used on the sloped, west side of the asymmetrical chimney that merges into the gabled, one story vestibule walls on the east side of the façade. Scattered stones also accent the stepped upper shaft and the chimney cap where there is one decorative chimney pot. The roof of the vestibule is also asymmetrical, with a longer slope on the west through the chimney. With the west side of the vestibule being the lower shaft of the chimney, the east side has a slender wing wall with its steps accented by more stones. The round arched doorway is off-centered toward the east and the door deeply recessed in the irregularly quoined, rock faced limestone surround (with a large keystone). The door is a wood plank oak door that has recently been painted white. It has a small round diamond patterned stained glass light and large metal strap hinges, one of which arches over this decorative light. The entry stoop is covered with red quarry tile and has what appears to be the original iron railings on the porch and steps leading to the serpentine sidewalk. The main façade wall has another stepped, narrow wing wall accented by stones on the east corner. The first floor of the west elevation has four round arched, diamond patterned stained and leaded glass, wood framed casement windows (the two on the front are larger) and on the second floor there are two 3x1 wood sashed windows (both with window air conditioners) as well as one sashed window with leaded, opaque glass with medallions. The basement on this side has two hinged, 6 light, wood framed windows with security bars and one window that has been converted to an air conditioning unit. On the east elevation, there are 2 x 2 wood sashed windows on the first floor (one single and one paired) and there is a stairway window that is a round arched opening, but has a rectangular, wood framed, diamond patterned, leaded and stained glass window (with aluminum sheeting infilling the arch). The second floor has a 3 x 1 wood sashed window and the basement has two 6 light hinged, wood framed windows with security bars. On the back is the attached wing, near the east end, and both its east and west elevations have a 3 x 3 wood sashed window with opaque glass. This attached two car garage has a flat roof with matching brick walls and faces the rear of the property. The rear of the house has a paired 2 x 2 wood sashed window on the first floor and a 3 x 1 wood sashed window on the second floor. On the west end of the rear elevation is a rear porch that appears to be a later addition, although it has brick walls with a wood door with an aluminum awning and large section of multipaned glass. This porch wing does not show upon the 1967 fire insurance map and appears to be a more recent addition, but it is not visible from the street.

43. History and Significance

A building contractor, Fred J. Kleinhoffer, and his wife, Caroline, acquired this property from Carter Realty on April 8, 1930. Since he was a contractor, it is likely that he built their new home, although that cannot be verified. It also appears likely that they built this house as an investment, finishing this house and then moving onto the next project after it was sold. The couple was only listed in the 1932 directory at this address, but by 1934, new owners had moved into the house, William F. and Grace Krewinghaus. The Krewinghaus family continued to live at this address for many years, at least through 1955 when city directory research ended. For these reasons, the historic name of this house is associated with them, rather than the Kleinhoffers. This is one of the earliest homes in Pasadena Hills development and it is a good example of a Tudor Revival cottage design with the characteristic complex roofline, the decorative chimney prominently located on the façade, the asymmetry of the façade, the use of rock faced stone for decorative details, the variety of window treatments, the use of wing walls to break up the vertical lines, and a round arched entry. Although aluminum storm windows and storm doors obscure some of the detailing on the windows and doors, and the normally dark wood plank door is now painted white (which makes it more prominent visually), the house retains all of its original features and is a significant building in the historic district both for its design and as one of the oldest homes in the community. In addition, it has an original attached garage wing on the rear, although many early homes in Pasadena Hills had detached garages. This garage wing represents the importance of the automobile even in the early development of this commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically flat and faces south onto Winchester Drive. There is a paved concrete driveway along the east side of the property and house that leads back to provide access to the rear entry to the attached garage on the back of the house. There is also a serpentine concrete sidewalk from the front stoop to the street.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, Book 1046, p.389.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

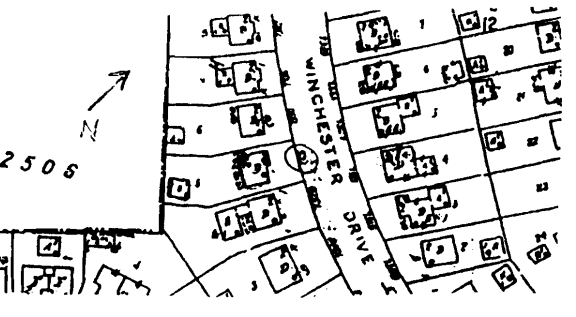
Aug. 2002

49. Revision Dates

7321 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLASC39 - 0319		4. Present Name(s) Richardson, David Lewis & Nadine L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Nieman, Ernst H. and Nellie M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7326 Winchester Dr. - Lot 5, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	
8. Site Plan with North Arrow		18. Style or Design French Eclectic	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Richardson, David Lewis & Nadine L.	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
15. Name of Established District Pasadena Hills Historic District		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material stuccoes concrete	
		31. Wall Construction concrete block. stone faced	
		32. Roof Type, Material gable, slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment uncut rubble limestone	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, uncut rubblestone with beaded mortar house is basically an L-shaped plan with a one story, round vestibule with conical roof on the interior corner along with a rear porch wing. The roof is multicolored slate with enclosed, overhanging eaves that have returns at the ends of the gables that form a decorative vergeboard. The gutters are painted copper. The round arched entry is angled in the vestibule with what appears to be the original porch lantern positioned above the opening. The round arched, oak plank door has a round arched, stained glass light in the upper door as well as large metal strap hinges, one of which arches across the top of the door. Stained glass porthole windows flank the door. There is now a full view storm door as well. The curved waterfall concrete steps tier down to the sidewalk and are split by an iron railing, which may be a later alteration. On both sides of the steps there is a stone half-wall around a concrete porch that extends across the front of the east bay and around the tower to the west bay. The top of this sitting wall has dressed stone caps and there are stone corner piers that are similarly capped. The first floor window units in each flanking façade bay are baskethandle arched openings with elliptical arched transoms. The transoms are fanlights and the triple windows below are all leaded glass with heraldic, stained glass medallions in each upper sash. The only difference between the two wood sashed window units is that the west bay has single light lower sashes. Both have stone that outlines the baskethandle arches and the west window has dressed stone sills, but the east window unit extends to the porch floor, as faux doors flanking the center door. In the gable end of the west bay there is a Palladian style window with casement windows flanking the round arched window, all with leaded glass. Each side elevation has 6 x 1 wood sashed windows. On the west., there are two on the first floor in addition to the paired lead glass casement window as well as a paired sashed window on the second floor. There is also a small wood framed window with opaque glass. On the east elevation, there are sashed windows on both the first and second floor as well as two leaded glass casement windows. Some of these windows have had aluminum awnings added. On the east elevation is a stone end wall chimney that extends through the eaves near the façade and has an upper shaft of brick with a corbelled cap and paired, decorative chimney pots. On the rear there is a similar sashed window, again with aluminum awnings. On the rear there is a dormer as well as a one story enclosed porch, which has aluminum awnings added. At the back, southeast corner, is a two car, end gabled, matching stone wall and slate roof garage that also has wider, enclosed eaves. Except the aluminum awnings and aluminum storm windows, the enclosure of the back porch appears to be the only exterior alteration to this unusual French Eclectic style house.

43. History and Significance

Built in 1938, the first owners of this house were Ernst H. and Nellie M. Nieman. He was a factory superintendent for the CC Corp. in St. Louis at the time. By 1943, he was superintendent at the Clearview Equipment Company. The Niemans continued to live in the house at least through 1949. With the next directory, published in 1953, new owners had moved into the house. Margaret A. and G. H. Suelthaus were still living in the house in 1955 when city directory research ended. He worked with Suelthause and Krueger in St. Louis. This is one of the most unusual houses in Pasadena Hills. In contrast with most other homes in this community, which are brick, this house is mostly uncut rubble limestone with only a few bricks used on the upper chimney shaft. In addition, it is designed in the French Eclectic style, noted for its round tower vestibule. This particular example of the French Eclectic style, has a broad, shallow conical roof on the tower and baskethandle arched, leaded and stained glass windows on the first floor façade windows on either side as well as a Palladian style window on the upper level. Behind the house is the original, two car garage made of matching materials, an indication of the importance of the automobile in the development of this commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically level with a concrete driveway along the east side of the house and property that curves back to the detached two car, end gabled, rubble stone garage at the back, southeast corner of the yard. There is a serpentine, concrete sidewalk from the entry steps to a step at the public sidewalk and street. There is also a concrete connection between this sidewalk and the driveway at the base of the steps, but some of this appears to be a later replacement sidewalk.

45. Sources of Information

46. Prepared by / Organization

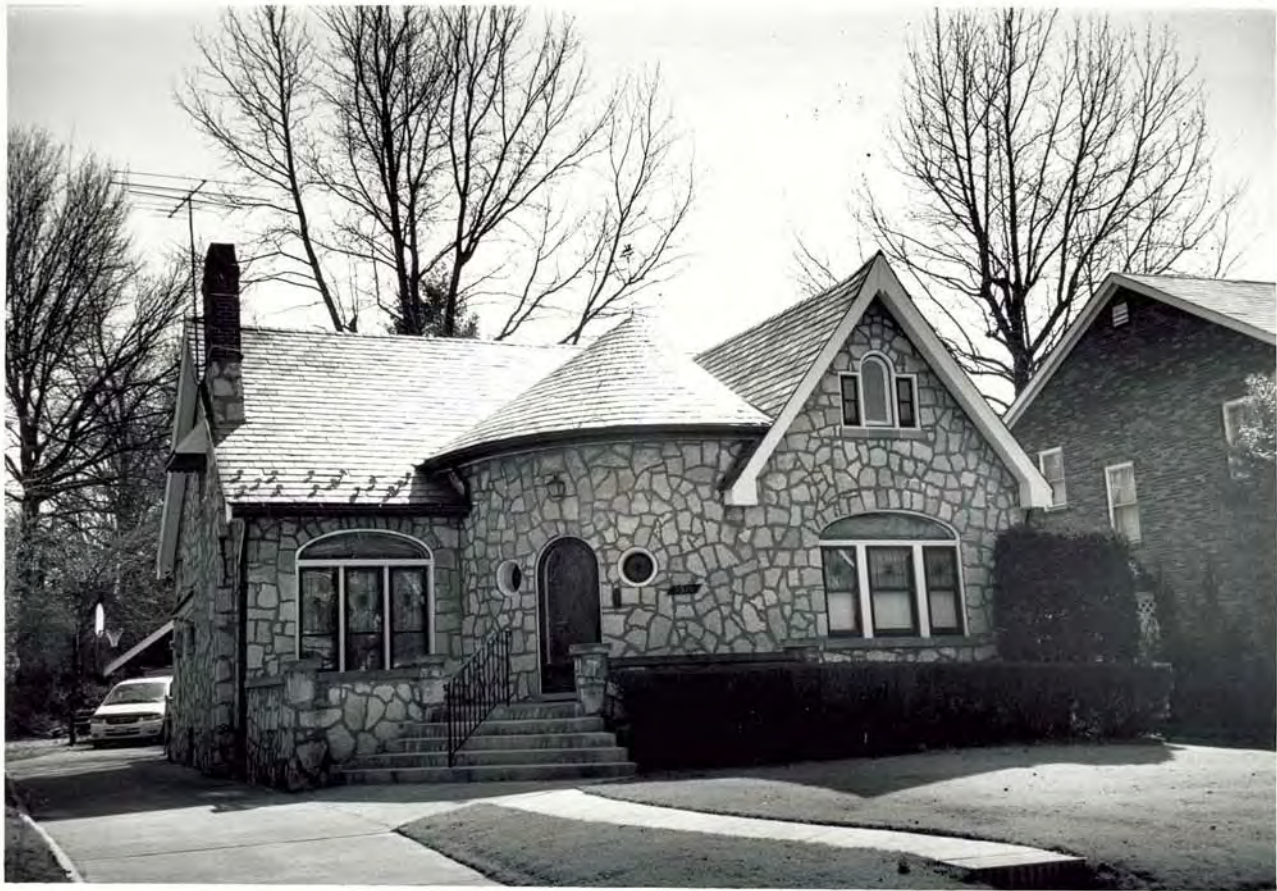
Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

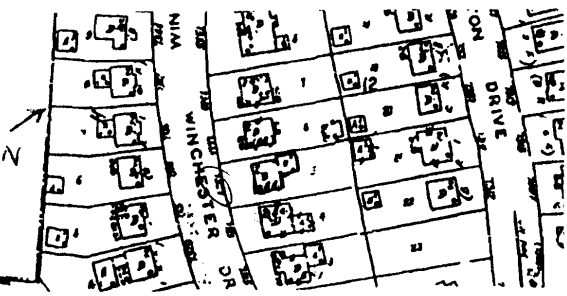
Aug. 2002

49. Revision Dates

7326 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS089 - 0320		4. Present Name(s) Branch, Urlene Jackson, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Ehrhardt, Willis G. and Luella A., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7327 Winchester Dr. - Lot 5, Block 12		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930-1934	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material gable, slate
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 4 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Branch, Urlene Jackson	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, end gabled house has flanking shed dormers which have slate shingle siding similar to the gray and red slate roof. There is a roof overhang that is enclosed and the gable end is clad in replacement vinyl siding. There is a round arched, diamond patterned stained glass, wood framed window in the attic that has a keystone in the wood framing that was not covered by the vinyl siding. The house retains its copper gutters, but some sections have been replaced with aluminum. The walls are primarily multicolored (red, brown and yellow) brick, with a coursed, rock faced ashlar limestone foundation with beaded mortar and decorative stone detailing on the chimney and scattered near the foundation and at the corners as wing walls. The façade is divided into four bays, with the west bay being a one story sun porch wing that has a swayback shed roof extension of the main gable. There is a small section in the half gable end of replacement vinyl siding, but most of the walls of this sun porch are brick and it has always been enclosed with windows, a paired 4x1 wood sashed window unit on the façade as well as a triple window on the west elevation that has 4 x 1 wood sashed windows flanking a 6 x 1 wood sashed window. Next two bays on the façade between the sun porch and the front entry porch are split by the decorative end wall chimney that has scattered, rock faced, limestone blocks on the sides. Although the west side of the chimney is straight, the east side has two angled steps to the upper shaft where there is a decorative iron tie rod. Above the corbelled brick cap are two chimney pots, although one has been at least partially replaced with a metal flue vent. On either side of the chimney on the first floor, there are 6 x 1 wood sashed windows with half screens and above the windows there is decorative brick laid to form a round arch infilled with brick set in a V shaped pattern. On the second floor to the west of the chimney is another tiny, round arched, wood framed window. To the east of the chimney, on the second floor, are paired, 6 x 1 wood sashed windows with half screens. This window unit is centered above the first floor window but off-centered from the gable ridge. The east bay has the end gabled front porch and entry. The doorway is also round arched with a wood plank door that has recently been painted white, but it retains its round arched light in the top portion of the door and its large strap hinges, the top one arching over the light. On each side of the quarry tile porch floor there are brick half walls capped with dressed stone that serve as the base for three large spindles and a corner wood post that is slightly curved and supporting the carved wood lintel across the front of the porch. The sunburst pattern in the gable end appears to be vinyl siding rather than the original wood siding. In front of the porch there is a large, quarry tile stoop (the same size as the small porch floor) with one quarry tile step, both of which appear to be a later alteration. On the east elevation there is a round arched, stained glass, wood framed casement window near the façade. Behind this is a hipped pent roof supported by curvilinear brackets over the side entry door that provides direct access to the driveway adjacent to the house. Next to the door is a small, wood sashed window. At the back of this elevation is a shed roofed, suspended, flat, framed bay window with paired 6 x 1 wood sashed windows, which is now clad in vinyl siding but still retains its slate roof. On the second floor, apparently with a staircase because of the staggered configuration there is a wood sashed window with stained glass and another 6 x 1 wood sashed window. The basement windows on this elevation has two 3 light wood framed windows as well as one hinged wood framed window. None of the windows on this elevation are screened. On the west elevation, there are two pairs of wood sashed windows, one set 4 x 1 and one set 6x1, on the first floor. On the second floor there is a pair of 6x1 wood sashed windows as well as a pair of wood casement windows. The portion of the garage wing that extends beyond the west elevation of the house has a 6 x 1 wood sashed window toward the façade. There are three more hinged, wood framed basement windows on this elevation of the house. On the rear, there are 6 x 1 wood sashed windows, a paired set on the first floor and a single window on the second floor as well as a stained glass wood casement window on the second floor. There is also a 1 x 1 wood sashed window in the garage wing. The two car, matching brick and slate roofed, garage wing attaches to the back of the house at the west end and is side gabled, facing east onto the driveway. The gable ends are clad in vinyl siding. There is probably a nonhistoric (not on the 1967 fire insurance map) metal floored and fenced deck on the rear of the second floor accessible by a door.

43. History and Significance

Although the assessor estimated the year built as 1930, this address does not appear in the 1932 (the first to include Pasadena Hills) or 1934 directory, but there was a listing in 1934 for 7325 Winchester Drive as vacant. This was not a number used and it most likely refers to this house since this number never appears again in the directories. A vacant designation in the directory probably means the house had just been completed, but not yet occupied. In the next directory in 1936, Willis G. and Luella A. Ehrhardt were listed at this house. He was a machinist and the family continued to live in the house at least through 1943. When the next directory was published in 1946, new owners had moved into the house, Harry E. and Gertrude R. Rosenau, initially along with the widow of Max, Addie Rosenau. His occupation was listed as expeditor. They lived in the house through the end of the decade but by 1953 the house was vacant. In 1955, the directory listed new owners, salesman, Louis M. and Lorraine C. Smith. This is an uncommon example of the Tudor Revival style that utilizes an end gabled form with flanking shed roofed dormers, a shape not usually seen in Pasadena Hills. It has many of the distinctive Tudor Revival details: the massive stepped end wall chimney with rock faced stone highlights, the decorative brick patterning, the multipaned sashed windows, stained glass windows, repeated round arch details including the doorway, the slate roof, and a wood plank door with decorative strap hinges. This house is unusual also for its gabled front porch, where most examples of this style in Pasadena Hills had enclosed vestibules with simple stoops. While carved beams and turned spindle details are found on this style it is a less commonly used detail. Unfortunately, vinyl siding has replaced the original wood siding details in the gable ends and on the bay window, which has been overlaid, reversing the relationship of framing and wall. Even so, the house retains most of its historic integrity, including the original attached two car garage that was designed like a detached garage but abuts the back of the house.

44. Description of Environment and Outbuildings

The lot faces south and is basically level with a one car, concrete driveway along the east side of the house that extends back and turns west to the attached garage entry on the rear. There is a red paving stone sidewalk that angles away from the driveway from the entry porch to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

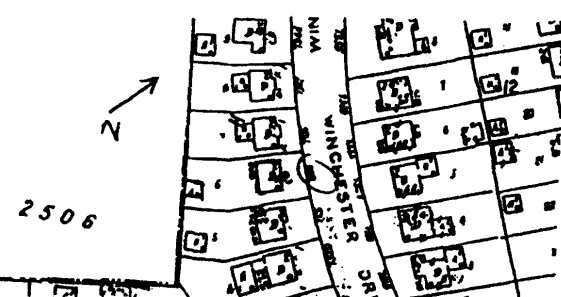
Aug. 2002

49. Revision Dates

7327 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0321		4. Present Name(s) Williams, Debora, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Miller, William J. and Tessie C., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7330 Winchester Dr.- Lot 6, Block 11		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	30. Foundation Material Poured Concrete
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor J. S. Mills or Builder	32. Roof Type, Material gabled, slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape orig. rectangular
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Williams, Debora	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This side gabled, two story, multicolored (reds, orange, and brown) brick and multicolored (gray, red, black) slate roofing house has one gable end chimney on the west with a corbelled brick cap that is positioned through the roof and in front of the ridge. The façade is divided horizontally by the continuous brick soldier course below the sills on the second floor windows. The fascia and boxed cornice, along with the copper gutters and the dentil course form an entablature at the top of the façade. The gutters have small decorative collector boxes on the downspouts which help visually divide the façade into two bays. The entry is located in the east bay. It has a broken pediment with dentils supported by pilasters. The fanlight transom above the door extends into the pediment. The door is a wood paneled door with four panels below the four small shoulder arched lights across the top of the door. The original iron railings on either side of the entry are splayed on top of the concrete stoop that has flared rock faced stone walls on either side of the steps. Above the entry are two narrow 8 light wood casement windows with a wide mullion between them and shutters. The west bay has a large canted bay window on the first floor with a standing seam copper roof. The 6 x 6 wood sashed windows on each side of the 9 light fixed wood framed window have decorative panels above the windows while the fixed center window is taller, referencing a Palladian window design. There are recessed wood panels below each of the windows. Above the bay window is a gabled wall dormer that has a 6x6 wood sashed window with flanking 6 light wood casement windows with shutters on the outer sides. Below the sashed window is a decorative, iron, faux balcony. The windows on the sides and rear elevation are generally 6 x1 wood sashed windows. There is a hipped copper roof, grade level entry on the east side of the house to access the house from the driveway that is supported by simple, square wood posts. There is also a glass block window on this elevation. There is also a rear entry to the basement. The original two story open porch on the west end of the rear elevation has been converted into enclosed spaces with asbestos tile siding, a hipped roof, and a series of sashed windows on the first floor as well as small windows on the second floor. This alteration is only visible from the façade at a steep angle and as such does not severely impact historic integrity. The only other apparent alterations to the house appear to be the aluminum storm windows and storm doors. Behind the house, near the southeast corner is a two car, end gabled, matching brick and slate roofed garage that has a replacement overhead door.

43. History and Significance

On September 2, 1936, J. S. Mills took out the building permit for this house. His identity has not been clarified as to builder or developer, but he is known to have been responsible for several other homes in this community. The assessor's estimate of 1937 as the year completed appears to be accurate since it is unlikely that the house was completed in the fall of 1936 and it was listed in the 1938. By then, William J. and Tessie C. Miller lived in the house. They would continue to live there at least through 1953. He worked with Hawthorne Coal Company, as its vice president initially, but later as its president. In 1953, Tessie C. Miller was not listed in the city directory with him. In the 1955 directory, Richard H. and Margaret M. Sievers are listed at this address. He was a salesman for E. E. Southern Iron Company. As a Colonial Revival design, this house utilizes many of the distinguishing features of this style, often more than other simpler Colonial Revival designs in the community. Besides the characteristic side gable, gable end chimney, and multipaned windows, this design utilizes a broad fascia board with dentil molding, an elaborate broken pediment entry with pilasters and half round fanlight, as well as two references to the classical Palladian style window, although both examples use a taller, rectangular center window instead of a round arched window. The two story open porch on the rear has been enclosed. There are plans on file for this house in city hall dated 1953, but no architect is identified. These are for alterations made at that time, probably the enclosure of the two story back porch. While the window pattern, roofline, and wall materials are not compatible with the original design of the main house, at least this alteration is on the rear of the building where it does not have a significant impact on the streetscape. Behind the house is the original two car, detached garage that matches the materials of the house and is characteristic of the development of Pasadena Hills where garages were positioned at the rear of the property to minimize the impact on the streetscape, despite the fact that this is a commuter suburb. As such, both the house and garage are contributing buildings in the historic district.

44. Description of Environment and Outbuildings

The lot is basically level and faces north onto Winchester Drive. There is a tiered, concrete sidewalk from the entry to the public sidewalk as well as a small section that extends to the driveway at the base of the entry stairs. The one car paved driveway is located on the east side of the property and extends back and curves to the detached, two car, end gabled, matching brick garage.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 2, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

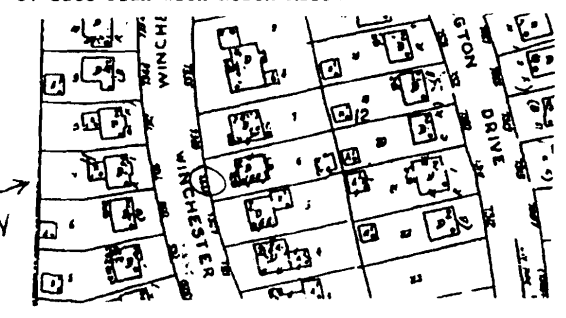
Aug. 2002

49. Revision Dates

7330 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0322		4. Present Name(s) Schweitzer, Joseph P. & Charlene J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Linders, Walter F. and Dora B., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7333 Winchester Dr. - Lot 6, Block 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931	
8. Site Plan with North Arrow 		18. Style or Design Craftsman	
9. Coordinates Lat Long		19. Architect or Engineer Tarling, Julius E.	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Schweitzer, Joseph P. & Charlene J.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material cross gable, slate, now comp. shingle	
		33. No. of Bays FRONT 2 SIDE 4	
		34. Wall Treatment Brick	
		35. Plan Shape square + wings	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, red brick house has a side gabled roof with a front facing two story gabled bay on the west end of the façade and a sloped extension of the main roof into the shed roof porch on the east end of the façade. There is a shed roofed dormer with transomed paired casement window and architectural slate line shingles on the walls (replacing original slate shingles) in the east bay abutting the gabled bay. The roof was also originally slate, but has been replaced with architectural slate line shingles. The wide eaves retain the original bead board and have decorative notched rafter tails on the bargeboards. Decorative L-shaped brackets support the overhang of the gabled bay. There is an end wall brick chimney on the west side of the gabled bay. The house has copper gutters (painted black) with rosettes on the downspouts. The limestone foundation with its rock faced ashlar pattern extends up the façade at the corners of the house and porch in a random treatment, forming wing walls on the porch and helping ground the house visually with the land. The house generally has 3 x 1 doublehung wood windows but the dormer window is a casement window with transom. There are 7 stained glass windows along the side elevations. The front door is a rectangular stained oak door with six panels and a stained glass rectangular light. The west gabled bay has three windows clustered together on the first floor with paired windows on the second. These windows have soldier brick courses, with the lintel for the first floor façade windows becoming a belt course. Sills are brick. Like most windows on the house, these are 3 x 1 wood sashed windows with the upper sash having vertical muntins. In the upper portion of the gable end is a decorative brick pattern. In the west bay, the shed roof porch extends out beyond the façade line and is supported by massive brick corner posts resting on brick half-wall railings. Massive, wood scroll brackets support the porch roof at the posts and against the façade wall. The side walls below the shed roof of the porch have half-timbered siding. The porch floor is quarry tile and the steps are brick with bullnose edges. There is a concrete sidewalk leading directly to the street from the porch. On the east side of the house is a shed roofed, flat bay window with paired sashed windows. It is now clad in vinyl siding. On the back of the house is a one story enclosed frame porch, which was probably an open porch originally that now has a wooden deck accessed by the kitchen door. The house retains a high degree of historic integrity with only minor alterations (the new roofing, vinyl siding on the bay window, and aluminum storm doors and windows). Behind the house, near the east end of the property is a two car, end gabled, detached, two bay garage with matching brick and the original slate roof that retains its original wood paneled doors.

43. History and Significance

This house was built in 1931 in the young neighborhood and community of Pasadena Hills for Walter F. and Dora B. Linders. They had purchased the property from Carter Realty on September 9, 1929 but their building permit was not issued until April 29, 1931. At the time, they were living at 4211 Pleasant Avenue. In the early directory listings, Walter Linders was listed as a manager. Later he was listed as working with Northwestern Mach. Corporation and by 1949 he was identified as a screw manufacturer. Although they are still listed at this address in 1949, by 1953 the city directory reported "no return" for this house, likely because it was vacant. In 1955, the city directory recorded new occupants and owners, Bernard J. and Alice Heggeman. He was a salesman for Graham Paper Company. The current owners, Joseph and Charlene Schweitzer, reported that Leonard Schrewe lived in the house for many years before selling the property to them in 1984. This is one of the few examples of the Craftsman stylistic design in the community and it is an especially good example of the use of Craftsman features on more vernacular designs, especially the overhanging bead board eaves, the decorative L-shaped brackets, the notched rafter tails on the bargeboards, the stained glass windows, and the 3 vertical lights in the upper sashes of most windows. The only concessions to the popular Tudor Revival style that permeated the development of Pasadena Hills are the scroll brackets on the porch and the foundation stone extension up the corners of the foundation. Behind the house is the original two car, detached garage, a common solution in Pasadena Hills to the need to accommodate the automobile (even more than one car) which was integral to the development of this commuter suburb where the preference was not to incorporate the garage in the streetscape design. The only apparent alterations to this house have been the addition of aluminum combination storm windows and full view storm door as well as replacement of the original slate roof by with composition shingles, but architectural slate line shingles were selected to minimize this visual alteration.

44. Description of Environment and Outbuildings

Located on the north side of the block west of Roland Blvd, the house is elevated slightly above the street in this suburban setting and flanked by other similarly scaled houses of the same age. To the east of the house is a concrete driveway, paralleling the side of the house that leads back to the detached, end gabled, two bay garage with its wood paneled doors and original slate roof. From the front porch steps, there is a concrete sidewalk that leads straight to the street.

45. Sources of Information

St. Louis County Directory, 1932. St. Louis: R. L. Polk and Company, Publishers, 1932, p. 827; Julius E. Tarling, Architect (St. Louis) "Residence and Garage for Mr. W. F. Linders, Lot 6, Block 12, Winchester Drive, Pasadena Hills." April 16, 1931 [original construction plans]; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, April 29, 1931.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

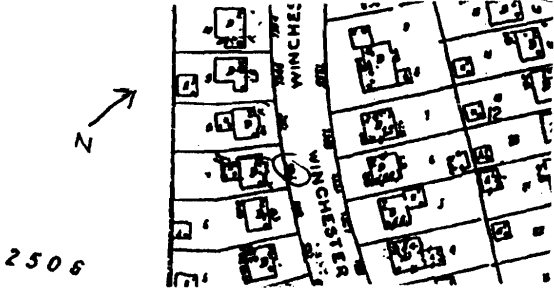
48. Date 49. Revision Dates

Aug. 2002

7333 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0323		4. Present Name(s) Rudd, James, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Schewe, Earl C. and Alma M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7336 Winchester Dr. - Lot 7, Block 11		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced, ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material gable, slate
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE 2
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular+rear win
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Rudd, James, et.al. J/T	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, orange, brown) brick and multicolored slate roof with copper gutters and downspouts. The foundation is rock faced ashlar limestone with beaded mortar. The façade is divided into three bays with a central cross gabled bay that projects slightly from the flanking bays. Most windows on this house are 6 x 1 wood sashed windows which have aluminum combination storms added (but they are painted to blend with the sashes). The sashed window in each outer bay on the façade has wood plank shutters. The sill of the leaded glass, wood sashed window on the second floor of the center bay becomes a continuous brick sill with dentil course that gives the appearance of a second floor overhang. The upper façade of this center bay is further distinguished by the diamond patterning of the brick. There is another brick course on this bay at the top of the entry lintel. Between the two courses and above the entry is an elaborate iron arch over the original porch light. The dark brick quoins and angled sides to the recessed entry are capped by the flat, dressed stone lintel. There is a low concrete stoop with one step. An aluminum storm door that obscures the view of the of the unusual oak, wood paneled door that has a stained glass rectangular light. The panel design has stiles and rails that form a cross around the stained glass light as well as a horizontal panel on top of two panels on the bottom portion of the door. The first floor windows in each outer bay have soldier course lintels. The window unit to the east of the entry is a double 6 x9 wood sashed window unit while the one on the west is a triple wood casement window with leaded glass and stained glass design. Both side elevations have brick end wall chimneys through the ridge with corbelled caps, but the one on the east is a smaller flue chimney. In addition to the 6 x 1 wood sashed windows on the second floor of the side elevations, the east elevation has paired, 6 pane, wood casements and a 6 x9 wood sashed window on the first floor and the west elevation has another 6 x 9 wood sashed window on the first floor. On the rear, there are 6 x 1 wood sashed windows as well as one 6 x 9 wood sashed window. Basement windows are 3 light wood hinged windows with security bars. On the back, there is a hipped roofed room clad with asbestos tile siding that has four 2 light sliding windows that has been added on top of the flat roofed brick garage wing that has a rooftop deck. While the garage appears to be original the hipped room on top appears to be a later alteration. The windows on the gangway section connecting to the garage are also sashed, although the one on the east is only a 1x1 wood sashed window while the other matches those on the main house with a 6 x 1 wood sashed window.

43. History and Significance

The assessor's estimate of the year built, 1938, coincides with the city directories, which listed this house as vacant in 1938 (often an indication that the house was nearing completion, but not yet occupied). By 1939, the directory listed Earl C. and Alma M. Schewe in this house. He was a dentist. The couple continued to live in this house at least through 1949, but when the next directory was published in 1953, Arthur S. and Lorine B. Purmort had moved in. He was a salesman for Hewitt and Robins. The reserved, Tudor Revival styling of this house is more symmetrical than usually found, but has a number of this style's characteristic features: a slate roof, decorative brick patterns, multipaned sashed windows, wood plank shutters, leaded glass casement windows, and an oak paneled door with a stained glass light. The entry of this house has a distinctive angled recess with brick quoins, a flat limestone sill and elaborate ironwork over the top of the lintel. This is one of the early homes in Pasadena Hills that had an attached garage. As was common the garage is located on the back of the house and this flat roofed design provides a rooftop deck, a feature seen on only a few other homes in this community.

44. Description of Environment and Outbuildings

The lot is level, although the front lawn is raised slightly to minimize the visibility of the driveway along the east side of the house that extends back to connect to the attached garage on the back of the house. There is a sidewalk that angles out from the front entry stoop to the step at the driveway.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

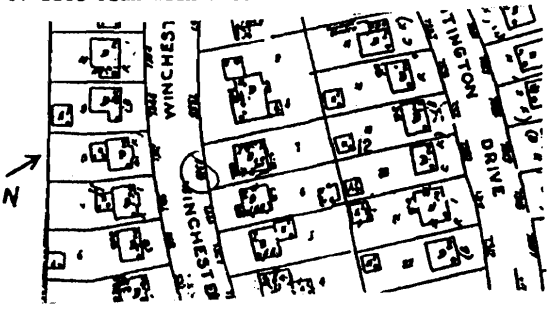
Aug. 2002

49. Revision Dates

7336 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLASOR91 - 0324		4. Present Name(s) Meierotto, Scott A. & Lesa A., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Silberstein, Harry and Doris, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7339 Winchester Dr. - Lot 7, Block 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931-1932	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Meierotto, Scott A. & Lesa A	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced, ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material hip on gable; slate, now comp. shingl	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior very good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, hip on side gable, multicolored (red, brown, olive) raked brick house has a light gray slate roof with red slate accent tiles. The gutters have been replaced with aluminum gutters and the eaves (with a wider overhang than usually found in Pasadena Hills) have been encased with aluminum. The façade is divided into three bays. The east bay is distinguished by a one story, end gabled, vestibule that has notched verge boards on the overhanging eaves and a round arched opening that is framed with rock faced, irregular quoining. Above the arch is what appears to be the original porch lantern and the outer corners of the vestibule also have stone quoining that forms angled wing walls. The entry door is a round arched, solid oak door with three vertical recessed panels on the bottom half and a large round arched stained glass light on the upper half of the door that is one of the most distinctive in the community. This stained glass light features a design that focuses around a chevron and is influenced by the Art Deco style. The middle bay has a large cross gable with similar wide eaves and verge boards. The upper floor of this bay gives the appearance of being an overhanging bay because of the basketweave brick half timbering (the gable end is also half timbered, but with plain brick). On the first floor of the middle and west bay are paired, 12 light, wood casement windows with inverted splayed wood lintels that have aluminum storm windows which are a contrasting color and obscure some of the detailing of the windows as a result. The second floor windows in both of these bays are paired, 6 x 1 vinyl sashed replacement windows, which appear to replace original sashed windows. Between these two bays is an end wall chimney, which is flush with the middle bay (the west bay is recessed slightly). The chimney has tapered steps on the west side, highlighted by rock faced stone and the lower shaft west edge mimics the appearance of the wing wall on the west corner of the façade with its irregular stone patterning. The upper shaft is highlighted by a large S-shaped tie-rod end and the corbelled cap features two decorative chimney pots. On the east elevation, near the façade is a decorative stained glass window with a heraldic shield pattern. Behind this, the other distinctive feature on this elevation is the gable roof, supported by knee braces over the grade level side entry door that provides direct access from the driveway. Like the other entry porch, this roof is slate and the steps are quarry tile. On the rear elevation there is an intersecting two story gabled wing on the west side and the main gable roof extends down to the first floor level on the east end. Near the east end of the rear elevation, there is a small porch enclosed with beaded board wood siding and aluminum windows. Its roof is composition shingles that appears to be a later alteration of an original open porch. In the basement, accessed from the rear is a two car garage with a wood paneled door with glass in the top section. The windows on the other elevations appear to have been replaced with vinyl windows as well. Since the façade retains its distinctive details, especially the half timbering, the chimney with chimney pots, the unusual oak entry doors, and first floor casement windows, as well as the gabled roof over the side entry, the house retains much of its historic integrity despite the replacement vinyl windows and the enclosure of the back porch.

43. History and Significance

Harry Silberstein purchased this lot from Henry Carter (Carter Realty) on September 11, 1930. Although Doris Silberstein was not listed on the deed, at least by the time their new home was finished, she joined Harry Silberstein. He was a salesman. In 1932 the house was listed as vacant in the city directory, usually indicating that it was nearing completion but the owners had not moved into the house, making it likely that the home was finished late in 1931 or early 1932. The assessor's estimate of 1931 is probably on target. The Silbersteins continued to live in this house at least through 1943. In the next directory in 1946, new owners had moved into the house, Marvin F. and Mary W. Johnson. He was a druggist, listed in 1949 as the president of Sievers Drug Company. This Tudor Revival style house is nicely composed with the unusual hip on gable roof with the tiered gables created by the half timbered cross gable near center and the one story gabled vestibule projecting on the east end of the façade. These gables are balanced by the façade end wall chimney with its decorative stone detailing and chimney pots. The design utilizes other characteristic Tudor Revival features, basketweave brick patterns, rock faced stone details, wing walls on the vestibule and facade corner, and a variety of window patterns, including wood casements and stained glass windows, but the most unusual feature is the stained glass light in the entry door, which has a chevron and other Art Deco references. Upper floor windows have been replaced with 6 x 1 vinyl sashed windows, which impacts the historic integrity of the design, but it appears these replace original multipane sashed windows and the predominant design elements still retain their historic detailing, making the building contributing to the historic district.

44. Description of Environment and Outbuildings

The lot is basically level and faces south onto Winchester Drive, but the west side of the yard drops down to the adjacent property. There is a one car driveway along the east side of the house that extends to the back to access the rear entry to the basement level garage. There is a curved concrete sidewalk from the driveway to the front entry vestibule.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date


Aug. 2002

49. Revision Dates

7339 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0325		4. Present Name(s) Tolson, Gregg L. & Floretta Bush, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Braun, Alfred R. and Marie J., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7342 Winchester Dr. - Lot 8, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936-1937	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Tolson, Gregg L. & Floretta Bush	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material cross gabled, slate	
		33. No. of Bays FRONT 3 SIDE 2	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #471) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior <input type="checkbox"/> Exterior <input checked="" type="checkbox"/> Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, multihued red brick house has a T-shaped gabled roof with another, 1.5 story gabled bay projecting toward the street in the middle of the façade. The roof is a variegated slate roof with copper gutters on the enclosed eaves that are wider than usually found on houses in this community. This middle bay of the three bay façade has a scalloped verge board above the paired, leaded glass casement windows that have a metal, faux balcony below the window. The upper floor is defined by a soldier course below this balcony. On the first floor of this bay is the round arched entry that has irregular, rock faced limestone blocks forming quoins on each side and as a keystone in the double rowlock round arch at the top of the opening. The round arched, oak stained, wood plank door has a rectangular, stained glass light near the top. This door has what appears to be the original wooden screen door. On the outer corners, first floor, there are more rock faced limestone blocks that form narrow wing walls that visually expand the base of the vestibule. The concrete stoop has a brick floor and steps that appear to be in need of repair. The foundation of this stoop is rock faced ashlar limestone. On the west side of the vestibule is a small, stained glass, rectangular, wood casement window. Other windows are 6 x 1 wood sashed windows with aluminum storm windows, except for one casement window on the east elevation (and there is also a window lintel near the façade on that elevation that indicates that a window has been bricked in. In the west bay of the façade there are paired sashed windows on both level, which have soldier course lintels like other windows on this house. The east bay on the façade has a round arched, attic window. On the second floor there are paired sashed windows that have a continuous lintel course that extends to the ends of the gable. The first floor has a triple window unit of sashed windows. On both corners of the façade the rock faced ashlar limestone foundation with beaded mortar forms wing walls, the one on the west is shorter and wider. In addition, the foundation on the façade is laid irregularly to merge with the brick walls and there are scattered stones below the first floor windows accentuating the visual image of the house emerging from the earth. On the west elevation there is a brick end wall chimney with a stone foundation and stone at the step in the shaft. There is a smaller end wall chimney on the east elevation that is really a chimney flue that appears to be missing its original cap. The cap of the chimney is corbelled. On the back, there is an enclosed screened porch and deck over the flat roofed garage that has 4 wood sashed windows on each side and 6 on the rear elevation. The garage has parapet walls and the garage door faces east onto the driveway. The rooftop deck above the garage has a plastic canopy. The 1967 fire insurance map lists the garage wing as one story, without a sunroom or porch on the roof. This may represent a mistake or a more recent addition. It is highly unusual for houses in Pasadena Hills to have the same muntin pattern and so little variation in the windows, which may indicate that these are replacement windows, but the use of storm windows may indicate that these are the original single pane windows. There is a small awning on the first floor window on the east elevation. Other than these minor visual changes, the house retains a high degree of historic integrity.

43. History and Significance

Fred Hubble of 6236a Delmar Boulevard took out the building permit for this house on September 26, 1936. Since he was not the first owner of the house, it is likely that he was either the developer or builder of this house. Although the house was not finished in time to be listed in the 1936 city directory, and was probably not finished that fall, the owners had moved into the house by 1938 when the next city directory was published. Plant manager, Alfred R. and Marie J. Braun would live in this house at least through 1943, but when the next directory was published, Mack A. Gasaway, Jr. and his wife, Mildred, had moved into the house. He was a pharmacist who had his own business in St. Louis. They continued to live in the house for many years, at least through 1955 when city directory research stopped. This Tudor Revival design utilizes a number of the features that distinguish this style: the complex gabled rooflines, the round arched entry, the use of rock faced stone that extends up the corners and as wing walls, the wood plank door, the multipaned windows and leaded glass windows. This particular Tudor Revival design also utilizes two less common features: the metal faux balcony above the entry and the scalloped verge board. This house has an attached garage wing on the back, where it is not visible from the façade, a preference in Pasadena Hills where the automobile played a critical role in the community's development, but was still not a desirable feature on the streetscape.

44. Description of Environment and Outbuildings

This lot is basically level but has a one car, concrete driveway cut lower along the east side of the property that extends back and turns to the west to access the attached garage at the back of the house. There is a curved concrete sidewalk that extends from the entry to the steps by the driveway.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 26, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

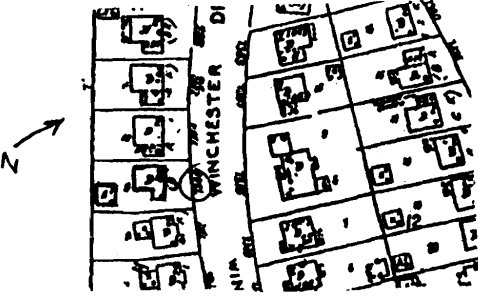
Aug. 2002

49. Revision Dates

7342 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0326		4. Present Name(s) Williams, Synice C., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Goldstein, Walter H. and Loretta L, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7348 Winchester Dr. - Lot 9, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931-1933	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Williams, Synice C.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material poured concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gabled, Concrete Tile	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick, Wood Board Addition	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, end gabled, multicolored (red, brown, yellow) brick house has a one story side gabled wing on the east end of the façade which forms one of the three bays on the façade. In the middle bay is a one story gabled vestibule with the gable shedding down over the small round arched, stained glass, deeply recessed sidelight window to the west of the round arched entry. The entry arch is framed by alternating brick and irregular stone quoins and there is a small brick entry stoop with brick sidewalls and steps. The round arched, stained oak, wood plank door has a small round arched stained glass light. It also has a brick step in front of the door down to the concrete floor of the stoop. Above the vestibule and in both outer bays there are paired, 6 x 1 wood sashed windows with soldier course lintels. Separating the vestibule and the east bay, is a wide tapered, brick chimney with one step. Scattered on the chimney are rock faced stone blocks and there is a thin stone cap that now has a metal hood. In front of both first floor windows are metal faux balconies or window boxes. On the sides and rear there are more 6 x 1 wood sashed windows on the first floor as well as two wood framed, stained glass casement windows on each side. On the second floor, east elevation, gable end is a 1 x 1 wood sashed window. Behind the east wing, there is a small shed roofed, wood board siding addition that has the same tile roof and paired sliding windows as well as a rear entry door. This addition is not shown on the 1967 fire insurance map, but the use of the same original roofing material may indicate that it was originally an open porch that was omitted from the map. On the east elevation, what apparently was a coal chute has been converted into a basement window. At the back of the lot is a two car, end gabled, detached garage that uses the same brick and tile roofing. The gable end has replacement wood siding that seems out of proportion, probably because it also covers the lintel of the overhead door. The overhead door is a replacement. Despite these alterations and the aluminum storm windows and doors, the house and garage retain much of their historic integrity.

43. History and Significance

Although the assessor estimated the year built as 1931, this address was not listed in the 1932 city directory. It was listed in the next directory in 1934 as the residence of Jacob Goldstein, a salesman. In 1936, Walter H. and Loretta L. Goldstein are listed as the owners and occupants. Given the common last name of these two occupants, it is possible that the initial listing was for another member of the family. In any case, the historic name is associated with Walter H. and Loretta L. Goldstein who lived in the house much longer, at least through 1943. Walter Goldstein was a locomotive engineer. By 1946, a new owner had moved into the house. Elizabeth Papendick was identified as the widow of Gustav C. Papendick. Interestingly enough in 1953, Gustav C. Papendick, alone, was listed at this address. Hopefully this was a son and not the widow's formerly deceased husband. In any circumstance, in the next directory published in 1955, new owners were again listed at this address, Eugene J. and Virginia D. Wanek. He was identified as a salesman. The occupations of the early homeowners is indicative in the modest design of this Tudor Revival cottage. It is essentially a 1.5 story end gabled house with a small one story side gabled wing on the façade, but the façade's design is made distinctive with the use of the details that identify the Tudor Revival style: a complex roofline created by the intersecting wings and the one story gabled vestibule, a massive tapered chimney on the façade that is highlighted by scattered limestones, multipaned windows, stained glass windows, round arched openings, stone outlining the entry, an asymmetry to the vestibule design, and a stained oak wood plank door with stained glass light. Although the roof is not the commonly used slate, it is a tile, a ribbed, red and orange concrete tile that adds both color and textural contrast to the design. The metal faux balconies or window boxes below the windows on the façade are features found on just a few Tudor Revival designs in Pasadena Hills. Although there has been an a small addition to the original house design (behind the one story wing), it does not seriously detract from the historic integrity of the design since it is located on the back portion of the house and recessed from the east side wall. Even though the design is modest, the importance of the automobile in the development of this commuter suburb resulted in the construction of a matching two car, detached garage even for this smaller house. Although this original garage has replacement siding in the gable end and a replacement overhead door, it retains its basic design and matching brick and tile roofing and is an important contributing structure on the property.

44. Description of Environment and Outbuildings

The lot is level and faces north onto Winchester Drive. It has a one car concrete driveway along the east side of the house that extends back and widens at the end gabled, detached, two car, matching brick and tile roof garage on the southeast corner of the lot. There is a curved, concrete sidewalk from the driveway to the entry steps.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

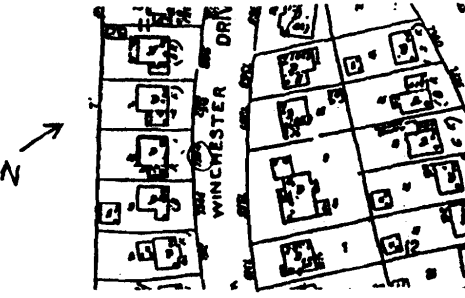
Aug. 2002

49. Revision Dates

7348 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0327		4. Present Name(s) Dick, Kenneth & Edna, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Borgelt, Raymond W. and Marion K., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7354 Winchester Dr. - Lot 10, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Dick, Kenneth & Edna	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material (not visible)	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, Hip garage wing), slate	
		33. No. of Bays FRONT 1+2 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, brown, yellow) brick house has a multicolored slate roof with boxed cornices and copper gutters and downspouts. The main façade is divided into two bay with an attached, two story, hipped roofed, matching brick and slate roofing one car garage wing on the east end. This creates a three bay façade with the center bay being a two story, gabled bay that has a gabled parapet capped by what appears to be a stone cap. On the second floor of this bay is a triple window, with a 6 x 6 wood sashed window flanked by 2 x 2 wood windows separated by heavy mullions. Dressed stone quoins flank the entry, which is capped by a stone entablature. The stained, oak, 9 paneled door has three leaded glass lights in the top row of panel and it is covered by the original, wooden, 9 light storm door. The quarry tile stoop and steps retain what appear to be the original iron railings as well as the flanking brick side walls on the steps. Brick quoins define the west corner of the façade, the first floor of the garage wing, as well as each side of the entry bay, which projects slightly from both the façade to the west and the garage wing. The second floor windows of the west bay are paired, 6 x 6 wood sashed windows and the first floor triple window unit has a 8 x 12 wood sashed window flanked by 4 x 6 wood sashed windows. Façade windows have soldier course lintels and the first floor window also has stacked bricks on each side of the opening. There is a soldier course separating the first and second floor around the garage wing. There is a one car garage with a replacement flat sectioned garage door that is framed by wide fascia boards. Above the garage is a second floor sun porch that has brick piers with brick capitals at the corners and in the middle of the side elevation that frame the banks of aluminum combination storm windows that have been added to the opening. The west elevation has a brick end wall chimney with a brick banded cap that is situated in front of the gable ridge. In the gable end is a raised brick diamond. The second floor has two 6 x 1 wood sashed windows and the first floor has 4 textured leaded glass wood casement windows. On the rear there are additional 6 x 1 wood sashed windows as well as a paired stained glass wood casement window with a transom on the second floor. Basement windows are four light, wood framed awning windows. All of the windows have aluminum storm windows and the west elevation has aluminum awnings. The storm windows have been painted to match the sashes and the only aluminum storm windows that drastically alter the visual appearance of the historic windows are the ones on the façade first floor triple window because the sash lines do not match. Even though the second floor porch has been altered by enclosing the openings with aluminum storm windows, this has not had a major impact on the design of the exterior or its historic integrity since these maintain much of the transparency of the original porch.

43. History and Significance

According to the assessor, this house was built in 1936, but it does not appear in the 1936 city directory, probably because it was not finished at that time. It does appear in the 1938 directory as the new home of Raymond W. and Marion K. Borgelt. He was a yard superintendent of MCW, which appears to be an abbreviation for Mallinckrodt in St. Louis. They continued to live in this house for many years, at least through 1955 when city directory research ended. This Colonial Revival house features a stone entablature and quoins around the door, multipaned sashed windows, and brick quoining on the corners of the façade as well as one the gable parapeted entry bay. Although there are many Colonial Revival houses in Pasadena Hills and this house utilizes the popular mid-twentieth century, side gabled form of this style, but the distinctive quoining and parapeted gable on the façade are Colonial Revival features not usually found in other examples of this style in the community. In addition, this house has another uncommon feature, a façade entry to the attached garage since most residences in Pasadena Hills had rear entries or detached garages. Like a number of other homes, this house has a second floor sun porch above the garage. Although the sun porch has been enclosed by storm windows, the openings retain their original proportions and this appears to be the only alteration to the house.

44. Description of Environment and Outbuildings

The lot faces northeast onto Winchester Drive and has a one car concrete driveway to the attached garage on the east end of the façade. There is a short, straight sidewalk near the head of the driveway to the base of the entry stoop. The lot is basically level, but the driveway is cut into the ground to minimize its visibility in the streetscape.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

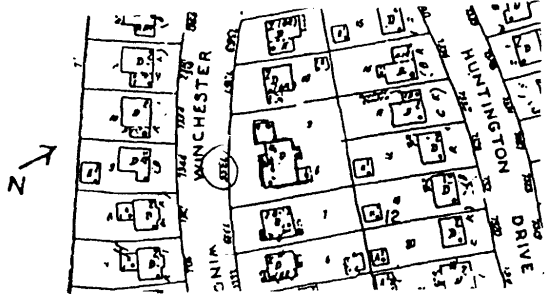
Aug. 2002

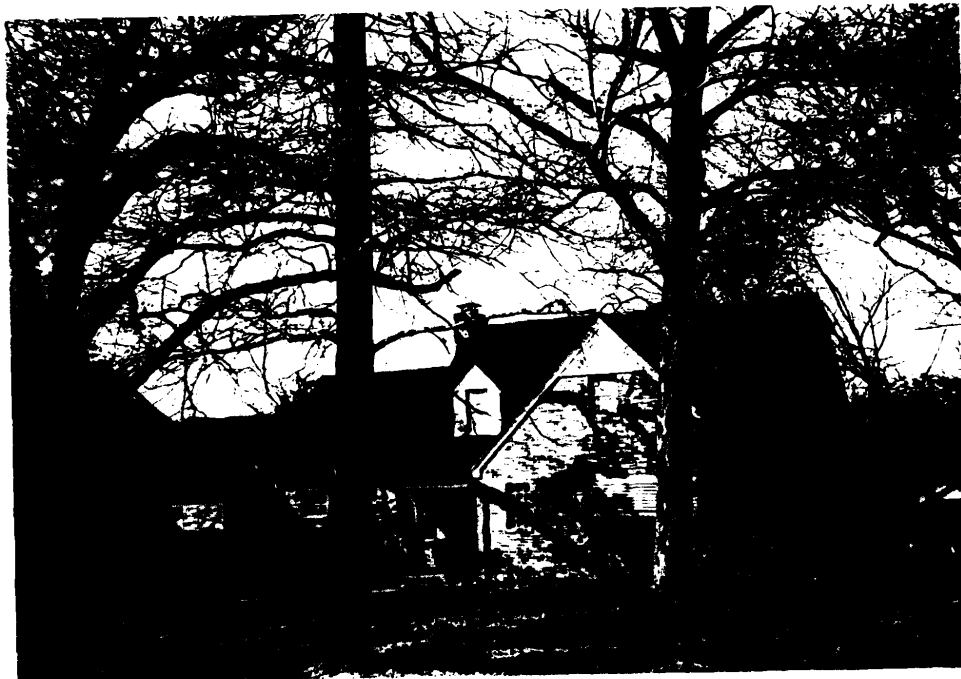
49. Revision Dates

7354 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0328		4. Present Name(s) Oatts, Ella B., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Ryffel, Eugene H. and Bernice A., (Second) House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7355 Winchester Dr. - Lots 8, 9, Block 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1948-1952	
8. Site Plan with North Arrow 		18. Style or Design Minimal Traditional	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Oatts, Ella B.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
		30. Foundation Material not visible	
		31. Wall Construction unknown	
		32. Roof Type, Material Gabled&hipped;slate,now comp.shi	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment brick, wood siding gable ends	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, multicolored (red, pink, yellow, brown) brick house originally had a slate roof, but now has a replacement, dark gray composition shingle roof, but it retains its original boxed cornices and copper gutters and downspouts. Although the form of the house is 1.5 story, the living quarters are primarily located on the first floor with a large partially finished attic area upstairs and unlike most other homes in this community, this house does not have a basement. The roofline is complex with a slightly shorter cross gabled bay on the east half of the façade and a shed roofed extension of the main side gable over the entry porch adjacent on the west with a gabled dormer above the porch. The remaining section of the main house has a 1 story, side gabled roofline that abuts on the west with a large, brick, interior chimney between the two sections. At the west end of the house is an attached, 1 story, hipped roofed, garage wing that projects forward nearly as deep as the gabled wing on the east end. The garage door faces the rear driveway and patio and has two 2 x 2 hinged, aluminum windows on the façade similar to others on the main house (all have horizontal muntins). The first floor of the house has three sets of triple windows with 2 x 2 aluminum hinged windows, one located in the west bay, one under the porch roof, and the other on the east side of the gabled bay (that one has an aluminum awning added later). There is a 15 pane glass block window on the west side of this gabled bay. The entry door does not face the street, but is located on the west side of the gabled bay facing into the entry porch which is supported by a simple square corner post. The door is a painted wood paneled door with four panels below a row of 4 small shoulder arched lights. On the second floor of the gabled bay, as well as the gabled dormer, there are 2 x 2 aluminum hinged windows. The dormer and the gable end (above the window), as well as the side of the shed roof on the porch and the side elevation gable ends (above the windows), have wider wood siding that also appears to be original. The sides and rear elevations also have this same 2 x 2 aluminum hinged window and some also have aluminum awnings. These are not replacement aluminum windows, but the original brushed aluminum windows installed in homes after World War II. On the rear, there is a one story wing that is clad in vinyl siding, which could be the original frame porch that is shown on the 1967 fire insurance map and the assessor's form, now enclosed, or it may be a new addition. It has a sliding aluminum window, which seems to indicate that it has been enclosed for a number of years.

43. History and Significance

This house, built for Eugene H. and Berenice A. Ryffel, is their second home in the neighborhood, with their first home being at 7363 Winchester Drive just two houses to the west. Eugene Ryffel served as president of the Ryffel and Ratz Plumbing Company. The assessor estimated that the house was built in 1948, but the couple are still listed at the old house in the 1949 directory. The next directory was not published until 1953 by which time they had moved into their second home in Pasadena Hills. While their first home was built in 1938 as a two story, Tudor Revival style house, their new home utilized what was essentially a one story finished floor plan (but 1.5 stories with a large partially finished attic area), without a basement, with more square footage, and with a two car attached garage wing (their old home had only a one car garage). This house is especially significant as an example of the continued desirability of the neighborhood after World War II, when a number of families built homes (often for children of the owners), but in this case, the parents had opted to build a more up-to-date home within Pasadena Hills, rather than relocate to a new community. It was designed in the latest popular residential style, Minimal Traditional, with a stepped side gable form with an large cross gabled bay on the façade as well as a gabled dormer to balance the design above the covered porch that is incorporated under the main roof. The design utilizes features that were especially popular in the post-war era, a large band of windows to provide the "picture window" in the living room, glass block as a design feature, and aluminum framed windows with horizontal muntin patterns. While it shared a complex roofline, unlike earlier Tudor Revival designs, from which the Minimal Traditional style evolved, the walls and windows are much simpler in design, without the elaborate brick or stone detailing seen on earlier houses. The Minimal Traditional style was a popular choice in the post-war development of Pasadena Hills and this is one of the best examples of that style found in the community. It has had few visible alterations, except for the addition (probably in the 1960s) of an aluminum awning on the façade window and what is either the enclosure of the rear porch or a replacement with a new addition on the rear (but it is not easily seen from the street).

44. Description of Environment and Outbuildings

The lot faces south southwest onto Winchester Drive with a one car, concrete driveway along the west side of the house and property that extends back to access the adjacent attached garage wing with its rear entry garage doors. There is a curved concrete sidewalk (with one step) that basically parallels the façade from the driveway to the front entry.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

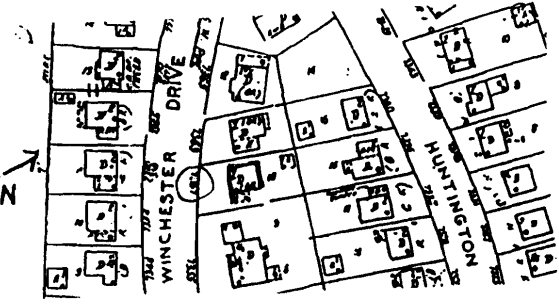
Aug. 2002

49. Revision Dates

7355 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0329		4. Present Name(s) Foster, Lauren V., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Keeney, Ralph N., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7357 Winchester Dr. - Lot 10, Block 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Foster, Lauren V.	
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
15. Name of Established District Pasadena Hills Historic District		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick, limestone & vinyl in gables	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (brown, red, yellow), textured brick house has a multicolored slate roof with boxed cornices and copper gutters. The façade is divided into three bays, with the east bay being a one story sun porch wing. There is a tall, two story, steeply pitched, cross gabled bay that extends across the eastern bay of the two story section with a swayback roof extension over the one story sun porch wing to the east. The sun porch has a large, round arched opening on the façade that is framed by rock faced limestone that alternate on the arch between narrow and wide stones, giving a scalloped appearance with the stone extending out on both sides to the base and forming a narrow wing wall on the east corner. The opening has been enclosed by a transomed, anodized aluminum fixed window. The gable end is now clad in replacement vinyl siding, but it appears to retain the original round arched, louvered attic vent. On both levels of this bay are paired, wood sashed windows, with the second floor windows being 6 x 1 wood sashed windows while the first floor windows are decorative leaded glass paned glass with stained glass heraldic symbols in the upper sash. Both windows have soldier course lintels and stone sills. Separating this cross gabled bay from the bay to the west is a large, brick end wall chimney that has a double tiered lower shaft that is curvilinear as it narrows to the simple upper shaft that extends through the cornice. The lower shaft is highlighted by a narrow vertical shaft of rock faced limestone and is capped by rock faced limestone as well. The west bay has a small, leaded and stained glass casement window offset to the east on the second floor with a steeply pitched, end gabled, enclosed, brick vestibule that has flared ends to the gables highlighted by small rock faced stones on the top of the corners under the gables. The entry has a segmental arched opening with rock faced limestone surrounding the opening, flaring out at the base and cut in a splayed block form for the segmental arch. The flared bases form narrow wing walls on each side and visually match up with the low brick sidewalls to the entry steps which have a dressed stone cap and terminate in short rock faced stone pillars with decorative urn flower pots (the pots may not be original). The steps, landing pad at the base and driveway are all coated in pebble rock, which appears to be a recent overlayment to the concrete base. The stained oak, wood plank door is rectangular with a small rectangular leaded, stained glass light. It is now protected by a full view storm door. The west elevation, adjacent to the driveway has two 6 x 1 wood sashed windows as well as a sashed leaded glass window with some stained glass on the first floor as well as a 1x1 wood sashed window and a leaded glass, paired casement window with stained glass transom on the second floor. On the east elevation, the sun porch has a sliding aluminum door with the east elevation of the house having 12 light wood casement windows on both levels and a 6 x 1 wood sashed window on the second floor. The rear elevation has more 6 x 1 wood sashed windows on both levels and the basement windows are 3 light awning windows, one of which might have originally been a coal chute. On the rear, the one story frame porch has been enclosed with vinyl siding and has a metal stair and rail. There is a detached, 1.5 car, matching brick and matching slate roofed, end gabled garage that has replacement vinyl siding in the gable end, but appears to retain the original overhead door. Although the windows have aluminum storm windows, these do not severely impact the visual appearance of the house. The only major alterations to these buildings appear to be the vinyl siding in the gable ends which probably replaces original stained wood siding that was commonly used on Tudor Revival designs in the neighborhood as well as the enclosure of the sun porch, but the house and garage both retain most of their distinctive features and forms and are contributing to the historic district.

43. History and Significance

Although the assessor estimated the year built as 1936, this address was not listed in the 1936 directory and was listed in the 1938 directory as vacant, often an indication that the house had just been finished, but not yet occupied. In the 1939 directory, Ralph and Mildred Keeney are listed as the occupants. He was a real estate salesman. He is listed again in 1941, but his wife's name is listed as Betty. By 1943, an accountant, Kenneth and Annette Schnurr had moved into the house. The next directory was not published until 1946, by which time, Alvin G. and Ottilie Hartleg had become the owners. He was an superintendent (later identified as engineer) for Fisher Body in St. Louis. They would continue to live in the house for many years, at least through 1955 when city directory research ended. The house is one of the many Tudor Revival designs that helped characterize the development of Pasadena Hills and contains a number of distinguishing features, especially the massive cross gable on the façade the has a swayback roof that slopes down over the one story sun porch wing and the rock faced limestone used to surround the arched sun porch opening and the segmental arched entry, as well as vertical shaft and cap of the façade chimney, the pillars at the base of the entry step side walls and the wing walls on both ends of the house. In addition, the design utilizes a stained, oak wood plank door and a variety of windows, both leaded and stained glass as well as multipaned sashed windows, both of which are also distinctive Tudor Revival design details. Like many homes in Pasadena Hills, the garage is detached and located at the rear of the property but matches the brick and roofing of the main house. The house has had some alterations: vinyl siding replaces what was probably original stained wood siding, the arched sun porch opening is now enclosed with an anodized aluminum framed window (but it maintains much of the original transparency), and a tall, vinyl picket fence has been added that extends to the façade on the east side of the house. Although a darker siding would have been more in keeping with the original design and style of the house, these modifications do not impact the historic integrity of the house severely and both the house and garage are still contributing buildings in the historic district.

44. Description of Environment and Outbuildings

This lot faces south southwest onto Winchester Drive and has a one car paved driveway along the west side of the house that extends back to the detached end gabled, matching brick and roofing 1.5 car garage that is located at the northwest corner of the lot. It has similar replacement vinyl siding in the gable end, but appears to retain the original overhead door. There is a tall vinyl fence that surrounds the back yard and extends to the east corner of the façade with a gate across the driveway at the rear elevation. There is a bowed, concrete sidewalk that parallels the driveway from the landing pad at the base of the entry steps and extends to the street. The landing pad forms a step down to the adjacent driveway.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

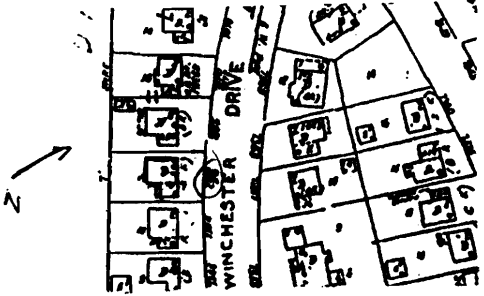
Aug. 2002

49. Revision Dates

7357 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0330		4. Present Name(s) Brooks, James O. Jr. & Relda E., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Buk, Melvin A. and Katherine, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7360 Winchester Dr. - Pt. Lot 11, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Brooks, James O. & Relda E.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Brick	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, gray slate	
		33. No. of Bays FRONT 1+2 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape rectangular+wing	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, brown, gray, and green) brick house has a gray slate roof with boxed cornices and copper gutters and downspouts that form a broken pediment in the gable ends on each side elevation as well as on the cross gable over the entry bay at the east end of the main house (the center bay of the façade). While the west bay has two 6 x 6 wood sashed windows on the second floor, it only has a single window unit on the first floor that consists of two 20 light, multipaned windows, mostly fixed, with 8 light casement windows adjacent to each other in the middle of the window unit. This window unit has a soldier course lintel. Brick quoins define the west corner of the façade as well as both sides of the entry bay to the east, giving the appearance that the entry bay projects, although it does not. On the second floor of this bay is a triple window unit with a 6 x 6 wood sashed window flanked by narrow 4 light windows. This window unit is spanned by a brick arch, that references a transom. On the first floor, this arch is repeated as the pediment above the entry, in this case with two rows of rowlock brick instead of one and a circular pattern at the top around the porch lantern. There is a projecting brick cornice and entablature below this arch that is visually supported by the compound brick sides that give the appearance of pilasters. The painted wood door has 6 raised panels below three round arched lights and this is now protected by a full view aluminum storm door. The concrete entry stoop has a brick veneer foundation and sidewalls to the 3 wide concrete steps. The middle step has red quarry tile tread. To the east of the main house is a two story, hipped roofed, garage wing with a matching slate roof and copper gutters. The first floor is the original one story, matching brick, attached garage wing with the original recessed panel, wooden overhead door with glass lights in the second row of panels. The outer corner has a small brick wing wall. The second floor is also brick below the bands of 1 x 1 windows (one triple unit on the façade and two triple units on the east side) that are separated by brick corner piers that have brick capitals. The brick on the second floor changes colors slightly, which helps prove the veracity of the fire insurance map in 1967 which shows this as a one story wing. The alteration/second floor addition, is in keeping with the style and design of the house and is a feature seen elsewhere in the neighborhood and thus the house is still contributing to the historic district. The west elevation has a brick end wall chimney with a corbelled brick cap as well as additional sashed windows. Basement windows are glass block, which could be original, but are more likely a post-war alteration. On the back of the house is a small painted wood deck, but it is not visible from the street.

43. History and Significance

This Colonial Revival style house was probably built in 1936, according to the assessor, but it was not listed in the 1936 city directory. When it was listed in the next directory, in 1938, it was the home of Melvin A. and Kath. Buk. He was identified as a clerk and the couple was only listed in one other directory, in 1939. By 1941 the house is listed as vacant. By 1943, William L. and Alpha Bauer Lehman had moved into the house. He was a department manager for Shapleigh Hardware in St. Louis, later their lamp broker. The couple was still living in the house in 1955 when city directory research ended. The Colonial Revival styling can be seen in the side gable form, the broken pediment cross gable over the entry bay, the brick quoins at each end of the main house façade, the multipaned windows, and the stylized brick pilasters, entablature and elliptical pediment around the entry. Originally, the house had a one story garage wing on the east side, but a second floor was added as a sunroom at some point after 1967 when the fire insurance map was updated. Although careful examination of the brick shows a change in coloration, the addition is designed in keeping with similar two story garage/sun porch wings found throughout the neighborhood on Colonial Revival houses and thus does not diminish the integrity of the original design.

44. Description of Environment and Outbuildings

The lot is basically level and has a one car concrete driveway from the street to the façade garage entry on the attached garage wing. The driveway appears to have been widened slightly at some point. There is a concrete sidewalk, paralleling the façade between the driveway and entry stoop.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

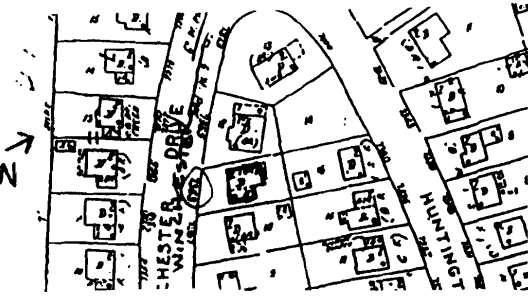
Aug. 2002

49. Revision Dates

7360 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0331		4. Present Name(s) Richardson, Earl Jr. & Gail, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Ryffel, Eugene H. and Bernice A., (First) House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7363 Winchester Dr., Lot 11, Block 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Richardson, Earl Jr. & Gail	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, Spanish style concrete tile	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red and brown) brick house has a red concrete, Spanish tile roof with copper gutters and downspouts (some are now aluminum), but they are all painted. The main house is actually square, but the two story, hipped roofed wing on the east shares a common façade, although it is not as deep, giving the appearance of a gable on hipped roof. This creates a three bay façade with a cross gabled, slightly overhanging second floor bay on the west end of the façade that has paired 6x1 wood sashed windows with a soldier course lintel that has a projecting brick cap. Above the windows there is a narrow, vertical niche or faux attic window (with a sill). The base of the overhang is corbelled brick, a motif repeated under the gutters of the other two bays on the façade. The first floor of the west bay has a triple window with a similar capped, soldier course lintel and a 6 x 1 wood sashed window flanked by 4 x 1 wood sashed windows. The middle bay has paired, smaller, 6 x 1 wood sashed windows centered above the one story gabled vestibule that has a matching tile roof. The entry is recessed with rock faced ashlar limestone, alternating paired thin blocks with narrower wide blocks to form an angled quoining on either side of the wood plank door with its tiny rectangular leaded and stained glass light. Above is a timber lintel. The base of the vestibule is also rock faced ashlar limestone, as is the foundation of the house, but this stone is elevated higher and forms narrow wing walls on either side of the vestibule. There are small blocks under the gable ends as well. The concrete slab stoop has a pebble rock coating which may not be original and it connects without a step to the sidewalk on the front but has a step down to the driveway on the side. The east bay of the façade contains a single car, garage with a capped, soldier course lintel. Above, the window opening has been infilled with some siding around paired 8 x 1 wood sashed windows, indicating that this was probably an open sun porch. On the east elevation there is a door to the basement behind the garage and a 6 x 1 wood sashed window on the first floor. On the west elevation there is a brick end wall chimney with a corbel cap that is in front of the ridge as well as three 4 x 1 wood sashed windows on the first floor and two 6 x 1 wood sashed windows on the second floor. In the attic level, of the west elevation there is a 2 x 2 wood sashed window. On the rear, there is a paired 6 x 6 wood sashed window as well as a 2 x 1 wood sashed window with opaque glass. At the west end of the rear elevation is the original one story framed porch with a matching tile roof, but it has been enclosed with vinyl siding and a aluminum storm windows. Basement windows are two light awning windows. Besides the alterations to the second floor sun porch and the enclosure of the rear porch, the only visible alterations are the aluminum storm windows and the white paint on the entry door and timber lintel, which were originally stained or painted dark. Despite the alterations, most of the exterior, especially on the façade, retains a high degree of architectural integrity.

43. History and Significance

There are plans on file in city hall, dated 1938, for the design of this house, but the architect is not identified. According to the assessor, the house was built that same year, although it is not listed in the city directory, probably because it was not finished until late that year. It is listed in 1939 as the new home of Eugene H. and Berenice Ryffel. He was the president of Ryffel and Ratz Plumbing Company and the couple continued to live in this house through 1948-1949, when they moved two doors east to 7355 Winchester Drive, their second home in the neighborhood. After they moved out of this house, Louis A. and Ruth M. Bonar moved into the house. He was a broker for Alexander and Alexander in St. Louis. The design of their first house is Tudor Revival, with several unusual features, especially the concrete Spanish tile roof and the attached, façade entry, one car garage (since most homes of this era relegated the garage to the rear of the house or as a detached garage). The design utilizes the simplified Tudor Revival stylistic details, most notably the varied roofline (side gabled on one end and gable on hipped roof on the other end, an intersecting second floor, overhanging gabled bay and the gabled, one story vestibule), the rock faced limestone (foundation, wing walls on the vestibule and on either side of the doorway), the brick details (corbelled brick under the eaves, the faux slit window and herringbone brick pattern in the second floor gable end), as well as the multipaned sashed windows and the wood plank door. However, the design has been altered by painting the wood plank door white (which makes it stand out rather than recess on the façade) and infilling what was apparently an open sun porch on the second floor above the garage with windows that are slightly smaller than the openings and surrounded by infill siding. Despite this alteration, the rest of the façade retains a high degree of visual integrity, due primarily to the distinctive roofing, the brick and stone details, and the variety of window configurations.

44. Description of Environment and Outbuildings

The lot is basically level and faces south southwest onto Winchester Drive. There is a one car, concrete driveway from the street to the façade garage entry and there is a short, curved, concrete sidewalk between the driveway and the front of the entry stoop. The ground is slightly higher than the driveway to minimize its visibility in the streetscape and the ground slopes downhill toward the west where the adjacent property is at a slightly lower elevation.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

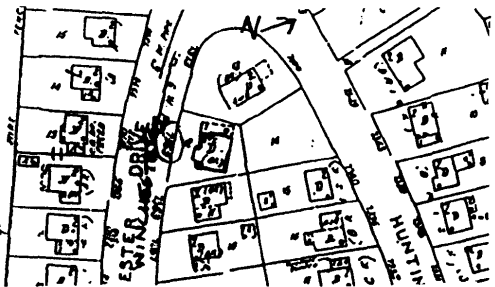
Aug. 2002

49. Revision Dates

7363 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS035 - 0332		4. Present Name(s) O'Connor, Margaret A., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Luse, Jesse G., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7365 Winchester Dr. --Lot 12, Block 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1946-1948	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known O'Connor, Margaret A., et.al.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment brick, vinyl siding on addition	
		35. Plan Shape asymmetrical	
		36. ADDITION <input checked="" type="checkbox"/> Changes (explain in #47) ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, multihued red brick house has a steeply pitched multicolored (grays and red) slate, side gabled roof that has a large 1.5 story cross gabled bay that spans the two center bays of the main façade that is overlapped by the one story gabled vestibule on the east side, each gabled section projecting slightly forward from the façade behind with rock faced ashlar stone wing walls. On the façade there is a corbelled brick course under the aluminum replacement gutters. The upper end of each corner of the vestibule is flared out at the gable ends. The vestibule retains the original pendent porch light above the doorway, which has a brick compound relieving arched opening around the stained oak 12 panel wood door with a stained glass light in the middle panel of the second row. The broad and low concrete stoop is faced with quarry tile, as is the one step leading to the tiered concrete sidewalk. On the second floor of the larger gabled bay has paired, stained glass, wood framed casement windows with shutters and a soldier course lintel. On the first floor of this bay, to the west of the vestibule is a 6 x 1 wood sashed window, the only façade window without shutters. On the west end of this 1.5 story cross gabled bay is a large end wall chimney that is obscured by the large evergreen. On the other side of the chimney, in the west bay, is another shuttered 6 x 1 wood sashed window. The east bay of the main façade has a tall, gabled, wall dormer with a 6 x 1 wood sashed window with shutters and a soldier course lintel. Above there is a vertical, projecting brick row of darker brick as a decorative detail, the same as in the larger gabled bay. On the first floor of the east bay is an 8x1 wood sashed window with shutters with a soldier course lintel. On the east elevation there is another brick end wall chimney with a double brick stringcourse near the cap. There are 8 x 1 wood sashed windows on both levels of this elevation and the rock faced ashlar limestone foundation extends up at the corner. On the west end of the house is an attached one story, side gabled wing that was originally just a rock faced ashlar limestone, basement level garage with a rooftop patio/deck accessible from the first floor of the house, but this has been altered with the first floor vinyl sided addition with a composition shingle roof and large sliding aluminum windows, two on the façade and two on the west elevation as well. The basement level is halfway above ground level because of the slope of the ground. Behind the garage is a stained glass, wood casement window on the first floor and above is another 8 x 1 wood sashed window. On the rear there are additional 8x1 wood sashed windows on the first floor and 6 x 1 wood sashed windows in the dormers. There are also wood casement windows, some 6 panes and others stained glass. Basement level windows are slight wooden awning windows. On the rear there is another entry with matching slate roof, but it has been enclosed with vinyl siding and was probably originally an open frame porch. There is also a rear entry to the basement enclosed by metal fencing and a gate. The house has had aluminum storm windows and a full view storm window added to the house in addition to the addition on top of the garage, and while the addition is disruptive to the overall design, the original house and its architectural details still are the most prominent features and thus the building is still contributing to the historic district.

43. History and Significance

Although the assessor estimated the year built as 1946, this address was not listed in the 1946 city directory. The next directory, published in 1949 lists this as the new home of Jesse Luse. He was a pharmacist with Niemeier Pharmacy. In 1953 he is listed as a salesman for David P. Leahy, but in 1955, Jesse G. Luse is again listed as a pharmacist with R. T. Niemeier. Also listed that year is widow, Adele Luse, but it is not clear who was her spouse. This is a good example of a later Tudor Revival style house, that utilizes the characteristic form, a side gable with overlapping and asymmetrical cross gables on the façade. It also has the characteristic variety in the window pattern and materials, some are multipaned wood sashed windows while others are casement windows and there are even some stained glass windows. The door is also a stained oak wood paneled door with stained glass lights and there is a contrasting use of rock faced ashlar limestone at the base of the brick house, but most of the masonry walls are unadorned, when compared with earlier examples, an indication of changing tastes in residential styles. Even the entry has a simpler compound brick entry rather than a contrasting stone. Also, as was characteristic of later houses in Pasadena Hills, the garage is attached with access from the façade, but it is still located in the basement level to minimize the impact of the garage door and the driveway on the façade and streetscape. What was originally an open rooftop deck on the top of the basement level garage has been replaced with an enclosed room addition, which utilizes broad expanses of glass in window bays between vinyl sided walls, that overhangs the original stone garage walls. While this is disruptive to the original design of the house, since its roofline is not at the same pitch, the materials change, and the windows are not similar to those on the main house, it is a small side addition and the main house façade still retains its original features and prominent Tudor Revival detailing.

44. Description of Environment and Outbuildings

Although the lot appears level on the main façade, it slopes steeply down to the one car driveway and its rock faced ashlar limestone retaining walls that provide access to the basement level garage, which is actually a raised basement, half exposed due to the slope of the land. There is a tiered, concrete sidewalk from the entry to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

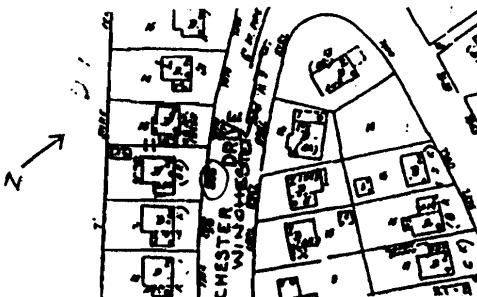
Aug. 2002

49. Revision Dates

7365 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0333		4. Present Name(s) Dixon, Alan & Dorothy, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Frickey, Edward H. and Lydia A., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7366 Winchester Dr. - Lot 12, Pts 11, 13, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935-1936	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor W. J. Wells or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Dixon, Alan & Dorothy	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable, comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, brown, tan) brick house has a gray composition shingle roof with aluminum gutters and downspouts on the boxed cornices. There is a two story, cross gabled, slightly projecting, entry bay centered on the façade, but at the east end of the side gabled section of the house. The east bay is actually an attached, hipped roof, two story, one car garage wing with a second floor sunroom. This wing is not as deep as the main house and has a gable on hip appearance because of the continuation of the gable behind the garage wing. On the second floor, the entry bay has a tall, vertical 6 light window unit that appears to be three wooden awning windows with leaded and stained glass. Separating the first and second floor and creating a slight second floor overhang is a row of rock faced stones. The first floor walls of this bay are clad in rock faced ashlar limestone (like the foundation is has beaded mortar) and there is a round arch of rock faced stones around the round arched door. The door is a stained oak, wood door with a round, 9 light stained glass light and a round raised panel flanked by raised wood shafts. The entry is flanked by what appears to be the original porch lanterns and there is a semi-circular, two tier concrete entry stoop. The west bay has a soldier course of brick with small brick modillions that continue this semblance of a second floor overhang. There are paired, 9 x9 wood sashed windows on the second floor (outer panes are narrower). On the first floor there is a triple window unit of 9x12 leaded glass, wood sashed windows. The west elevation has four 3x1 wood sashed windows on the first floor, one on each side of the paired end wall, tapered brick chimneys and there are three 3x1 wood sashed windows on the second floor in line vertically with the first floor windows (except none in the bay near the façade). The chimney nearer the façade has projecting bricks evenly spaced up the center of the chimney and is wider than the other chimney. The east garage bay has a replacement garage door on the first floor with a relieving arch of brick above the garage door opening. There is a short, rock faced ashlar limestone, stepped wing wall. On the east elevation there are two more 3 x 1 wood sashed windows in the garage. The second floor is now enclosed with triple window units of narrow vinyl casement windows flanking a picture window (one on the façade and rear, and two on the east elevation). Behind the garage is a paired, leaded glass casement window with a leaded glass transom on the first floor and another 3x1 wood sashed window on the second floor. The rear also has a 3x1 wood sashed window on the second floor as well as a bay window on the first floor with 3x4 wood sashed windows. On the rear there is a small one story framed porch that is screened in and has a plastic overhang added to cover the patio and barbeque pit. There is also a one car, end gabled, detached, brick garage on the west corner of the back yard with its original ribbon driveway. While the sunroom is enclosed with vinyl windows now, it apparently was always enclosed and the only other alterations appear to be the replacement garage door and the aluminum storm windows and doors.

43. History and Significance

On November 7, 1935, Mr. W. J. Wells of 1950 Maclind Avenue received the building permit for this house. Since he is not the first occupant, it is likely that he is either the builder or developer of this house. Although the assessor estimated the year built as 1935, it is highly unlikely that the house was finished that year since it was only started in November. Also, the house is not listed in the 1936 directory. It is listed in the next directory as the new home of Edward H. and Lydia A. Frickey. He was directory of the Normandy State Bank. They only lived in the house a few years and by 1941, Virgil M. and Christina A. McGuire had moved into the house. He was initially identified as a sales manager in East St. Louis, but he was promoted to manager and then vice president of M. B. Gintz Inc. In 1949 and 1953 he was listed as the vice president of Embassy Enterprises. In 1955, he is again listed as a salesman for M. B. Gintz Inc. City directory listings are often in error about specific job titles, so it is not clear if this represents job changes or just a different interpretation by that year's canvassing. The Tudor Revival styling of this house features a complex roofline, rock faced ashlar limestone on the first floor of the entry bay, wing walls, a distinctive stained oak round arched door, and a variety of windows (including leaded glass windows, multipaned sashed windows, and casement windows). Unlike most homes of this pre-World War II period of development in Pasadena Hills, this house has an attached garage wing with a façade garage entry. Even more unusual, it also has a detached, one car garage. While it is was common to have original two car garages, it is extremely rare to have two, one car garages. It is also unusual for homes of this era to originally have had composition shingle roof, although it is possible, but the fire insurance maps identify this one as a composition shingle roof. The tapered end wall chimney nearer the façade has a series of projecting bricks dotting up the shaft, and the circular light and panels on the entry door both seem to be influenced by another style of this era, Art Moderne. While the garage door is a replacement, the major alteration appears to be the new vinyl windows in the sunroom over the garage, which could indicate a recent enclosure of this space, although the 1967 fire insurance maps always identify this as an enclosed room.

44. Description of Environment and Outbuildings

This lot is basically level and faces northeast onto Winchester Drive. There is a concrete ribbon driveway on the west end of the lot that extends back to the end gabled, matching brick, one car, detached garage. There is another one car, concrete driveway to the façade garage entry of the attached garage and there is a short, curved sidewalk around the semi-circular entry stoop that connects the driveway to the entry stoop, but both the stoop and sidewalk look like they may be later alterations.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, November 7, 1935.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

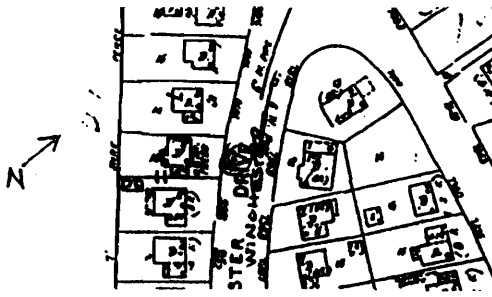
Aug. 2002

49. Revision Dates

7366 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0334		4. Present Name(s) James, Claire Rebecca, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Usselman, Harry C. and Mary L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7370 Winchester Dr. - Pts 13, 14, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity		17. Date(s) or Period 1952-1953	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer Joseph F. Bueger	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known James, Claire Rebecca	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material poured concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material side gable, comp.shingles	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment Textured brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (reds, yellow, gray) brick house has a composition shingle roof and aluminum gutters and downspouts on the boxed cornices. The original roof and gutters also appear to have been the same materials. The façade is divided into three symmetrical bays with a pediment over the entry that extends beyond the flanking pilasters. The door is a painted mahogany, 6 panel wood door that is now covered by a full view storm door. The concrete stoop retains the original iron railings and has steps that exit to the east and toward the driveway. The windows in each flanking bay are the same, with shuttered, paired, 8 x8 wood sashed windows on the second floor and triple window units on the first floor of 8x8 wood sashed windows flanked by 4 x 4 wood sashed windows. To the east, there is a one car, side gabled, attached garage with matching brick and roofing. It has the original 16 panel, wood overhead door with the top row being glass. The gable end of both the garage and east elevation of the house are clad with wider, wood siding. There is one small window in the garage east elevation and a single, 8x8 wood sashed window near the front of the second floor of the house. The west elevation also has wood siding in the gable end, which is split by the simple, brick end wall chimney. On either side of the chimney, both levels, are more sashed windows and the poured concrete foundation is visible at the base where there are 2 light basement windows aligned with the sashed windows. On the rear of the house is a one story, shallow, brick, gabled wing that is original to the design. This extends across the east half and there is a wood deck and swimming pool attached on the west side that has been added in recent years. Other than this deck and pool, the only apparent alteration to the exterior are the aluminum storm windows and storm doors, but they do not detract from the historic integrity of this house because the sash lines match the wood windows.

43. History and Significance

Joseph F. Bueger designed this house in 1952 and his plans are filed in city hall. It is the only known design by Bueger in Pasadena Hills. The house was listed in the 1953 city directory as the residence of Albert Herrington, with no other occupant or occupation listed and he is not identified as the owner. In several other cases in Pasadena Hills, it was apparent that single men first occupied a house, apparently during construction or until the house was sold and that may be the case here as well. By 1955, this is the home of Harry C. and Mary L. Usselman. They were listed as the owners and for that reason, the house is identified with their names. Harry Usselman was listed as a manufacturer's agent. Bueger's design is typical of the Georgian Revival houses that were popular in Pasadena Hills, both before and after World War II. This style is characterized by the side gable form and a symmetrical, three bay façade. As a variant of the Colonial Revival style, this Georgian Revival style house utilizes a number of characteristic Colonial Revival features: multipaned sashed windows, shutters, a pedimented entry, six panel door, and an end wall chimney. As is common on many Georgian Revival houses in Pasadena Hills, this house has a one story side wing, in this case a garage, rather than the common screened porch or sun room. While most homes built prior to World War II had the garage relegated to the rear of the property as a detached garage, or at least as a disguised rear entry into a basement of wing of the house, this use of a façade entry into the garage is indicative of the acceptance of the automobile, which had played a major role in the development of this commuter suburb. This house has very few alterations, even retaining what appears to be the original wood siding in the gable ends, the original wood paneled overhead garage door, as well as its iron railings on the entry stoop, a rarity in Pasadena Hills where most stoops are now missing their railings. Except for widening the driveway and adding aluminum storm windows and storm door, the façade appears unaltered.

44. Description of Environment and Outbuildings

The lot faces northeast onto Winchester Drive and is basically level, although the front yard is elevated above the concrete driveway that leads from the street to the façade entry of the attached garage. The driveway has been widened slightly. There is a sidewalk along the façade from the head of the driveway to the steps up the side of the entry stoop, but this is not easily visible because of the overgrown hedges along the facade. In the back, there is a wood deck and a newer plastic liner swimming pool that have been added to the property along with the wood privacy fence around the back yard.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

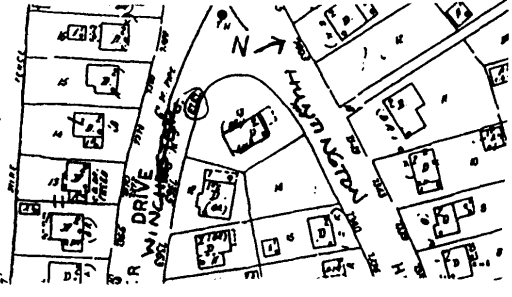
Aug. 2002

49. Revision Dates

7370 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 -0335		4. Present Name(s) Hayes, Perry L. & Deborah Ann, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Steffan, Rudolph and Myrtle J., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7373 Winchester Dr. - Lot 13, Block 12		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hayes, Perry L. & Deborah Ann	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced, ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, slate, now comp. shingles	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, multicolored (red, brown, yellow) brick house originally had a slate roof (according to the fire insurance map), but this has been replaced with a simple brown composition shingle roof with new aluminum gutters and downspouts. The main house is divided into three bays, with the center bay being a wide, cross gabled, 1.5 story bay that projects slightly from the main façade. The north end of this bay is actually a large end wall chimney that merges with the façade wall of the bay and extends through its roof so that the first step of the chimney is actually the west end of the gable, which extends down to the first floor level. The face of the chimney has a narrow niche of brick up the shaft and a corbelled brick separation to the upper shaft with its paired projecting rowlock brick "shafts" and banded brick cap. The lower portion of the chimney/cross gable has a rock faced ashlar limestone wing wall. On the second floor of this bay are paired, diamond paned, stained glass, wood framed casement windows. On the first floor, a 6x1 wood sashed window with a double brick capped, soldier course brick lintel and brick sill is sandwiched between the chimney and the one story gabled vestibule that overlaps the larger 1.5 story cross gabled bay. The vestibule shares the south roofline with the bay and it has rock faced stone outlining low wing walls on each side as well as slightly flared upper corners by the gable ends. The round arched entry has a rock faced limestone keystone and double rowlock brick arch, but the sides of the angled recessed entry are faced with alternating paired thin rock faced limestone blocks with larger blocks that create a quoin effect. The round arched, stained, oak wood plank door with a rectangular, diamond paned, stained glass light. There is a low concrete slab stoop and a concrete step at the entry with the rock faced limestone foundation on either side. The narrow bay to the north of the chimney has a matching 6 x 1 wood sashed window, but the soldier course lintel does not have the stepped brick cap since it abuts the corbelled brick under the eaves, which is visible on the south side of the cross gabled bay as well. This south bay has a large, gabled wall dormer with a 6 x 1 wood sashed window in the dormer as well as a 8x1 wood sashed window on the first floor. The first floor window has a double brick capped, soldier course lintel. On the south elevation there are 8x1 aluminum thermal windows (one of the second floor above two first floor windows) in front of another end wall chimney with a brick banded cap, but this chimney is a simple flue chimney. The rock faced ashlar limestone foundation is visible on this elevation with the stone extending up the front corner. On the north elevation there is a pair of stained glass, wood casement windows behind the one story, side gabled wing which was originally an open porch, but has been enclosed with vinyl siding. On the façade, this wing has one 6x1 wood sashed window and on the north side it has paired 6x1 wood sashed windows that match the main house, indicating that it has been enclosed for a number of years since the most recent alterations are aluminum thermal windows on the south elevation. On the rear, there are two dormers with 6x1 wood sashed windows as well as 6x1 and 8x1 wood sashed windows as well as leaded glass wood casement windows on the first floor. There is a one car, basement level garage entry that faces Huntington on the north elevation behind the one story wing. Both of the windows in the south bay of the façade as well as the second floor window of the cross gable bay have been altered with the addition of narrow, faux shutters that do not appear to be original to the design. There is a metal awning over the entry that camouflages the round arched opening.

43. History and Significance

According to the assessor and city directory research, this Tudor Revival house was completed in 1938. It became the home of Rudolph and Myrtle J. Steffan. He was vice president of Service Blueprint and Photocopy Company. The couple continued to live together in the house, at least through 1946, but between then and the next directory in 1949, Rudolph Steffan apparently retired and he is listed without his wife. He is last listed in the 1953 directory. In 1955, Raymond D. and Lily L. Kraus were now listed in the house. He was an industrial relations assistant for Sohio Pipe Line. This Tudor Revival design utilizes a number of the characteristic features of this style: an asymmetrical façade created by a variety of intersecting gables to the steeply pitched side gabled roof, the use of multicolored brick with rock faced ashlar stone used as accents, a massive and elaborate façade end wall chimney that merges into the façade, a variety of window treatments (multi-paned sashes, diamond patterned casements), a one story vestibule, wing walls, an arched wood plank door. Alterations detract from the integrity of the original design, especially the faux shutters that have been added to the façade, the shed awning which camouflages the round arch on the entry and the enclosure of the original open porch with siding which contrasts sharply with the brick façade walls. Color choices on these alterations make them more obvious and the loss of the original slate roof and its replacement by a simple composition shingle roof changes the textural contrast with the brick, but the actual Tudor Revival design is still clearly discernable and the building is still contributing to the historic district, but the loss of any other historic features on the façade would jeopardize that status.

44. Description of Environment and Outbuildings

The house sits on the interior of the Y-shaped intersection of Winchester Drive and Huntington Drive and faces west. There is a bowed concrete sidewalk that extends from the front entry toward Winchester Drive. There is a driveway from Huntington that accesses the one car, basement level garage entry. On the north side, the ground slopes down to the driveway cut.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

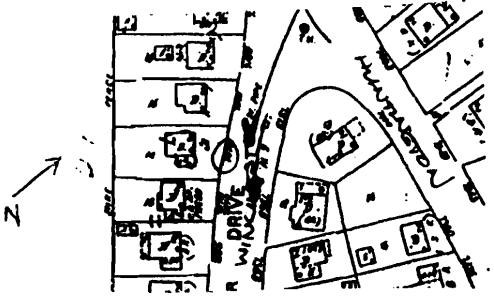
48. Date 49. Revision Dates

Aug. 2002

7373 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLP5029 - 0336		4. Present Name(s) Talley, Jean Parker, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kaechele, Oliver C. and Viola, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7378 Winchester Dr. - Pt 14, Block 11		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Tripp Contracting Company	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Talley, Jean Parker	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material not visible	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, slate, now comp. shingles	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape square+wings	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multicolored (red, brown, yellow) brick house originally had a slate roof according to the fire insurance maps, but this has been replaced with a simple gray composition shingle roof as well as newer aluminum gutters and downspouts. The façade is divided into three bays with the pedimented entry located in the east bay. The entry is framed by pilasters and the round arched, fanlight transom extends into the broken pediment. The painted, wood paneled door has two rows of panels which are actually glass lights. The concrete entry stoop has quarry tile floor and steps as well as retains its original iron railings (a rarity in Pasadena Hills). The other two bays on the façade each have a 6x9 wood sashed window with a soldier course lintel. Each bay on the second floor of the façade has a shuttered 6x6 wood sashed window. On the west side there are four leaded and stained glass, wood casement windows on the first floor and two 6x6 wood sashed windows on the second floor, both behind the end wall brick chimney with its wide brick banded cap. On the east elevation, there is a one story, flat roofed, matching brick, garage wing with clay coping tiles on the parapet cap. There is a multipaned window (hidden by the overgrown evergreens) on the façade of this wing as well as a 6x6 wood sashed window on the east elevation. The main house has a paired, 6 light wood casement window on the first floor as well as a leaded and stained glass casement window on the second floor as well as a door from the house to the rooftop deck. On the rear, there are 6x6 wood sashed windows on both levels as well as paired casements on the second floor. Near the west end of the rear elevation is a one story, enclosed frame porch with a flat roof and second floor deck which has been enclosed with wood clapboard siding and aluminum storm windows. The rooftop deck has an iron railing and there is an entry door into the second floor. The main porch entry faces east toward the patio/driveway. There is a rear entry to the basement as well. Basement windows are visible on the side elevation and are 3 light opaque glass wood awning windows. Although the assessor noted alterations to the house in 1940, they are not clearly visible on the façade, and would be historically significant now anyway, because of their age. The only visible alterations, other than the enclosure of the back porch (which appears to have been an addition made after 1967 (since it does not show on the fire insurance map, although that could be an error), appear to be the use of aluminum combination storm windows and an aluminum storm door. The storm windows match the color of the brick mold trim on the windows and the meeting rail lines of the windows, and as such are not visually intrusive to the design. The storm door does hide the unusual wood paneled door to some extent but it is only a minor alteration. Unfortunately, the large shrubs and trees obscure minimize the appearance of the façade and camouflage some of its details, but this is an aesthetic not integrity issue.

43. History and Significance

Oliver C. Kaechele, a clerk for International Shoe Company in St. Louis, took out the building permit for his new home on August 27, 1935 based upon plans submitted by Tripp Contracting Company. At the time, he lived at 5957 Mimica Avenue. He and his wife, Viola, moved into the house the next year, according to the assessor's records, although it was too late to be listed in the 1936 city directory. They only lived in the house a few years, last listed in the 1941 directory, but it is more likely that they had moved by 1940 just as the 1941 directory was canvassed since the assessor noted that the house was remodeled in 1940, most likely for the new owners, a dentist, Gustav H. and Alma L. Volmer. They continued to live in the house at least through 1955 when city directory research stopped. This is one of the modest Georgian Revival style houses that dot the community, with the distinctive features that characterize this Colonial Revival subtype: a side gable form with an end wall chimney on the side elevation, a three bay division of the façade with the repetition of the multipaned sashed windows in each bay, the use of raised meeting rails on the first floor windows, the shutters on the upper level windows, the pilasters and pediment around the entry (in this case with a fanlight transom) and the metal railings on the entry stoop. Even the flat roofed, one car, attached garage wing on the east side is characteristic of Colonial Revival houses, which frequently had attached side wings, and it is characteristic of the early development of Pasadena Hills since the entry to the garage faces the back yard and the driveway is slightly recessed in the ground, camouflaging these features from the streetscape, despite the fact that the automobile played a pivotal role in the development of this commuter suburb. The house retains a high degree of historic integrity, except for the loss of the original slate roof, and is a good example of the Georgian Revival style that helped characterize this community.

44. Description of Environment and Outbuildings

The lot faces northeast onto Winchester Drive near the junction with Huntington Drive. The lot is basically level but has the one car, concrete driveway on the east side of the house cut slightly into the ground to minimize its visual impact on the streetscape. It extends back to the back yard to access the rear entry of the attached garage wing on the east end of the house. There is also a serpentine concrete sidewalk from the front entry steps to Winchester Drive, near the west end of the property.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, August 27, 1935.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

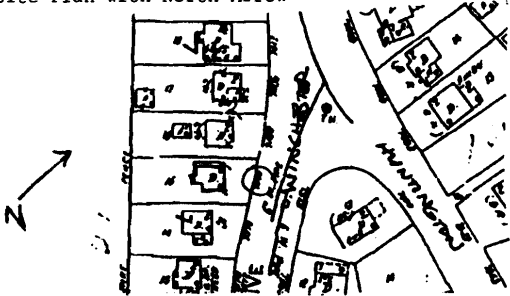
Aug. 2002

49. Revision Dates

7378 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - D 337		4. Present Name(s) Howard, Allen C. & Jacqueline, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Lieweke, Anthony J. and Elizabeth J., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7380 Winchester Dr. - Lot 15, Block 11		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1941-1942	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	30. Foundation Material concrete
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable, slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Howard, Allen C. & Jacqueline	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Poor
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red and brown brick house has a gray slate roof with small cross gables over the outer two bays of the three bay symmetrical façade. The upper floor windows are shuttered and each one is a 6 x 6 wood sashed window. The wood clapboard of the cross gable connects to the wood lintel of the outer two windows, which is actually the fascia board that is hidden behind the copper gutters of the main roof. The first floor windows on either side of the entry are 8 x 12 wood sashed windows with soldier course brick lintels with dentil caps. The central entry has brick quoins on either side and a similar brick treatment forms the lintel above the door. The concrete stoop and steps are missing the original railings, but have what are probably replacement metal railings on the steps only. The door is an unusual two raised panel, painted wood door. The shutters on either side of the door could be original, but are more likely an alteration covering original sidelights that would be characteristic for a Georgian Revival house. The windows on the east elevation utilizes the same configurations as the façade windows and there are basement windows visible next to the driveway, 3 light wood awning windows. The west elevation also repeats this same window pattern on either side of the end wall brick chimney with a simple, brick banded cap. On the rear, there is a 4 x 4 wood sashed window in very poor condition as well as a 6x6 wood sashed window, both on the second floor above a one story brick wing which was probably originally an open or sun porch, but now has the openings infilled with jalousie windows with aluminum frames. At the rear of the property is a detached, end gabled, two car, matching brick and slate roof garage that has wood siding in the gable end. Other than the possible alteration on the entry with the shutters and the jalousie windows on the back porch wing, the only alteration appears to be a metal canopy at the east end of the back porch. However, this house is in serious need of paint and the shutters need to be repaired before serious damage is done to the house.

43. History and Significance

According to the assessor's records, this house was built in 1941, which appears to be fairly accurate since this address was not listed in the 1941 directory, but it was listed in the next directory published in 1943. It became the home of Anthony J. and Elizabeth J. Lieweke (at times spelled Leiweke), who remained in the house at least through 1955 when city directory research ended. He was initially listed as a controller for C. Nelson Manufacturing Company, later promoted to vice president, but it appears that he may have retired by 1953 since no occupation was listed. This is an interesting variation of the Colonial Revival subtype known as Georgian Revival, which is characterized by the three bay façade, the side gable form with an chimney on the side, multipaned windows, shutters, raised meeting rails on first floor windows, quoining around the entry, and a simple entry stoop. Although there are plans on file in city hall for alterations/addition made at this address in 1955, the alterations are not apparent on the facade. The design is unusual for Georgian Revival style houses since it has small cross gables over the outer bay windows. The property retains the matching brick and slate roofed, detached garage, a which was a common solution to the need to accommodate automobiles in this commuter suburb, designed to minimize the visual impact on the streetscape. Although the garage is not shown on the 1967 fire insurance map, that appears to be an omission since it matches the brick and slate of the main house and was probably built when the house was completed, since no other house in this community was built without a garage. Both the house and garage retain a high degree of historic integrity and both are considered contributing buildings in the historic district.

44. Description of Environment and Outbuildings

The lot is basically level, but the ground is elevated on the façade slightly to minimize the appearance of the one car driveway along the east side of the house. The lot faces northeast onto Winchester Drive at the Y intersection with Huntington Drive. The driveway accesses the detached, two car, matching brick and slate gable roofed garage at the south corner of the property. There is also a serpentine concrete sidewalk from the front entry to the street.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

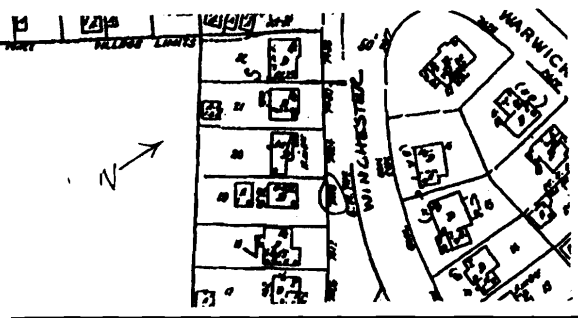
48. Date 49. Revision Dates

Aug. 2002

7380 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLA5039 - 0338		4. Present Name(s) Rogers, James M. & Shirley J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Powers, John T. and Verna, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7400 Winchester Dr. - Lot 16, Block 11		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Tudor Revival	30. Foundation Material rock faced ashlar limestone
		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
9. Coordinates Lat Long		20. Contractor or Builder	32. Roof Type, Material Gable; slate, now comp. shingles
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment brick
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape hyphenated rectangle
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Rogers, James M. & Shirley J.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Fair
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story side gabled, multicolored (red, brown and yellow) brick house has a raised, rock faced, ashlar limestone foundation that extends up at the west façade corner as well as forms small wing walls on either side of the vestibule. Although the original slate roof has been replaced with brown composition shingles, it retains the original copper gutters. The façade is divided into two bays with the east bay having a small hipped roof wall dormer that really is a second floor, framed bay window with its small modillions under the overhang and a 6x1 wood sashed window. Below, there is a one story, gabled, vestibule that contains the round arched entry. The entry is framed by rock faced ashlar limestone on each side, but has a compound brick arch with limestone keystone above. The round arched, wood plank door has been painted and has a small rectangular stained glass light. The outer corners of the vestibule at the gable end have rock faced stones and the original porch light is centered in the gable end. The concrete stoop has rock faced ashlar foundation and concrete steps with metal railings around the stoop and steps (a rarity in Pasadena Hills where most railings have been removed). The west bay has a wide cross gabled, second floor overhanging bay that projects slightly and has corbelled brick with rock faced limestone under the overhang. There is a small, leaded and stained glass, wood framed, casement window in the attic and paired 6x1 wood sashed windows in the second floor of this bay. The continuous soldier course lintel separates the second floor from the gable end, which has rowlock bricks forming a half-timbered patterning to the gable end. The first floor below has a triple 6x1 wood sashed window unit with a soldier course lintel. Below, there is a 3 light, wood framed awning window in the basement, centered on the façade. Flanking the gable ridge, on the west elevation has two brick chimneys with brick banded caps, but the rear chimney is smaller, as a flue chimney. On the first floor on either side of each chimney are small, wood framed, casement windows which now have aluminum awnings. On the second floor there are two 6x1 wood sashed windows and in the attic is a similar sashed windows, although the bottom sash has a vent panel. There are also 4 2 light wood framed awning windows in the basement level. On the east elevation there is another small attic window as well as 6x1 wood sashed windows on both levels and one tiny sashed aluminum thermal window near the façade. There are paired, wood framed awning windows in the basement level on either side of the ground level, side entry door. On the back, there are 6x1 wood sashed windows as well as a sashed aluminum thermal window. There is a two story framed wing near the center of the back of the house that has been enclosed with jalousie windows on the first floor and 8x8 wood sashed windows on the second floor (on both the east and west sides). This wing connects to the side gabled, two car garage wing directly behind this porch wing. The garage has a 6x1 wood sashed window on the west elevation and a wood lintel above the two car overhead garage door. The garage wing is brick, matching the main house and has a replacement composition shingle roof. Other than the replacement roof and the enclosure of the back porch wing, the only evident alterations are the two aluminum thermal windows (neither on the façade) and the aluminum combination storm windows and the storm door, which obscures the view of the entry door details, but these alterations only minimally impact the historic integrity of the façade.

43. History and Significance

On September 10, 1937, Mr. A. U. Gilman of 3637 Oakdale Avenue received a building permit for this house, but he was apparently either the real estate developer or the contractor since he was not listed in the city directory as the first occupant/owner of the house. That distinction went to John T. and Verna Powers. He was a comptroller. Although the couple was not listed in the 1938 directory (that year the address was listed as 7390 and vacant), they were listed in the 1939 directory. However, by the time the next directory was published in 1941, new owners had moved into the house, Joseph M. and Sigrid Stockert. He was a salesman for Shapleigh Hardware in St. Louis. This couple remained in the house for many years, although after 1949, only he was listed in the 1953 directory. By 1955, new owners, Carl L. and Marion W. Powell moved into the house. He was a salesman for Day-Bright Light. The house is a good example of the modest two story Tudor Revival designs found in Pasadena Hills. Tudor Revival was the most popular style in the development of this community. This example utilizes the characteristic round arched entry, rock faced ashlar limestone details that emerge from the foundation at the corners, wing walls on the entry vestibule, the complex roofline, the overhanging bay on the second floor, the multipaned windows and the wood plank round arched door. It also utilizes forms found on several other Pasadena Hills houses, both Tudor Revival and Colonial Revival designs: a side entry door directly accessing the driveway and a breezeway connection to what would otherwise be a detached garage. Although the breezeway has been enclosed, it appears that the second floor sun porch was part of the original design, an unusual feature for the connector to the garage.

44. Description of Environment and Outbuildings

The lot is basically level, although it slopes slightly uphill toward the back, elevating the façade which faces northeast at the junction of Winchester and Huntington Drives. The one car driveway along the east side of the property is cut down into the ground to minimize its impact on the façade. It extends to the attached garage wing behind the house. There is a sidewalk with three steps leading from the driveway extending at an angle to the front entry stoop.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 10, 1937.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

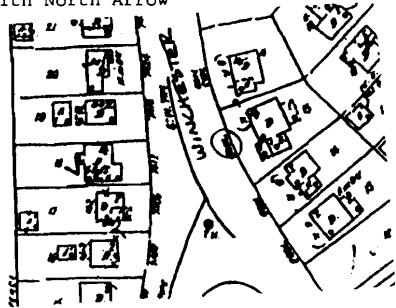
Aug. 2002

49. Revision Dates

7400 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 03391		4. Present Name(s) Edwards, J.B. & Irene B., House	
2. County St. Louis		5. Other Name(s) HISTORIC: McConnell, Joseph M. and Mary, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7406 Winchester Dr. - Lot 17, Block 11		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival and Craftsman Influences	30. Foundation Material rock faced ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable; slate, now comp. shingles
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick; wood siding
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangle+porch win
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Edwards, J.B. & Irene B.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Fair
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, gabled, multicolored (red and brown) brick house has an L-shaped roof that creates a large end gabled bay on the west half of the façade. The side gabled portion of the roof has a shed roofed extension on the interior of the L that extends out to form the open porch on the east half of the façade with a shed roofed dormer above, adjacent to the end gabled wing, but the house is basically rectangular in shape. The house originally had a slate roof, which has been replaced with a gray composition shingle roof, which has resulted in a loss of the textural quality of that distinctive roofing, but the house retains the original copper gutters. The gable ends and dormer are clad with what appears to be the original wood siding and there is an elevated rock faced ashlar limestone foundation that is punctuated by wood framed, 3 light awning windows. The shed roofed dormer has a leaded, stained glass, wood casement window above the porch. The porch projects from the façade and its shed roof is supported by two brick corner piers with decorative triangular brackets connecting to the wood beam lintels on the porch openings. The base of the piers are rock faced ashlar limestone to the top of the brick half-wall railings. There are brick side wall on the concrete entry steps and both corners of the porch have rock faced ashlar limestone stepped up the corner from the foundation. The round arched doorway is outlined simply with brick, but has a stained oak, wood plank door with a large round, stained glass light with a spider web pattern. On either side of the door, which is off-centered to the west on the porch, there are small porch lanterns, which appear original to the house. In the west, end gabled bay on the façade there is a small rectangular, louvered attic vent and paired 3x1 wood sashed windows on the second floor above a triple window of 3x1 wood sashed windows. Both have soldier course lintels and the foundation stone extends up the west corner of the façade. On the west elevation, first floor, there are three leaded and stained glass, wood casement windows as well as a series of 3x1 wood sashed windows (paired on the first floor, and singly as well as tripled on the upper level). There is also an end wall brick chimney on this elevation. On the east elevation, there is another rectangular louvered attic vent as well as 3x1 wood sashed windows and diamond patterned, stained glass casement windows on both levels. On the rear, there are more 3x1 wood sashed windows, paired, on both levels as well as paired 6 light wood casement windows on the second floor, sun porch wing. This brick wing has a hipped roof over the second story section, but has a gabled roof over the one story section, which extends to the east beyond the second floor wing. At the rear of the property is an end gabled, two car, matching brick garage that retains the original slate roof (an indication of the original house roofing) as well as wood clapboard in the gable end. It has two tri-fold wood doors with 4 lights in the upper portion of each panel. Although the entry appears to retain its original wood framed screen door, most windows now have aluminum storm windows and the brick on the lower portion of the façade has been repointed with nonmatching mortar, detracting from the visual integrity of the façade.

43. History and Significance

On May 13, 1930, Joseph McConnell of 350 Tower Grove Drive received a building permit for his new home based upon plans by Julius E. Tarling, the most popular architect in the development of Pasadena Hills. Joseph M. and Mary McConnell are listed in the 1932 city directory (the first to cover Pasadena Hills), although both the deed and building permit were issued in 1930, indicating that the house was probably finished in 1930 or 1931. He was listed as a carrier. By 1934, another McConnell, Robert, is listed at this address, but not identified as the owner and with no occupation or wife listed. It is possible he was their son or another relative. By 1936, the house had new owners, Austin A. and Mary A. King. He was an insurance agent for State Mutual Life Assurance Company in St. Louis and the couple continued to live in the house for many years, at least through 1955 when city directory research stopped. This is one of the earliest houses in the community and one of the more unusual Tarling designs, combining stylistic details found on Tudor Revival designs with the form and window patterns often found on Craftsman houses. It utilizes the characteristic multicolored brick with rock faced ashlar limestone at the base, both on the foundation, porch posts, and rising up the corners of the façade, a distinctive Tudor Revival stylistic detail. Other Tudor Revival features can be found in the round arched entry and wood plank door as well as the leaded and stained glass windows. However, the cross gable form with the shed roof extension on the front porch and the shed roofed dormer are more commonly found on Craftsman houses, as are the open porch with its brick corner piers and 3x1 wood sashed windows. The house retains its original, brick detached garage that has its original slate roof and retains its double, trifold wood paneled garage doors. Despite the loss of the original slate roof on the house, both the house and garage retain most of their historic integrity and are contributing buildings in the historic district.

44. Description of Environment and Outbuildings

The lot is basically level but is elevated from the street and faces northeast onto Winchester Drive. There is a one car, concrete driveway along the east side of the property that extends back to the two car, detached, end gabled, brick garage at the south corner of the property. There is a serpentine sidewalk that leads from the entry porch steps to a series of concrete steps down to the street.

45. Sources of Information

Recorder of Deeds, St. Louis County, Deeds, June 2, 1930; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, May 13, 1930.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

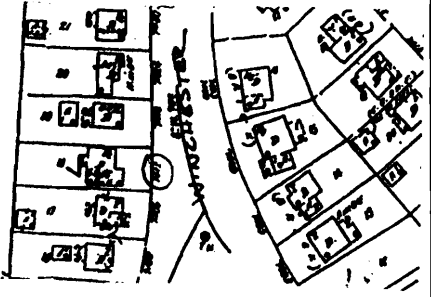
Aug. 2002

49. Revision Dates

7406 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0340		4. Present Name(s) Merrill, John & Evelyn, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Heslep, L. B. and Wilma D., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7412 Winchester Dr. - Lot 18, Block 11		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1948	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Minimal Traditional	30. Foundation Material Concrete
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction concrete block, brick faced
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable, asbestos tile
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape L-shaped+back wing
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Merrill, John & Evelyn	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good-Excellent
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, multicolored (red, yellow, pink, and orange) brick house has what is probably the original asbestos tile roof and copper gutters and downspouts. The façade is divided into three vertical divisions, although the projecting gabled wing of the leg of the L shaped plan spans half of the façade. This wing has a one car, basement level garage with the original wood paneled door with 4 beveled glass lights. Above, there are paired 6x6 aluminum sashed windows with a brick capped soldier course lintel. On the second floor level, is a single 4x4 aluminum sashed window with a continuous soldier course lintel. The middle bay, to the west contains the entry door, which is a painted 6 panel door with an aluminum full view storm door. The concrete floor of the entry stoop with its metal railings, rests on top of a brick foundation which is in actuality a continuation of the east wing's façade wall. The steps exit the stoop to the west to connect to a concrete landing pad and the concrete steps down to the driveway on the east. The west bay on the façade has a tall, gabled wall dormer with a 6x6 aluminum sashed window with a soldier course lintel above a large picture window with a brick capped soldier course lintel. The picture window consists of a large fixed window flanked by 4x4 aluminum sashed windows. These aluminum windows appear to be the originals, rather than recent replacements and have aluminum combination storm windows added in recent years, just as do the aluminum windows on the other elevations. On the west elevation there is a broad, brick end wall chimney in front of the gable ridge, which has a corbelled cap and a more recent metal cap. This elevation has two large 12 light glass block windows as well as an 8 block window on the first floor. In addition, it has a 6x6 aluminum sashed window on the first floor and a paired 6x6 aluminum sashed window on the second floor. On the east elevation, there are two 6 x6 aluminum sashed windows on the first floor on either side of a glass block window with a small window vent and on the second floor it has paired 6x6 aluminum sashed windows. On the rear, there are more aluminum sashed windows on the first floor as well as in the dormer above and there is a frame porch that has been enclosed with jalousie windows. This porch has vinyl and brick walls with the entry facing west. Although the back porch has been altered, it is not visible from the façade, which appears to retain a high degree of historic integrity, including the original porch railings (a rarity in Pasadena Hills where most railings are missing). In addition, the driveway is flanked by tiered, stacked stone retaining walls.

43. History and Significance

The assessor estimated the year built as 1948, which may be fairly accurate, but this address is not listed in the 1949 city directory. It is first listed in the next directory, which was not published until 1953. It was then listed as the home of L. B. Heslep. By 1955, he is listed there with his wife, Wilma D. Heslep. This is a good example of the transition from the Tudor Revival style which was popular during the pre-World War II development of Pasadena Hills, to the cleaner lines popularized by modern styles after the war. This led to the Minimal Traditional style that utilized the complex roofline found on Tudor Revival houses, but less steeply pitched gables, and few ornamentations on the wall surfaces, except for the multipaned windows and wood paneled door. As seemed obligatory on post-war houses, this house has a large picture window as well. This example is nicely balanced and the basement level, façade entry to the garage is carefully composed to balance with the tiered retaining wall and entry stoop, unlike most other basement level garages in this community which appear to be a simple afterthought. The house appears to have had few alterations to the façade and is a contributing building to the district.

44. Description of Environment and Outbuildings

The lot is basically level and faces northeast onto Winchester Drive at the Y intersection with Huntington Drive. In fact, while the house to its east is addressed on Winchester, the house to its west is addressed on Huntington. The lot is elevated from the street with a sloping front yard that is cut out on for the one car, concrete driveway to the basement level façade entry to the garage. There are stepped limestone retaining walls on either side of the driveway with concrete steps leading from the head of the driveway up to the landing at the base of the steps on the entry stoop, together forming a dogleg set of steps.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

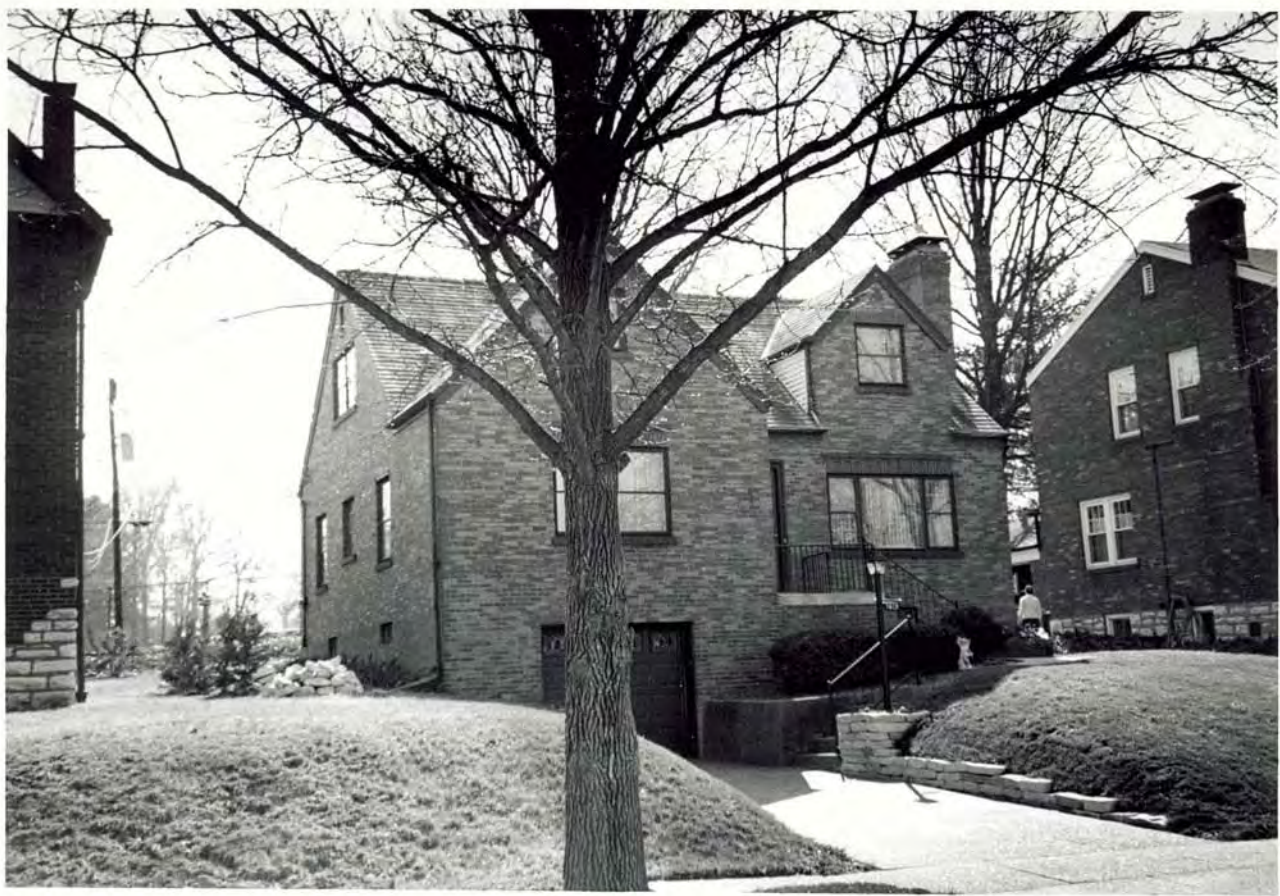
Pasadena Hills Historic Preservation Commission

48. Date

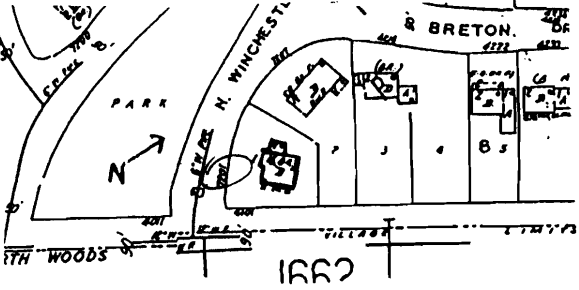
Aug. 2002

49. Revision Dates

7412 Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS 029 - 0341		4. Present Name(s) Pollaci, John & Deanna L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Cummer, William M. and Helen, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7201 N. Winchester Dr. -- Pts. 1 & 2, Block 8		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1942	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Cape Cod	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Pollaci, John & Deanna L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable, orig. slate, now comp.shingle	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, multicolored (red, brown, tan) brick house has a replacement gray composition shingle roof, but originally had a slate roof, according to the 1967 fire insurance map. It does retain its original copper gutters and has a raised, rock faced, ashlar limestone foundation, that also forms the half-wall on the face of the entry stoop. The façade is divided into three vertical units with the west bay projecting slightly with a shed roofed extension of the main roof. Above, its segmental dormer has both wider, wood clapboard siding on the sides and face of the dormer, while the segmental dormers in the other two bays have brick faces with clapboard sides. All of the dormers have 4 x 4 wood sashed windows, but the west dormer window is rectangular rather than segmental arched as the other two are. The window on the first floor of the west bay is also segmental arched, with a contrasting segmental arched wood lintel. It is a large, 4 x 4 wood sashed window with wood plank shutters. There is a double brick stringcourse and the top course forms the projecting sill on the first floor windows on the façade. The middle bay contains the slightly recessed entry door with the opening spanned by a simple entablature. The 9 panel wood door has recessed panels with raised moldings. The concrete stoop has steps that exit to the east, rather than toward the street. The bay on the east end of the façade has another large 4x4 wood sashed window with wood plank shutters, but it has a simple entablature similar to the entry. Spanning both the middle and east bay is an additional brick stringcourse near the eaves. The sides and rear elevations have additional 4x4 wood sashed windows and all the windows have wooden storm windows. The basement windows are wooden casement windows visible in the raised limestone foundation. The façade garage entry door, which is a wood paneled overhead door with an upper row of glass lights, is slightly recessed in the west bay and framed by the same foundation stone. On the west elevation there is a brick end wall chimney with a brick banded cap. On the west side, there is also a one-story, frame, porch that has a hipped roof and has been enclosed with wood siding and fixed wood storms. Although this alteration does impact the historic integrity of the façade, the materials and treatment are consistent with other sun porches found in the neighborhood and most of the façade of this house is unaltered.

43. History and Significance

Built in 1942, this was initially the home of William M. and Helen Cummer, but they are only listed in the 1943 directory. By the time the next directory was published, after the war, in 1946, new owners had moved into the house. Osteopathic doctor, Samuel H. Leiboy and his wife, Ursula M. Leiboy, would be listed in both the 1946 and 1949 directory. When the next directory was published in 1953, new owners had again moved into the house. An engineer at McDonnell Douglas, with its offices west of Pasadena Hills, Albert Utsch would live in this house with his wife, Ailda, at least through 1955 when city directory research ended. This is an unusual example of the Cape Cod variant of the Colonial Revival style, because there is a slightly projecting wing on the west end of the façade over the basement level garage. Otherwise, it has the characteristic features of this style: a three bay division of the façade, a side gabled form with an end wall chimney located at the gable ridge, multipaned sashed windows, shutters, wood paneled door, entablature treatments above the entry and first floor windows, and dormers. However, these dormers are a less common shape, with a segmental dormer. This interpretation of the Cape Cod style is indicative of the later use of Colonial Revival features without the formality of earlier examples, which was evolving into a new style, known as Minimal Traditional, which would have less decorative detail on the façade, projecting wings on the façade, and usually a picture window, some of which is evident in this Cape Cod house. Also, the garage entry is located on the façade, basement level, a less popular choice in Pasadena Hills where garages were usually relegated to the rear of the property, but the driveway is deeply cut into the lot to minimize its visual impact on the streetscape. Although the original slate roof has been replaced and the side porch wing (another common Colonial Revival feature) has been enclosed, this house retains most of its other distinctive original features and is considered a contributing building in the historic district.

44. Description of Environment and Outbuildings

The lot faces south, southwest onto North Winchester just west of the intersection with Lucas and Hunt Road. It slopes uphill toward the rear slightly and there is a deeply cut, one car driveway from the street to the basement garage entry on the west end of the façade. There are a series of concrete steps from the head of the driveway that zigzag up to the side entry to the entry stoop. A portion of the driveway has rock faced ashlar limestone retaining walls.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

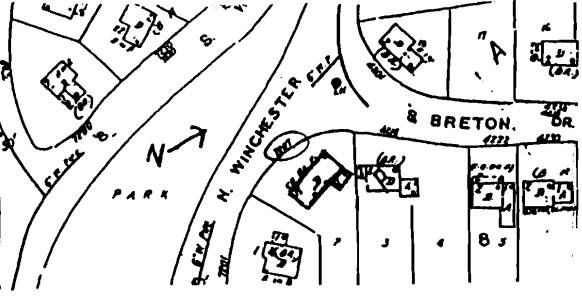
Aug. 2002

49. Revision Dates

7201 N. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0342		4. Present Name(s) Bouie, Alonzo, House	
2. County St. Louis		5. Other Name(s) HISTORIC:	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7207 N. Winchester Dr. - Pts 1 & 2, Block 8		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1955	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Minimal Traditional	30. Foundation Material Concrete
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	31. Wall Construction concrete block, brick faced
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable, comp.shingles
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular + porch
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Bouie, Alonzo	36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, multicolored (red, cream, olive, tan) unusually textured brick house has a dark gray composition shingle roof with aluminum gutters and downspouts (the original roof was apparently composition shingles as well). The façade has two primary divisions, with a large cross gable on the north half with a paired 2x2 aluminum sashed window unit in the gable end on the second floor with a picture window flanked by sashed windows on the north end of this bay and the slightly recessed entry on the south side. The painted, 3 horizontal (raised molding) panel door has a wood framed, opaque glass, single light, sidelight on the south side of the doorway. There is a concrete stoop with metal railings (a rarity to still find intact in Pasadena Hills) with the steps located on the north side of the stoop rather than the façade. The south half of the façade is divided symmetrically with two gabled dormers clad in siding with 2 x 2 aluminum sashed windows above two pairs of shuttered sashed windows. It appears that the first floor window sashes have been replaced with vinyl 1x1 windows. Below, there is a two car, wood paneled garage door to the basement level garage that has a top row of glass lights. Other distinctive features include the broad, corbelled cap brick chimney on the north elevation and the one story frame porch on the rear of the house, at the north end. It is now enclosed with aluminum screens and kick panels. It retains the original concrete floor. While the enclosure of the back porch and the canvas awnings on all of the façade openings has only a minor impact on the historic integrity of the house, the replacement vinyl windows changes the relationship of glass to framing and eliminates the horizontal patterning of the windows, one of the distinctive post-war features. Even so, the building retains its basic historic integrity and is still contributing to the historic district.

43. History and Significance

In 1955, Julius E. Tarling designed this house and his plans are filed in city hall. Tarling's designs help characterize this community since he was by far the most popular architect in the community's development. The assessor identifies the year built as 1955, which appears accurate given the date on the plans. This is one of Tarling's later designs, which could be characterized as a Minimal Traditional style house, a style that borrows heavily from earlier styles popular in the neighborhood, especially the Cape Cod variation of the Colonial Revival style, which is noted for its gabled dormers, shuttered windows, and end wall chimneys on the gable end but in this Minimal Traditional design, the façade does not have the symmetry of the earlier Cape Cod houses, the windows are not multipaned, by simple 2x 2 horizontal light windows, and there is a basement level garage entry on the façade as well as a large cross gable over the west portion of the façade. Most of the house retains its original horizontal light aluminum framed windows (a popular 1950s feature) even though it now has storm windows and canvas awnings on the façade windows. As is characteristic of homes built after World War II, it also has a large picture window, a broader and flat chimney, and a distinctly modern 3 panel door with a sidelight of one large pane of opaque glass, all Modern stylistic features found on a variety of post-war designs. Even though it is not yet 50 years old, this is a significant house and a contributing building in the historic district because it is one of Tarling's designs and its design is characteristic of many of the later designs that characterized the development of this community.

44. Description of Environment and Outbuildings

This lot faces west on the curve where N. Winchester meets Breton Drive and overlooks the Winchester ravine park, one of the three major ravine parks in the community. The lot is sloped uphill toward the north with the south side yard and driveway at one level and a steep rise uphill to the north and across the other half of the façade. A series of concrete steps curve up the hillside to the north side entry to the entry stoop. The paved driveway appears to be the original width, unusual, since it is a two car driveway that extends to the façade entry of the two car basement level garage (usually these are one car drives and garages).

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

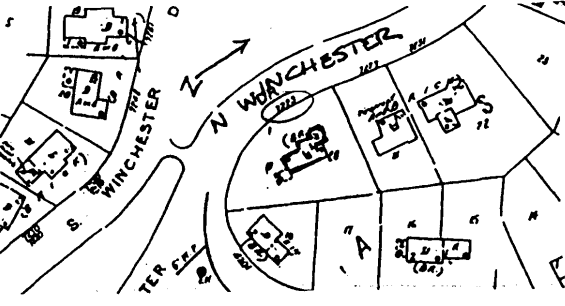
Aug. 2002

49. Revision Dates

7207 N. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0343		4. Present Name(s) Schulte, James A. and Rosanne, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Brining, Richard L. and Edith S., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7223 N. Winchester Dr.-Pt. 19, Lot 20, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer Roland P. Buckmueller	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Schulte, James A. and Rosanne	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable, slate	
		33. No. of Bays FRONT 5+1 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, brick house has a side gabled, slate roof and a asymmetrical façade that features a center gable bay. The brick is an unusual, high sand, variegated brick. The center gable end, as well as the siding on the sunroom on the south end of the house, are made of redwood. Most of the windows are wooden, 6 x 6 sashes and those on the first floor of the façade have decorative shutters. Below this gable end of the center bay is a decorative brick dentil course. There is a canted bay window with a standing seam metal roof and multipaned sashed windows on each facet of the bay (but these windows are replacement vinyl windows replicating the original muntin pattern). Above the bay window is a single, multipaned sashed window on the second floor. To the south of this bay, stepped back is the main elevation wall of the façade that is divided vertically into two bays. The south end has a shuttered, multipaned sashed window on the first floor level with a pedimented gable wall dormer with another multipaned sashed window aligned above. The north end has the half-round pedimented entry with flanking pilaster strips on either side of the wood paneled entry door. The low entry stoop aligns with another multipaned sashed window on the second floor. Both second floor windows are connected by the sill course that forms a dentiled brick band that wraps onto the south elevation. To the north of the center gable bay is the side gabled, attached garage which forms a projecting bay on the façade with two, shuttered, 6 x 6 wood sashed windows. The garage partially overlaps the front of the main house and the roof sheds continuously. The façade wall is lighter brick in contrast to the decorative brick band at the top that forms a cornice and continuous lintel. The north elevation of the house has the overhead garage entry with a window in the attic level that mirrors that in the main house beyond. The gable end of the 1 ½ story garage is staggered and projecting in front of the main house gable end. On the south elevation, there is a central gable end chimney. There are multipaned windows in front of the chimney, one on each level, but they are staggered, not vertically aligned because of the sloping roof of the attached, side gabled sunroom with the shallow hipped roof over the broad façade bay window with its clustered sashed windows. The south end of the sunroom has paired sashed windows. The windows and siding enclosed this sunroom at a later date, since it was originally an open porch.

43. History and Significance

Normandy Presbyterian Church Parsonage This two story, brick house is a variation of the center gabled subtype of the Colonial Revival style that is often known as Georgian Revival, which was derived from the style popular in the English King George's reign. Unlike most examples of this subtype, the center gable does not contain the entry, which located to the south of this projecting bay. Also, an accommodation to the increasing importance of the automobile in the lives of American families, the garage is located prominently in a projecting bay at the front of the house, although it still opens to the side, not the façade. This is a one of the larger examples of this style in the neighborhood and incorporates many of the stylistic details that help characterize many variations of twentieth century Colonial Revival designs, including the multipaned sashed windows, the pedimented entry, the bay window with its flared metal roof, and the shutters. From the Georgian Revival variation it gets its side gabled roof design the gable end chimney, the pedimented entry, and the division of the main house façade into three vertical divisions or bays, as well as the use of one story side gabled wing for the sun porch. The house was first the home of a CPA for Kessler Cartell and Company, Richard L. Brining and his wife, Edith S. Brining. They continued to live in the house for many years, at least through 1955 when city directory research ended. Later, the house became the Normandy Presbyterian Church parsonage. The fact that the house was designed by the original planner of the community, Roland P. Buckmueller, adds significance to the house design. There are also plans on file in city hall, dated 1955 and designed by Edwin Knoesel for an addition/alterations to this property, but given the age of these alterations, they are also considered contributing to the character of the property and historic district.

44. Description of Environment and Outbuildings

Located on the east side of Winchester Drive across from one of the deep ravine parks that characterize this community, the house is just north of the bend in the street where Winchester Drive intersects with Breton Drive. The house has a broad expansive lawn that is nestled in the wooded ravine facing the street, but due to disease has recently lost a number of its oak trees. The lawn on the front is steeply graded, with a driveway on the north end of the property to the side elevation garage entry. There are also a series of steps from the street to the front entry. Large concrete patios have been added to the back of the house in recent years, but they are not visible from the façade.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory; Roland P. Buckmueller, Architect (St. Louis). [Original Construction Plans, 1939.], Schulte Private Collection, Pasadena Hills, Missouri.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


April 2002

49. Revision Dates

7223 N. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0344		4. Present Name(s) Bake, William A. and Marlene G., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Schorr, William J. and Elsie M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7227 N. Winchester Dr.-Lot 21, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Bake, William A. and Marlene G.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable, slate	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, multicolored (red, brown, cream) smooth brick house has a steeply pitched, light gray and brown slate roof with copper gutters. There is a large cross gable on the south half of the façade, a small gabled dormer on the north half of the façade, as well as a shed roofed dormer on the back (south end, with slate side walls). Overlapping the cross gable on its north half, is a one story, projecting, gabled vestibule with a segmental arched opening into the recessed doorway. Flanking both sides of this opening are brick quoins and there is a multi-row brick arched lintel with limestone at the corners and as a keystone. The door is deeply recessed within the opening and is similarly arched. It is a stained oak, wood plank door with a small rectangular stained glass light. Both the porch floor in the vestibule and the steps are brick with rock faced ashlar limestone, square piers on each end of the porch with stone side walls down the wide steps. The ceiling of the recessed opening is vaulted. Next to this projecting vestibule, on the south half of the cross gable is a hipped, slate roofed, canted bay window that has leaded glass casement windows with leaded glass transoms, one on each side and paired on the face of the bay window. Centered between the vestibule and bay window, on the second floor there is a wood plank shuttered, paired, 6x1 wood sashed window unit that has a continuous brick lintel that separates the gable end above. To the north of the cross gable the gabled dormer has paired 6x1 wood sashed windows with wood siding in the gable end. Below, there is a pair of 6x1 wood sashed windows. On the north elevation, there are additional 6x1 wood sashed windows (paired on the second floor and single on the first), with a large brick, end wall chimney with a banded cap that matches the chimney on the south end, except that the base of the south chimney terminates above the basement level, two car garage with its original wood paneled garage door with paired lights in the upper row of panels. There are more 6x1 wood sashed windows on his elevation and near the rear there is a small, one story (plus basement) side gabled brick wing. Above, the slate on the side of the shed dormer is visible on the back of the house. The slate, gabled roof porch has been enclosed in recent years with glass panels and a sliding glass door, but maintains much of its original transparency. There is little evidence of alterations to the exterior, other than the back porch enclosure and the replacement flues in the chimneys.

43. History and Significance

On May 27, 1936, William Schorr of 4117a W. Kossuth Avenue received the building permit for his new home at 7227 Winchester Drive. According to the accessor's estimate, the house was built that year, and William J. and Elsie M. Schorr had moved into their new home by the time the 1938 city directory was canvassed. They continued to live in the house for many years, at least through 1955 when city directory research ended. He was a teller at Northwest Bank and Trust in St. Louis. Julius E. Tarling, the most prolific architect in the development of Pasadena Hills, designed this residence. His designs contribute significantly to the character of this suburban development and this is an excellent example of one of his Tudor Revival style houses. This Tudor Revival design retains a high degree of historic integrity and utilizes a 1.5 story form of this style to create a complex façade with overlapping gabled bay and vestibule, bay window and even a gabled dormer, as well as the one story, side gabled, side wing and flanking end wall chimneys. It has a number of distinctive Tudor Revival features: a steeply pitched slate roof, a segmental arched opening to the open vestibule, stone details to contrast with the multicolored brick walls, multipaned sashed windows, leaded glass casement windows, and a stained oak wood plank door with a stained glass light. Even the rear elevation is complex with a large shed roofed dormer and a gabled sun porch and the south elevation includes the original wood paneled two car garage doors with the paired lights in each upper panel to the basement level garage with the unusual juxtaposition of the base of the chimney over the doorway. As was often viewed as an added feature in this community, the basement level garage was fireproof construction. While garages were an important component in the residential design of this commuter suburb, the preference was to position the garage, as in this design, to a secondary elevation, in this case also located in the basement, minimizing the visual impact of the driveway and garage door on the streetscape and façade.

44. Description of Environment and Outbuildings

The lot is steeply sloped both downhill toward the street and downhill toward the driveway and south end of the lot, so that the house overlooks the ravine park to the west. The one car driveway provides access to the basement level garage on the south elevation and there is a curved sidewalk and steps down to the driveway from the front entry steps.

45. Sources of Information

Bake, Marlene. Personal Collection. Pasadena Hills, Missouri. "Residence & Garage, Lot 21, Bl. 9 Winchester Drive Pasadena Hills Plans No. 917." by Julius E. Tarling; Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, May 27, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


Aug. 2002

49. Revision Dates

7227 N. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 - 0345		4. Present Name(s) Goode, P. Wayne & Jane B., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kilker, Clarence H. and Mildred, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7231 N. Winchester Dr. - S. Pt. Lot 22, Block 9		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Goode, P. Wayne & Jane B.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gabled and Hipped - Slate	
		33. No. of Bays FRONT 4 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, multicolored (red, brown, cream) smooth brick house has a complex slate (grays with rose accents) roof with copper gutters. The basic roof is side gabled, but the south end is hipped, extending down to the base of the second floor windows and creating a gabled dormer on the south elevation. On the north end of the façade is a massive cross gabled bay and next to it is a hipped bay with a small cross gable, each stepped out from the remaining façade, which is divided into two vertical divisions on the south end by a massive end wall chimney. There is an additional chimney and small cross gable on the north elevation, but that chimney is not near as elaborate as the façade chimney with its vertical recessed niche that splits the lower shaft of the stepped chimney, with a similar treatment to creating the appearance of multiple flues on the upper shaft with a corbelled cap. The fenestration on either side of the chimney is the same, with 6x1 wood sashed windows on the second floor and paired, transomed leaded glass windows on the first floor that have large dressed stone lintels. The entry is located in the hipped bay below the second floor segmental arched window opening with paired leaded glass wood framed casement windows with a leaded glass transom. This window has wood plank shutters and a faux metal balcony below the window. The entry has a round arched, dressed limestone, quoined opening that creates a shallow porch with the similarly arched, stained oak, wood paneled door recessed three feet. The door has a small, round arched, leaded glass light and an oak storm door. The concrete slab in front of the opening as well as the entry floor are tiled. The cross gabled bay on the north end of the façade as well as the small cross gable in the adjacent hipped bay have a decorative basketweave pattern in the gable end. In the large cross gable end, there is a small casement attic window above the paired 6x1 wood sashed windows on the second floor. This paired window unit has a large dressed stone lintel and wood plank shutters and its sill rests on the top of the hipped, standing seam metal roof of the large canted bay window on the first floor. Below the leaded glass, wood sashed windows in this bay window the walls are brick. The window sashes are paired on the façade of the bay and all four windows have raised meeting rails. On the sides of this cross gabled bay, first floor are 6x wood sashed windows, as are most windows on the other elevations. The two car, attached garage is incorporated to the rear elevation, with the portion extending out beyond the main elevation line having a second floor porch above the garage. The garage retains its original, overhead, wood paneled door. The garage wing is located adjacent to the one story frame porch on the south end of the rear elevation, which has been enclosed with vinyl siding and vinyl sashed windows. There is also a small porch on the north end of the rear elevation and a bay window near the garage. Other than the alterations to the rear sun porch, which may be a later addition since it does not appear on the 1967 fire insurance map, but it does not have a major impact on the façade or historic integrity of the house. The only other visible alterations appear to be the use of aluminum storm windows, but the leaded glass windows have wooden storms.

43. History and Significance

In 1938, the most popular architect in the development of Pasadena Hills, Julius E. Tarling, prepared the plans for this house. These plans are on file in city hall. It is one of his most elaborate Tudor Revival designs. Tarling combined a complex slate roofline that includes a cross gabled and a hipped bay (with a small cross gable) on what is essentially a gabled roof on one end and a hipped roof on the other end with a variety of decorative features on the façade, including the stone outlining the round arched recessed entry, the round arched, paneled oak door with stained glass light, the elaborate and large chimney, and a variety of windows (transomed paired casements, multipaned wood sashed windows, leaded glass windows) some with shutters, some with massive smooth stone lintels, and one segmental arched form as well as a huge bay window. The house was built for Dr. Clarence H. Kilker and his wife, Mildred. He had offices at 3121 N. Grand in St. Louis by 1955, when the couple still lived in the house. Although the automobile was an essential element in the development of this commuter suburb, the location of the garage with a rear entry and the driveway slightly recessed into the front lawn, minimized the impact of this necessity on the streetscape. The curved, tiered sidewalk enhances the image of a country estate with meandering walkways.

44. Description of Environment and Outbuildings

The lot faces west and overlooks the ravine park between North and South Winchester Drive. The house is elevated from the street and there is a one car, paved driveway along the north side of the house and lot that extends back and around to access the rear entry to the attached garage. There is a tiered, concrete sidewalk that curves from the middle of the driveway up to the entry vestibule.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates
Aug. 2002

7231 N. Winchester
Pasadena Hills



A black and white photograph of a large, multi-story Tudor-style building. The building features prominent half-timbering on its upper floors and steep, gabled roofs. It is situated on a hillside, with several large, leafless trees in the foreground and background. A paved driveway or path leads up towards the building. The overall scene is captured in a high-contrast, grainy black and white style.

HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled house has walls of multicolored (red, cream, olive) brick that is textured with a series of dimples and has a multicolored (grays and rose) slate roof. The house retains its original copper gutters and downspouts with decorative collector boxes. The façade is divided into three unequal bays, with a large, two story cross gabled wing on the south end. Above the second floor triple, wood sashed windows (with diamond pattern leaded glass in the upper sashes like most other sashed windows on the house) the gable end is stucco half timbered with a small rectangular louvered attic vent. The second floor windows are located within a shallow flat bay with rock faced stones accenting the corners and with stone modillions under the base of the bay. The bay is the same dimension as the triple, sashed window unit opening on the first floor which is also framed with scattered rock faced stones. Scattered stones accent the corners of this wing and there is an unusual narrow stepped wing wall on the south corner of this wing as well as on the north corner of the façade that is mostly brick but has arrowhead shaped stone caps on each step. Nestled next to this wing is the narrow entry bay with the entry located below a steeply pitched gabled, wall dormer that forms a shallow overhanging bay. This dormer is clad with stucco half timbering and has a large, wood sashed window that has an elaborate stained glass motif featuring a swan. The relieving arched entry opening is surrounded by dressed limestone and there is a small sidelight window located on the adjacent wall of the south wing. The north corner of the brick walls of the vestibule have scattered stones and a sloped wing wall. The corners of this stone surround have small carved heraldic symbols and the door is a stained, wood plank door with massive strap hinges and a small stained glass light. The brick entry stoop has steps that exit to the north and it has a red quarry tile floor. It appears to retain the original iron railing across the front, but the steps that lead from the stoop down to the driveway have a pipe railing added. The north bay is framed by the downspouts with collector boxes and has a segmental arched wall dormer with another sashed window that has a soldier course lintel with stone keystone and scattered stones on each side. On the first floor stones and a soldier course lintel also frame the double, paired leaded glass casement windows. There is a large brick end wall chimney with paired chimney pots on the south elevation that has a large decorative cat shaped tie rod end on the upper shaft. There is also a large, shallow, one story gabled bay on the south elevation. On the north elevation there is a smaller brick chimney flue. On the back of the house is a two bay, attached garage with its original wooden doors that faces the back. There is a small rear entry porch between the garage and the rear elevation near the north end. On the south end of the rear elevation there is a large enclosed one story porch that has a asphalt composition roof and appears to be a later addition since it is not shown on the 1967 fire insurance map. In addition, there is a two car, matching brick and slate roofed, gabled, detached garage which also retains its two original wooden doors. Although the rear porches have been enclosed, one with jalousie windows and there is a rear porch addition, there appear to be no other alterations to the exterior.

43. History and Significance

Architect, Oliver J. Popp completed the plans for this large Tudor Revival house in January 1931. It was designed for Carl E. and Ingeborg Lund and was probably finished that year since they are listed in the 1932 city directory. Carl Lund was a contractor and real estate developer, who purchased several properties in the new Pasadena Hills development on June 7, 1929, including this lot for his own home and it is likely that he was the contractor for his own home. The Lunds would continue to live in the house for many years and he died in the early 1950s, but his widow still lived in their home at least through 1955 when city directory research ended. Oliver J. Popp and Carl Lund appear to have collaborated on several other houses, since the current owners received not only this house's original plans, but also those of 4323 Roland Boulevard and 7318 Huntington Drive from Carl Lund's son, Elmer Lund, who had inherited the property and continued to live in the house until about 8 years ago. Since then there have been two owners. Carl Lund appears to have developed and financed a number of the houses in Pasadena Hills development, with offices at 1528 Arcade Building in downtown St. Louis. Because of this apparent prominence in the development of Pasadena Hills, and because of the architectural design by Oliver Popp, one of the best Tudor Revival style houses in Pasadena Hills, this house is probably individually eligible for the National Register of Historic Places (as long as it retains its architectural integrity on the interior as well) in addition to being a major contributing building in the historic district. The design utilizes a number of Tudor Revival features: complex multicolored slate roofline, brick walls highlighted by rock faced stone accents around windows and corners contrasted by the raised rock faced ashlar limestone foundation and half timbered stucco highlighting gable ends on the façade, a dressed stone surround on the segmental arched entry, and a variety of sashed and casement windows (several of which are leaded and stained glass), as well as a stepped façade. The design is highly unusual because it not only has a two car attached garage wing, but also a detached two car garage, both of which appear to be historic. The house has a small frame porch wing that was added later on the south end of the rear elevation, which is now enclosed with jalousie windows, but it does not have a major impact on the historic integrity of the property.

44. Description of Environment and Outbuildings

The large triple lot slopes downhill toward the street and the ravine park that splits Winchester Drive. There is a paved driveway that is cut deeply into the ground along the north side of the house that extends back to provide access to both the attached and detached 2 car garages on the rear of the property. The detached two car, gabled, brick and slate garage is located near the east corner of the lot. There is a long series of concrete steps from the driveway up to the side of the front entry stoop.

45. Sources of Information

Oliver J. Popp, Architect (St. Louis) "Residence for 7243 Winchester, Lots 23 and 24, Block 9, Pasadena Hills." January 1931 [original construction plans]. John S. and Julie Thompson, Pasadena Hills.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

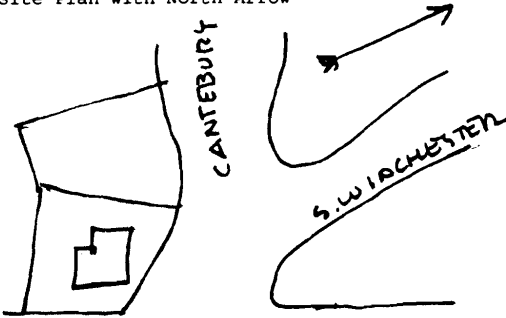
Aug. 2002

49. Revision Dates

7243 N. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLA-039 -0347		4. Present Name(s) Brooks, Ray H. & Christine, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Ernst, Herman H. and Ella E., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7200 S. Winchester Dr. - Pt. 13, Lot 14, Block 5		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Brooks, Ray H. & Christine	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hipped - Slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched hipped roof house has course, multicolored (red, light green, and tan) brick walls accented by the rock faced ashlar limestone foundation and entry stoop as well as other limestone highlights. The roof is the original grays and tan slate roof with the original copper gutters, but the trim on the fascia and window brick mold has been wrapped in aluminum. The façade is symmetrical with a steeply pitched, cross gabled, two story, projecting vestibule bay in the center that is flanked by paired 6x1 wood sashed windows on the second floor and baskethandle arched window openings on the first floor. The upper sashes of the second floor windows have an unusual pattern with the center panes much wider than the outer panes. The baskethandle arch openings have double rowlock brick arches with limestone keystones and bases to the arches. The transomed triple window units in these arched openings are wood sashed windows with both the upper sashes and transoms of diamond patterned leaded glass windows. The vestibule bay has a narrow rectangular attic vent above the second floor, round arched window that repeats the brick and stone detailing in its arch. The doublehung sashed window in this opening has diamond patterned leaded glass and the upper sash is round arched. Below the window is a metal, faux balcony. The entry centered below this window unit is also round arched, outlined with rock faced limestone quoining and is flanked by what appears to be the original porch lights. The door is a stained oak, wood plank door with a small stained glass window. On either side of the vestibule is a tall narrow brick wing wall with a sloped limestone cap and the semicircular stoop appears elevated higher than the foundation stone, because it has a sitting wall extension of the foundation of the same rock faced ashlar limestone, with a smooth stone cap. The floor is concrete and the steps exit at an angle toward the west side of the stoop. There are matching wing walls mirroring those of the vestibule on either end of the façade. Most windows on the side elevations are the similarly patterned 6x1 wood sashed windows and the paired casement basement level windows are visible on both sides. On the east side there is a broad brick chimney with a stone cap and a replacement metal cap. On the back, there is a small one story brick wing extension over the basement garage entry with the door facing the back yard. Next to this wing, there is an aluminum awning over the concrete entry steps. The only other visible alteration is the aluminum storm windows and storm doors, which camouflage the details because of their contrast and mismatched meeting rails on some windows.

43. History and Significance

Built in 1937, this was the home of Herman H. and Ella E. Ernst. He was a foreman, later promoted to superintendent at Sterling Product Corporation (later known as Sterling Aluminum Company) in St. Louis. The Ernst family continued to live in the house at least through 1955 when city directory research ended. This Tudor Revival design is unusual both because it has a hipped roof and because of the symmetry of the façade, but it still has a number of distinctive Tudor Revival features: a steeply pitched slate roof, an intersecting steeply pitched gable over the entry bay, a projecting vestibule bay, a round arched entry surrounded by rock faced stone quoining, a wood plank door, wing walls on the vestibule and corners of the façade, contrasting stone foundation and details, and a variety of windows (including baskethandle arched openings, multipaned sashed windows, diamond patterned leaded glass windows). The 6x1 wood sashed windows are very unusual with the middle panes much wider than the outer panes. As is characteristic of most of the earlier homes in Pasadena Hills, the garage was located so that it is not visible from the façade, in the basement facing the back yard.

44. Description of Environment and Outbuildings

This property is prominently located on South Winchester Drive at the intersection with Lucas and Hunt Road and across the street from one of the ravine parks that helps characterize this community. The lot is basically level and the house faces northeast onto S. Winchester Drive with a driveway from the west end of the property extending back to the rear basement level garage entry. There is also a curved concrete sidewalk from the street that bows back to the west side entry to the façade entry stoop.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

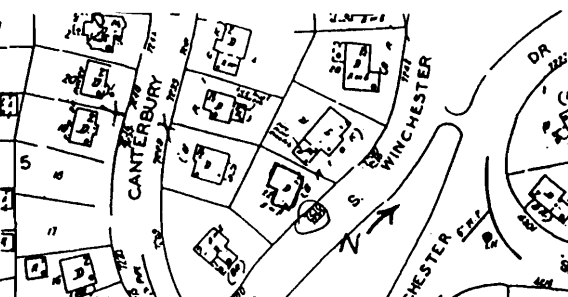
Aug. 2002

49. Revision Dates

7200 S. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0348		4. Present Name(s) Owens, Ronald C. and Jean A., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Oetgen, Fred C. and Elmira E., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7230 S. Winchester Dr. Lot 22, Block 6		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material rock faced ashlar limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material gabled, clay tile
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment brick, some half timbered stucco
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Owens, Ronald C. and Jean A.	36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, raked multicolored (red, brown, blue, yellow) brick house has a very unusual green and gray flat clay tile that has a smooth slate-like finish. The tiles are especially thick and the house retains its original copper gutters. The façade is divided into three vertical bays with the center bay being a broad hipped bay with a cross gable similar to those above each of the other two bays and all three cross gables are clad in the original, stained, wavy butt wood siding. The south bay is split into two with the south half having a cross gable above the matching 8x1 wood sashed windows with stone sills that are vertically aligned in this bay. The north half is a massive tapered, brick chimney with a serpentine rock faced ashlar limestone wing wall on its south side, similar to that at the south corner of the façade. The upper portion of this chimney is split by a projecting vertical detail and it has been poorly repointed with mismatched mortar. In the hipped vestibule bay there is a decorative brick pattern below the gutters on either side of the cross gable and there are paired 6 light wood casement windows with transoms and a stone sill centered below the cross gable. The segmental arched entry is off center toward the north side of the bay and has rock faced ashlar limestone surrounding the angled recessed doorway with a matching arch on the stained oak, 8 panel wood door with stained glass lights in the upper two panes. The same stone framing surrounds the small leaded glass window just south of the entry. The entry stoop is concrete with an exposed aggregate, but it is not visible because of the overgrown hedges which dwarf the height of the building. The north bay has paired sashed windows on both levels and the walls above the first floor windows are clad with stucco half timbering. The most distinctive element on the other elevations is the basement level, two car garage with its original wood paneled garage door. On the back, near the south end and nestled into the interior corner created by the back wing on the north end is what appears to be an old screened porch, but it is not shown on the 1967 fire insurance map, either an omission or later addition. Also on the rear elevation in the wing on the north end, there is also a bay window with standing seam copper roof and wood sashed windows with wood panels to the ground. There has been a large concrete patio added to the property in recent years. Other than the possible porch alteration, it appears that the aluminum storm windows are the only visible alteration to this house, and unfortunately they appear to obscure the window details, which include both leaded glass and multipaned windows.

43. History and Significance

The assessor estimated the year built as 1936, which may be fairly accurate, but in the next city directory published in 1938, the house was not yet occupied and was listed as vacant, usually an indication that it was nearing completion. By 1939, this was the home of Fred C. and Elmira E. Oetgen. Neither are listed with an occupation, although they continued to live in the house at least through 1949, but when the next directory was published in 1953, A. N. Gooch, Jr., a district manager for Gulf Refining Company in St. Louis, and his wife Frances had moved into the house. This is a very unusual Tudor Revival design, due to the multicolored flat clay tile roof, the massive hipped vestibule bay contrasting with the half timbered detailing on the second floor of the north bay and the massive tapered chimney on the other side of the vestibule bay. The design utilizes a number of other distinctly Tudor Revival features, including the use of contrasting rock faced limestone details as wing walls, around the recessed entry and its sidelight window, and as window sills. The design also has intersecting cross gables over each bay of the façade with stained wavy butt wood siding, another example of contrasting materials that characterize Tudor Revival designs. Wing walls, a segmental arched entry opening and stained oak door, multipaned sashed windows, leaded glass windows, and steel casements provide additional visual variety to the façade. As was characteristic of the earlier development of Pasadena Hills, the garage was positioned to minimize its impact on the streetscape, in this case, as a basement level garage on the side elevation, with its driveway cut deeply into the side yard. Although an enclosed sun porch wing has been added to the back of the house, along with a large concrete patio, neither of which are noted on the 1967 fire insurance map, the house retains a high degree of historic integrity and is a significant Tudor Revival design.

44. Description of Environment and Outbuildings

The lot faces east onto the ravine park that splits Winchester Drive and is elevated above the street with the paved driveway cut deeply into the ground along the south end of the property where it provides access to the basement level garage on the south end of the house. Because of the overgrown shrubbery across the façade it is not clear what the configuration of the sidewalk to the front entry is.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

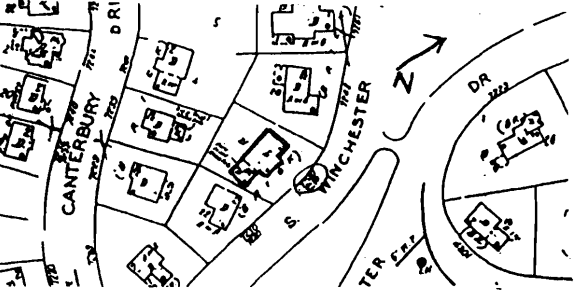
Aug. 2002

49. Revision Dates

7230 S. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS0291 - 0349		4. Present Name(s) North, Dolly C., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Rea, Ernest C. and Nellie, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7240 S. Winchester Dr. Lot 21, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Hall Realty Company	
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known North, Dolly C.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gabled, comp.shingles	
		33. No. of Bays FRONT 2+3 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior poor	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red brick house has a light ray composition shingle roof and aluminum gutters. Although the aluminum wrapping the boxed cornice is an obvious alteration and the aluminum gutters are probably also replacements given the age of the house (and since there are still copper gutters on the bay window), the fire insurance map indicates that the roof was originally a composition shingle roof, a possibility, although unusual in this community in the pre-World War II era. The tile roof on the bay window may actually be a remnant of the original roofing. The main façade is divided into three bays with a projecting cross gabled, two story bay in the center with cornice returns forming a broken pediment with a porthole window in the attic level above a stately Palladian style window with 4 x4 sashed windows flanking a fanlight transomed 6x6 wood sashed window. This bay has brick quoins on each corner. The 6 panel wood door has narrow sidelights with a recessed wood panel at the base, all of which is flanked by pilasters and capped by an entablature and swans neck pediment. The entry stoop is concrete. On either side of this bay, there are 6x6 wood sashed windows with shutters on the second floor and 6x9 wood sashed window with shutters on the first floor of the north bay. The south bay has a shingled hipped roofed, canted bay window with 4x6 wood sashed windows flanking a 8x12 wood sashed window that has brick extending to the ground below. On each side of the house there are flanking, broad, brick chimneys with corbelled caps. On the south end, there is also a one story brick porch that has been enclosed with fixed picture windows and glass block windows. Below this porch wing is the first bay of a two bay basement level garage with a replacement steel overhead door. The other bay of the garage is to the south, with another steel door, both with the same rock faced ashlar limestone as the foundation, which also extends up as corner piers for the rooftop deck to the south of the sun porch. Between the piers is a decorative metal railing. On the back, there is another bay window, similar to the front bay window, but it has tile shingles. There is also an enclosed porch on the rear, that appears to be a later addition since it is not shown on the 1967 fire insurance map. It has been enclosed with aluminum storm windows. Other than the porch addition and the enclosure of the side porch, the only other obvious alteration is the addition of aluminum combination storm windows, one of which does not match the meeting rail of the first floor façade window.

43. History and Significance

Hall Realty Company, of 4715 Easton Avenue, took out the building permit for this house on March 27, 1936. This developer appears to have been responsible for constructing several homes in Pasadena Hills. Although the house was probably finished that year, the next city directory was not published until 1938, when the first occupants in the house were listed as Ernest C. and Nellie Rea. He was initially identified as being in the lightening rod business, but by 1939 he was identified simply as an electrician and in 1941 as a manufacturer in St. Louis. By 1943, new owners moved into the house, Wayne D. and Cecilia M. Hershberger. He was the manager of J. C. Penney. They continued to live in the house at least through 1946, but when the next directory was published in 1949, ownership had again changed. Lee J. and Virginia L. Haines had moved into the house by then and would still be residing at this address in 1955 when city directory research ended. He was listed as the president of E E Southern Iron Company. This is one of the more stately Colonial Revival designs in Pasadena Hills, in a form identified as a the cross gabled form of Colonial Revival, because of the cross gable on the façade of a side gabled building that is divided into three bays. The design utilizes distinctive Colonial Revival features: the boxed cornices and fascia that form an entablature treatment at the eaves, a broken pediment created by the cornice returns, a Palladian style window above the entry, a swans neck pediment and pilasters surrounding the sidelighted entry, a large bay window, multipaned sashes, shutters and flanking end wall chimneys. Also, as is commonly associated with this style, there is a side wing, unusual because half of it has a first floor brick sunroom with a rooftop deck on the other half of what is in reality a basement level two car garage. The location of the garage, especially a two car garage on the façade, even though it is on the basement level, is unusual, but like other homes in this town, the deeply cut driveway was designed to minimize the impact of the garage on the streetscape and the use of a rock faced limestone both for the basement level garage (the foundation material) and as the corner piers for a rooftop patio focused the attention on its patio appearance, not the garage door. Although the house apparently has a rear sun porch addition, it is not visible from the façade and the house retains a high degree of historic integrity.

44. Description of Environment and Outbuildings

The lot slopes downhill toward South Winchester Drive and the ravine park that splits Winchester Drive. The house faces east and there is a driveway cut deeply into the south end of the front yard to access the basement level garage and a series of steps leading from the driveway to the front entry stoop.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, March 27, 1936.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


Aug. 2002

49. Revision Dates

7240 S. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS029 -0350		4. Present Name(s) Owens, Reginald K. & Jo Ann, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Niemeier, Russe T. and Marie T., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7248 S. Winchester Dr. E. Pt. Lot 20, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Minimal Traditional	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Owens, Reginald K. & Jo Ann	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Brick	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable, Slate	
		33. No. of Bays FRONT 4 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape L-shaped rear porch	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story side gabled, red brick house has a slate roof with two gabled dormers balancing a large cross gabled, 1.5 story wing on the south end of the façade. The house retains its original slate roof and copper gutters. Centered below the south dormer and next to the cross gabled bay is the shallow pitched, slate, shed roofed porch over the entry. This roof is supported by elaborate wrought iron corner posts that extends across the façade of the porch. These posts rest on the brick porch floor that is at grade and there is a beaded board ceiling in the porch. The shallow segmental arched doorway opening allows for a transom above the sidelighted, 5 panel wood door. The transom is a fanlight and, like the sidelights, it is leaded glass. Both dormers have 6x6 wood sashed windows and are clad with wood siding. The north dormer is positioned between the two first floor windows, which are 6x9 wood sashed windows with shutters. The cross gable end is clad in wide wood siding and there is a small pediment above the 6x6 wood sashed window in the gable end. Below there is a shuttered, 8x12 wood sashed window and because of the slope of the land, the rock faced ashlar limestone foundation is visible on this end of the façade where it slopes down to the driveway and basement level two car garage with a wood paneled overhead door on the south elevation. On the north end of the house is a wide, simple, brick chimney. On the north end of the rear elevation is an original, open porch with a slate, shed roof that has wood framed screens in the segmental arched openings. There is also a bay window on the south side of the house that has a slate hipped roof and redwood siding that extends to the ground. There is a small corner porch on the southwest corner (rear) that has been enclosed with jalousie windows. Besides the jalousie windows, aluminum storm windows and a full view aluminum storm door appear to be the only alterations to the original design. While the storm windows stand out because they are not painted to match the window sashes, they are at least made with raised meeting rails to match the first floor windows.

43. History and Significance

On September 5, 1935, Russe T. Niemeier, of 7309 Natural Bridge Road, took out the building permit for his new home based upon plans designed by August Beck. This is the only known plan by Beck in Pasadena Hills. Russe and Marie A. Niemeier probably moved into their home in 1936, the year the assessor estimated as the year built since the permit was taken out late in 1935, but this address does not appear in the 1936 directory and is first listed in the 1938 directory. He operated a pharmacy nearby at 7311 Natural Bridge Road and the couple continued to live in this house for many years, at least through 1955 when city directory research ended. This is an early example of the transition from the popular Cape Cod variation of the Colonial Revival movement into a style that became known as Minimal Traditional. This new style borrowed heavily from the Cape Cod style with the long, side gabled roof and gabled dormers, but it has a prominent cross gabled wing on the façade and a small entry porch. Unlike later examples of this style, this house does not have the obligatory post-war picture window, keeping the shuttered, multipaned sashes with raised meeting rails that are common on many Colonial Revival houses. Even the sidelighted entry is more elaborate than the doorways of later Minimal Traditional houses and it has a slate roof (another feature often minimized as composition shingles on later examples), but it does have a roof over the slab porch floor that is supported by decorative wrought iron, which may be original to the design, but is at a minimum an early alteration, since this pattern was also used in the early 1950s. This house retains two other distinctive elements that are often associated with homes in Pasadena Hills: a screened porch wing (in this case on the back) and a basement level garage with a side elevation entry (designed to camouflage this feature in the streetscape).

44. Description of Environment and Outbuildings

This lot slopes downhill toward the street and the ravine that creates a park that splits Winchester Drive. The house faces northeast and there is a driveway along the south end of the lot to access the basement level two car garage on the south elevation. There are a series of steps and a walk up from the driveway to the front entry.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 5, 1935.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Aug. 2002


49. Revision Dates

7248 S. Winchester
Pasadena Hills





HISTORIC INVENTORY

1. No. SLAS039 -0351		4. Present Name(s) Muccullough, Williams and Terry J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Reinhardt, Edward H. and Maude, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7260 S. Winchester Dr.-Lot 19 & Pt. 20, Block 6		16. Thematic Category	28. No. of Stories 1
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935-1936	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Spanish Eclectic	30. Foundation Material
		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
9. Coordinates Lat Long		20. Contractor or Builder	32. Roof Type, Material gabled, Spanish clay tile
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment stucco
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape cross-asymmetrical
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Muccullough, Williams and Terry J.	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior poor
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, stucco finish house has a Spanish style red clay tile roof and a plan shape that is basically a cruciform that is somewhat asymmetrical in composition, but it does create a stepped three bay façade. The end gabled wing that projects to the façade has a Mission style arched, multipaned, steel framed, blue and white opal colored glass window in the upper or attic level centered in the gable end and centered below is a large round arched, multipaned, steel casement window with a metal faux balcony that is flanked by small round arched, brick outlined faux windows. On the basement level, which is exposed due to the slope of the land, there is another rectangular steel casement window that actually is on the side wall to the garage. The first floor of this wing is a two car garage with its doors facing the south side elevation and it has a small red clay tile mansard roof over the garage opening. It retains the original wood paneled overhead garage door that is actually in the basement level, but is practically at grade due to the slope of the land. Above, there are paired, 6x6 wood sashed windows that has a spindle-like turned pilaster mullion. The north elevation of this wing has a matching paired sashed window and on the roof crest there is an elaborated chimney top with a tile roof. The entry is located in the east bay, facing the street, recessed deeply on the façade because of the projecting wing in the middle bay. The round arched recessed opening has a quarry tile stoop floor and steps in front. The oak plank door is also round arched and has massive strap hinges, one of which curves around the top of the door over the round arched, leaded glass light. The door sill plate is a bull nosed tile. On the north elevation there is a round arched opening, mirroring that of the entry with a metal railing that opens into the recessed entry porch. Behind this arch is a small leaded, clear glass, wood casement window. And behind this is another pair of 6x6 wood sashed windows. The recessed bay on the other side of the central projecting wing has a 6x6 wood sashed window on the first floor above what appears to be a steel casement window in the basement level across from the garage door. There is a decorative window grill over this window, which may be a later security feature or original, given the Spanish Eclectic style of the house. The windows on the south elevation are hidden by shrubbery, but there is a small basement window above the grade because of the slope of the land. Behind this arm of the cruciform, there is a shed (tile) roofed, one story porch wing, that has arched openings in the stucco walls. With the exception of the iron security storm door on the entry, this house appears original, even retaining the original copper gutters and downspouts, but the survey crew noted that it was in very poor condition and needed maintenance.

43. History and Significance

On May 14, 1935, Mrs. Maude Reinhardt took out the building permit for her family's new home. She and her husband, Edward H. Reinhardt, a mechanical engineer, probably moved into their new home in 1936, the year the assessor identified as the year built, but the address is not finished in time for the 1936 city directory. They are listed in the next directory in 1938 and continued to live in the house for many years. Between 1949 and 1953, he died and with the publication of the 1953 directory, Maude Reinhardt is listed as a widow at this address. When the 1955 directory was published, a new owner, William H. Anderson, had moved into the house. This is one of just a handful of Spanish Eclectic style houses in Pasadena Hills. This style is reminiscent of the houses built in the Spanish southwest, and this example utilizes a number of the distinctive features associated with this style: the asymmetry of the cross gabled plan, the prominent Spanish style red clay tile roof, the stucco finish on the masonry walls, the elaborated chimney top with a tile roof, the round arched windows and door, the variety of windows (multipaned sashed windows, steel casement windows, the focal window with a Mission arched window opening, leaded glass windows, stained glass windows, and even false windows), the turned spindle-like pilasters between paired windows, the window grills, and faux balconies. As was characteristic of the development of Pasadena Hills, the garage is located in the basement with the entry located on the side elevation and the driveway cut into the ground to minimize its visual impact on the streetscape. This is one of the few houses in Pasadena Hills that is officially only one story high, but its use of an elaborate attic window on the gable end facing the street, and its elevation above the street level, helps visually increase the height of the design. Although the house is in a poor state of repair, it appears to retain a high degree of historic integrity and is one of the more significant houses in the community because of its unusual styling.

44. Description of Environment and Outbuildings

The lot slopes downhill toward the street. The house faces northeast onto the ravine park that splits North and South Winchester Drive with the driveway cut into the south side of the lot to access the basement level garage entry on the south side elevation of the front wing of the house. There is a short retaining wall on the back and side of the elbow in the driveway. There is a sidewalk to the front door located near the north end of the lot.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, May 14, 1935.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Aug. 2002

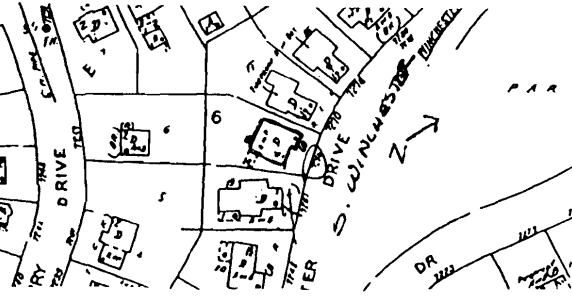
49. Revision Dates

7260 S. Winchester
Pasadena Hills





HISTORIC INVENTORY

1. No. SLAS 0391 - 0352		4. Present Name(s) Fay, James D. and Elaine K., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Matthiessen, Louise D., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7266 S. Winchester Dr. Lot 18, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Fay, James D. and Elaine K.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material glazed clay tile	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable, slate	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape L-shaped + porch win	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story side gabled, slate roofed house has a large cross gable wing on the façade that spans the north half of the façade. On the south half there is a hipped dormer with slate walls and wood casement window. The foundation on this house is a glazed clay tile and the walls are a light blend of red, cream, and charcoal colored brick. Soldier course brick form the lintel above the façade triple window below the dormer (which consists of 4x1 wood sashed windows flanking a 6x1 wood sashed window). To the north, also in this side gabled section of the façade is the front entry door which is a stained oak, 12 paneled door with brass scrolling. There is a newer aluminum full view storm door protecting this rectangular door. The high stoop is concrete with a rock faced ashlar limestone foundation that is exposed down to the basement level because of the slope of the land. There is a stone railing on the face of this stoop and the stone tiers down to the south side with the steps, which extend nearly to the end of the façade. A soldier course also separates the gable end from the bay window on the front wing. Above is a paired wood casement window. The bay window has a standing seam metal roof with paired 6x1 windows flanking the canted 6x1 wood sashed windows. Below the windows of this bay are wood panels and wood beam supports where the bay overhangs the basement level, wood paneled, overhead, one car garage door aligned directory below the bay window. On the north side, near the façade is a tall brick chimney with projecting band near the corbelled cap. There is another similar chimney on the south elevation and a small screened porch near the rear of that elevation that has French style doors into the house. . Besides the multipaned upper sashed windows, there are also 3x1 wood sashed windows and there is a stained glass paired wood casement window on the façade and another stained glass paired casement with a stained glass transom on the rear elevation. There is also another dormer on the rear elevation. The windows have wood storm windows and the only visible alterations are the widening of the driveway, the front storm door and a greenhouse window on the rear.

43. History and Significance

In 1938, this 1.5 story Tudor Revival cottage was one of several built for a woman, who was the head of her household, Louise D. Matthiessen. She continued to live in the house for many years, at least through 1955 when city directory research ended. Louise Matthiessen is never identified in the city directories by occupation and since the directories did not list all occupants of the house, it is not clear if she had children, but unlike many of the other women who headed households in Pasadena Hills, she was not identified in the directories as a widow, either. These women were apparently attracted to Pasadena Hills by the promotional work of the developers to identify the community as a safe, clean, healthy, and pastoral environment removed from the city. The design is more modest than many similar Tudor Revival houses in the community, possibly due to Louise Matthiessen's single status and limited resources. The house does utilize characteristic Tudor Revival details: contrasting wall surfaces (multicolored and patterned brick, rock faced ashlar limestone, glazed clay tile foundation, and slate dormer walls), a variety of windows (multipaned sashed windows, wood casement windows, stained glass casement windows, and a bay window), a distinctive stained oak paneled door, and a complex roofline with distinctive slate roofing. Because of the slope of the land, this design positioned the garage on the façade, but in the basement level with the driveway cut deeply into the front yard. Although the driveway has been widened to accommodate two cars, it was originally just a one car driveway to the one car garage. This alteration has had an impact on the façade, but the house otherwise retains a high degree of historic integrity and is contributing to the historic district.

44. Description of Environment and Outbuildings

The lot slopes downhill toward the east and the ravine park that splits South and North Winchester Drive and the two car driveway (originally one car) is cut deeply into the north lot to access the basement level, one car garage entry on the façade. There are a series of broad steps up the hillside to the south to dogleg back to the south side entry to the façade entry stoop.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

Aug. 2002


49. Revision Dates

7266 S. Winchester
Pasadena Hills





HISTORIC INVENTORY

1. No. SLAS029 - 0353		4. Present Name(s) Drewes, David A. and Rene C., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Oetting, Julius H. and Margaret K., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7270 S. Winchester Dr.-Lot 17, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1931-1932	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Drewes, David A. And Rene C.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable, slate, now comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment brick, stone details	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, multicolored (red, olive, orange) smooth brick house has a façade that is divided into three vertical bays which are created by the massive end gabled wing that forms the center bay with deeply recessed side gabled wings on each side. Although the front wing is only one story tall, the basement level garage in the façade of this wing is exposed because of the slope of the land, creating a 1.5 story profile, while the side gabled wings on each side are actually a taller gable of a 1.5 story portion of the house. The south wing is narrower, and the north wing has a gabled wall dormer on its façade. The roof may have originally been slate, but it is now a red, gray and charcoal blend, composition shingle roof. The centered wing has diamond patterned brick in the gable end and a large 16 sash, 4 lights each, steel casement window with a wood beam lintel, shaped to look like a rough timber. The façade of this wing has scattered rock faced limestone blocks. There is another large wood beam lintel spanning the basement level, one car, original wood paneled door that has a stained glass window. Flanking both sides of the garage door is irregular rock faced limestone quoining that angles into the recessed doorway and more stone emerges up the outer corners of this wing on the basement level, as if the foundation stone is emerging from the ground. This is a fireproof garage according to the fire insurance map, meaning that it is separated by concrete and stone from the main house. The roof of this wing extends down on the north side next to the intersecting side gabled bay to form the shed roof over the front entry which has a rough limestone foundation and floor and a bead board ceiling. The narrow south bay has no penetrations on the façade, but there is a wall dormer on the south side of the center projecting wing next to this bay and a large end wall brick chimney with a corbelled cap. The rectangular oak, wood plank door has an offset, rectangular stained glass light. Most first floor windows are 8 light steel casement windows and the second floor windows are 6x1 wood sashed windows. Except for the possible replacement roof, the house has no other visible alterations, even the wood sashed windows have wooden storm windows and the door has a wooden storm door (large light above three vertical panels).

43. History and Significance

On September 18, 1931, Julius H. Oetting took out the building permit for his new home. Although the assessor agrees that the house was completed that year, this address is not listed in the city directory until 1938, as the home of Julius H. and Margaret K. Oetting. He was an insurance broker. In the 1946 directory, Henry K. and Frances K. Oetting are also listed at this address. Henry Oetting was a physician. Since this is the only directory in which this couple is also listed, and given the housing shortage after World War II, it is likely that they were short-term occupants with relatives. Between 1949 and 1953, Julius Oetting died, and Margaret Oetting is listed as a widow in the 1953 directory and as an insurance broker in St. Louis. By 1955, new owners had moved into the house, Albert J. and Elisa K. Vogt. He was a treasurer for Schluter Manufacturing in St. Louis. This is one of the Tudor Revival style houses that helped characterize this community, and it is a form that especially characterized this area of South Winchester where it overlooks the ravine park. Because of the slope of the land, this house has basement level garage positioned on the façade, but as in other neighboring examples, the garage is part of a central projecting wing on the façade with a prominent design feature above, in this case a large 16 sash window with 4 lights each as well as distinctive diamond patterning in the brick gable end. Even the garage door is treated as if it is a significant design element, like many front entries, with a stained glass window in the door, and rock faced ashlar limestone on each side with a wood beam lintel. While most homes in this community relegated the garage to the rear where it would not be a prominent feature on the streetscape, this house seems to glorify it. The entry door is actually located up the hillside in the deeply recessed north bay. The design utilizes a wide variety of characteristic Tudor Revival features: a complex roofline, a multifaceted façade line, a variety of masonry treatments (brick, scattered limestone details, diamond patterning in the gable end, variation in the window patterns (steel casements as well as multipaned wood sashed windows), wood beam lintels, and a wood plank door. The design seems to indicate that the house originally had a slate roof, but the fire insurance map does not clearly identify this as one of the houses with slate roofs. Even so, the house otherwise retains a high degree of historic integrity.

44. Description of Environment and Outbuildings

The lot slopes downhill toward the street on the east where the ravine park that splits South and North Winchester Drive. The driveway is cut into the hillside to access the basement level, one car, garage door on the façade and there is a tiered limestone stairway and walk leading from the driveway, which is centered on the façade, up to the main entry recessed on the north side of the house.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, September 18, 1931.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

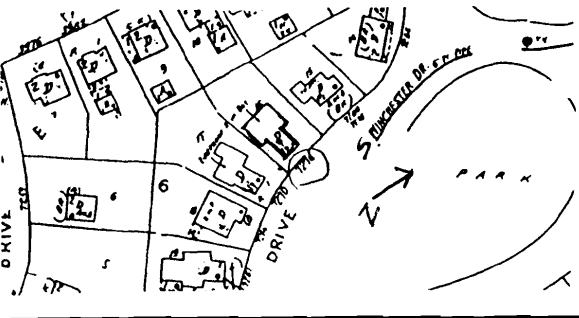
Aug. 2002

49. Revision Dates

7270 S. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0354		4. Present Name(s) Hoosman, Hubert, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Buchmueller, Roland H. and Helen, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7274 S. Winchester Dr. Lot 16, Block 6		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1930	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design	30. Foundation Material clay tile and brick
9. Coordinates Lat Long		19. Architect or Engineer Buchmueller, Roland H., attributed	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material gabled, flat clay tile
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		22. Present Use Residence	34. Wall Treatment brick and half timbered brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hoosman, Hubert	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, multicolored (red, orange, and brown) brick house has a flat red clay tile roof with half round copper gutters. Both the roof and plan of the house are complex, with a tall hipped roof section that has a 1.5 story side gabled wing with a hipped dormer on its façade on that forms the north bay of the house and a one story end gabled wing that projects toward the street where the basement level, "fireproof" one car garage is partially above grade, creating a two story façade to the end gable. On either side of the recessed wood paneled overhead garage door, the brick corner piers are liberally scattered with rock faced limestone blocks. There is a massive wood beam continuous lintel above the door and piers that forms the base of the vertical sections of half timbering on the remainder of this elevation of the front wing, which has patterned brick between the timbers. Centered above the garage door is a flat bay window with a standing seam copper roof and decorative modillions supporting the overhang. There are four diamond patterned, leaded glass, steel casement windows with similar leaded glass transoms with wood framing separating the transoms and outer two casements. The north bay of the façade is actually created by the side gabled wing with the entry located in the corner of the main hipped roof on the interior corner between the two wings. It has a rectangular, stained, oak, wood plank door with a small 4 light rectangular window in the upper portion of the door. Most other windows on this house are combinations of 8 light steel casement windows and both the windows and the door now have aluminum storms. There is a side basement exterior stairwell with a wood entry door. On the northwest corner, there is a rear side porch which has been enclosed with glass panels and leaded glass windows, but this was originally an open porch. Even so, there have been few alterations to this house and it retains a high degree of historic integrity.

43. History and Significance

This Tudor Revival cottage is especially significant in the history of Pasadena Hills and is both individually eligible to the National Register and a significant contributing building in the historic district, because it was the long term residence of Roland H. and Helen Buchmueller. He was the landscape architect, who called himself the town planning engineer for Pasadena Hills, responsible for the layout of the community with its ravine parks, boulevards, winding streets, medians, and the vistas created by the varied settings of the residential properties. His own home was a modest Tudor Revival cottage, but it does nestle into the hillside overlooking one of the ravine parks in the community and it has a number of distinctive features that incorporate the house into the surrounding landscape. Since Roland Buchmueller was also identified as an architect in the early city directories, as well as a landscape engineer in St. Louis, and a landscape architect in later directories, it is probable that he was responsible for the design of his own home. The house features the variety of masonry treatments (including scattered rock faced limestones on the brick walls as well as a highlight wall of half timbering with patterned brick), the complex roofline (hipped with cross gables and a hipped dormer), a large end wall chimney on the side of the projecting center wing, a flat bay window with wood modillions, multipaned steel casement windows, a leaded glass window, and a wood plank entry door. Like several other houses on this street, there is a large projecting cross gabled wing on the façade is the prominent feature in the design, which appears to be taller due to the exposed basement level garage door on the façade. This gable end is highlighted with its half timbering with a variety of brick patterns around a distinctive, leaded glass, casement window with leaded transoms with elaborate wood modillions supporting the flat bay window. The use of scattered rock faced limestone blocks on the basement level walls on either side of the garage door below, also draws attention to this projecting wing, which is highly unusual, except for this small stretch of houses along Winchester, since most house designs in Pasadena Hills relegated the garage to the rear of the property where it would minimize its visual impact on the streetscape. In this case, the architectural design actually incorporates the garage door as a major feature, treating similar to many entry doors. This is especially noteworthy considering this atypical focal point was actually the home (and probable design) of the community's own designer. The Buchmueller family continued to live in the house for many years, at least through 1955 when city directory research ended. That year, Roland Buchmueller was listed as an engineer for the City of St. Louis. The assessor estimated the year built as 1930, which would seem likely given the association of Buchmueller with the establishment of the community, and making this one of the oldest homes in Pasadena Hills, but the city directory does not list this address in the 1932 directory (the first year to list any Pasadena Hills residences) and it was first listed in the next directory in 1934. Additional deed and tax roll research would be needed to verify the date of construction.

44. Description of Environment and Outbuildings

This lot is steeply sloped downhill toward S. Winchester and the ravine park to the east. There is a one car driveway from the street to the façade basement level garage entry, with the yard sloping uphill on either side of the driveway. There is a curved tiered, stone stairway/walkway up from the head of the driveway up the north side yard and back to the front entry that is deeply recessed on the north side of the house.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

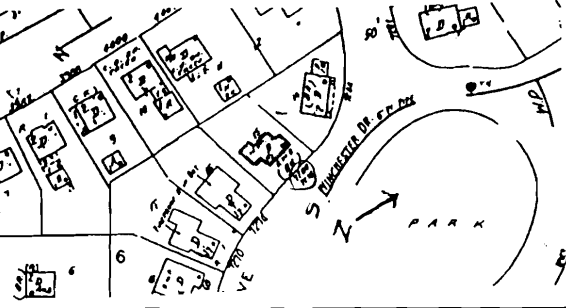
Aug. 2002

49. Revision Dates

7274 S. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0355		4. Present Name(s) LeBoeuf, Lee and Kristina, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Gaebler, Otto W. and Amelia B., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7280 S. Winchester Dr.-Lot 15, Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer Manske and Rotte	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known LeBoeuf, Lee and Kristina	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry-brick/clay til	
		32. Roof Type, Material gabled, slate	
		33. No. of Bays FRONT 3 SIDE 4	
		34. Wall Treatment brick, wood siding, stone details	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

While this two-story, Tudor Revival cottage basically has a rectangular plan, the exterior form is irregular due to the varied slate roofline with copper gutters. The unusual variation of this style, features many of the characteristic features, including the varied roofline, multipaned steel casement windows, dressed stone quoining around the door, dark stained wavy butt siding on the façade bay window and the gable end details, and the rusticated ashlar limestone foundation with randomly placed stones placed into the brick walls, especially at the corners to ground the brick walls with the earth. The use of rusticated stone continues in the retaining wall, broad steps and sidewalks that flank either side of the front driveway and lead to entries along each side of the house. The façade is divided into three bays with the south bay being deeply recessed and two stories tall, the middle bay being stepped forward with a brick half-wall in front of the side entry steps to the entry door, and the north bay being the broadest and projecting closest to the street. In front of the basic side gabled roof of the two story section of the house is the one story entry wing that extends across two bays of the façade with a side gabled roof that sheds continuously from the main house roof. There is a notch out of this shed roof over the narrow middle bay that has the main entry to the house. The arched wood plank entry door has a stained glass light and is surrounded with dressed stone quoining and lintel. The north bay has vertically aligned, paired, multipaned windows and the first floor window has transoms as well as the characteristic brick dentil lintel. There is also a hipped roof oriel window over the basement level entry in the north bay of the façade. This massive rectangular oriel window has triple, paired 12 light casement windows with paired 3 light transoms. Massive brackets support each end of this oriel window on either side of the recessed garage door below. The north elevation of the house reveals that the front wing projects out slightly with a massive gable end chimney with an unusual pattern of projecting bricks vertically aligned like a series of buttons and as a band around the chimney. Flanking the chimney are transomed windows that align with large, basement window openings below. The rusticated ashlar limestone continues the irregular blending with the brick walls, similar to the façade. Behind this projecting wing, the main house elevation steps back with a gable end clad with a distinctive wavy lap siding that extends to the lintel of the second floor window. There is a brick dentil course on either side of this multipaned window. Another dentil course forms the lintel of the casement window on the first floor level at the back of the side elevation wall. Slightly east of this window is a basement level entry with a soldier brick lintel. At the back of the north elevation the shed roofed, screened porch that extends out from the back of the house. This porch is not shown on the original floor plans but appears to be a very early addition or an omission on the map, which has several other obvious omissions elsewhere in the community.

43. History and Significance

Built in 1936, this is a highly unusual variation of the Tudor Revival style, one that clearly reflects the emerging Minimal Traditional styling that would be popular in the post-World War II years because of its more horizontal façade and lower profile as well as its use of stepped façade lines. The use of a driveway and garage on the façade is usually associated with the later post-war stylistic influences, but this feature is also a distinctive characteristic of a number of the houses on South Winchester, where the façade garage bay is actually the focal point of the design. However, this home still reflects strong Tudor Revival stylistic influence since it has much more complex decorative detailing than is popular on the post-war houses. Distinctive details abound including the wavy, lap siding used prominently to clad the massive oriel window on the façade as well as gable ends. It was designed specifically to look like hand hewn planks as part of the stylistic details that was derived from English cottage designs. Other details include the use of steel casement windows, the brick dentil course at the cornice and the unusual brick dentil lintels above many of the windows. Even the use of the rusticated ashlar limestone foundation that blends visually with the stone walks and retaining walls as well as extends into the brick walls, helps make the house look as if it emerges from the ground. However, the brick half-wall and side entry stoop to the entry and the shed roof that merges with the side gabled roof across the façade as well as the stepped façade are all more modern features more commonly on Minimal Traditional designs. The design is one of only two known examples of the work of Manske and Rotte, Architects in Pasadena Hills, a noted mid-twentieth century St. Louis architectural firm. The building permit was issued to them on June 4, 1936 to be the new home of Otto W. and Amelia B. Gaebler. He was identified as a salesman in the next city directory, in 1938, but by 1939 Amelia B. Gaebler is listed as a widow. She continued to live in the house at least through 1946. When the next directory was published in 1949, new owners had moved into the house. Homer A. and Irma G. Hill would live in the house for a number of years, at least through 1955 when city directory research ended. He was the managing editor of the Rural Electric Missourian.

44. Description of Environment and Outbuildings

Located on the west side of Winchester Drive across from one of the deep ravine parks that characterize this community, the house is just south of the bend in the street where Winchester Drive splits around the park and intersects with Country Club Drive. The house is elevated on the knoll, but the design utilizes the hillside to provide for a driveway on the front of the house and basement level garage with stone retaining walls extending up on either side to the main level on both sides of the house.

45. Sources of Information

Manske and Rotte, Architects (St. Louis). [Original Construction Plans]. 1936 in private collection of Lee and Kristina LeBoeuf (Pasadena Hills, Missouri). Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, June 4, 1936.

46. Prepared by / Organization

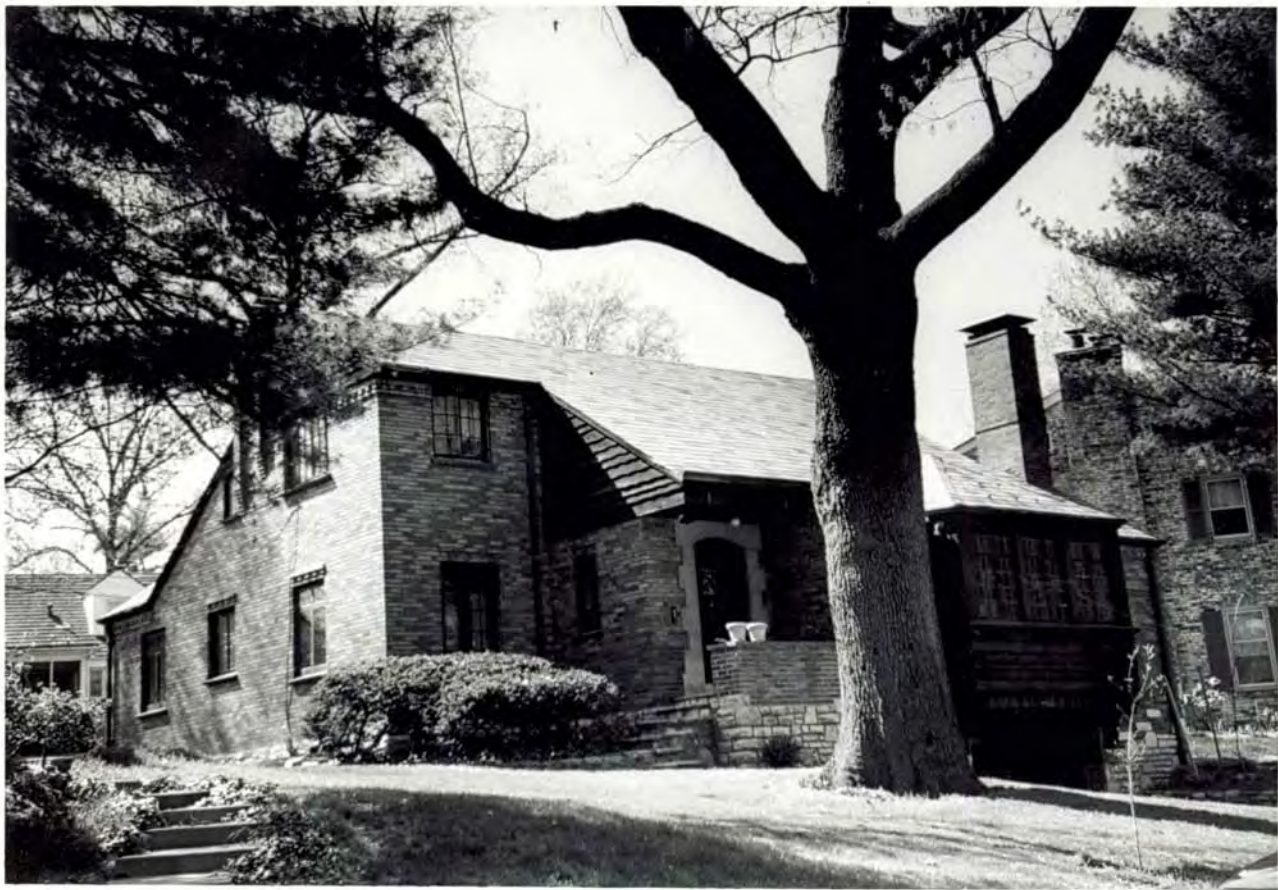
Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

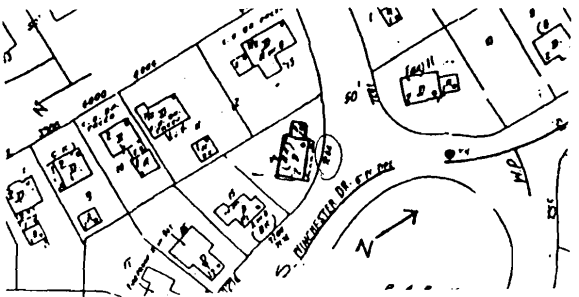
Aug. 2002

49. Revision Dates

7280 S. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0354		4. Present Name(s) Goodwin, Kathleen A., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Fischer, George L. and Madeline C., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7284 S. Winchester Dr. Lot 14, Pt. 11,12,13 Block 6		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow 		18. Style or Design Creole French	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder Hall Realty Company	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Goodwin, Kathleen	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced ashlar limestone	
		31. Wall Construction load bearing masonry brick	
		32. Roof Type, Material Gable orig.slate, now comp.shingles	
		33. No. of Bays FRONT 5+2 SIDE	
		34. Wall Treatment painted brick	
		35. Plan Shape rectangular +wing	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red brick house has been painted to have the appearance of weathered paint, which appears to be a later alteration, but is in keeping with the French Creole styling. The original slate roof has been replaced with composition shingles, but it retains the original copper gutters. Across the façade, the roof has a broad, enclosed eave (with a bead board ceiling) which forms the roof of the full width, second floor, overhanging porch that has lace like wrought iron posts and railings and a series of tiered wooden modillions underneath the overhang as well as scroll shaped metal braces at each end. The façade is divided into five bays with a symmetrical design of 6x6 wood sashed windows with shutters on the second floor on either side of the entry and 6 x 9 wood sashed windows with shutters aligned below on the first floor. The first floor entry has a 6 panel wood door flanked by leaded glass sidelights and a leaded glass fanlight. There is a brick threshold, but the slab first floor porch floor is poured concrete. The second floor doorway is a beveled, leaded glass door with shutters. The side elevations have multipaned sashed windows with shutters flanking the gable end wall, brick chimneys on each end. To the north, is a side gabled, one story, two car, garage wing with the garage door in the gable end on the north elevation, but on the façade are two shuttered 6x6 wood sashed windows. On the rear of the house there is a transomed casement window with leaded glass on the second floor as well as three canvas awnings over door and windows. The garage was identified in the survey as rebuilt for some reason and it has a steel two car door. Besides the replacement roofing, which represents a loss of textural contrast on the roof, The paint on the brick appears to be another nonhistoric change. The only other alterations appear to be the full view aluminum storm doors, selected not to disguise the original doors' design details, and the aluminum storm windows, which match the meeting rail lines of the windows and also do not interfere with that prominent feature. Even with these alterations, the house retains most of its original structural features and distinctive second floor porch overhang, and is still contributing to the historic district.

43. History and Significance

Hall Realty Company of 4715 Easton Avenue, which was responsible for a number of homes in Pasadena Hills, took out the building permit for this house on June 7, 1935, the year that the assessor estimates the house was built, but this address is not listed in the 1936 city directory, which may indicate that it was not yet finished. It was listed in the next city directory as the home of George L. and Madeline C. Fischer. He was a factory representative, later a manufacturer's agent, but his corporate affiliation was not listed. The couple continued to live in the house at least through 1955 when city directory research ended, but after 1953, she was not listed. The design of this house is based upon Colonial Revival precedents, especially those often associated with the Spanish Colonial era and because of the use of the lacy wrought iron posts and railings on the overhanging second floor porch, it is identified most closely with the French Creole stylistic influences. This is a rare example of this style in Pasadena Hills, a style noted for its side gabled form, simple stylistic details, the second floor overhanging porch with its roof incorporated into the main roof, a series of repetitious railing and posts (in this case of metal), multipaned windows (shuttered), and a modest Colonial Revival entry. Like many other homes in Pasadena Hills, this house has a side gabled, one story wing, which in reality is a garage with a side elevation entry that successfully disguises this necessary feature on the façade with matching multipaned and shuttered windows and even has a brick wing wall to further block the garage door entries from the view of the façade. The house appears to retain a high degree of historic integrity, except for two basic features, the slate roof has been replaced with composition shingles and the brick has been painted in a distressed motif, both of which modify the historic appearance, but do not drastically change the historic structural elements and the house is still contributing to the historic district.

44. Description of Environment and Outbuildings

This wedge shaped lot is situated at the junction where Winchester Drive splits into two streets, as North and South Winchester Drive on either side of one of the three major ravine parks in Pasadena Hills. The house faces northeast into this intersection and has a driveway at the north end of the property that extends to the two car, side entry attached garage wing on the north end of the house. There is a winding brick sidewalk in front of the garage wing, but the path to the front entry is hidden by the overgrown hedge along the façade.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, June 7, 1935.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

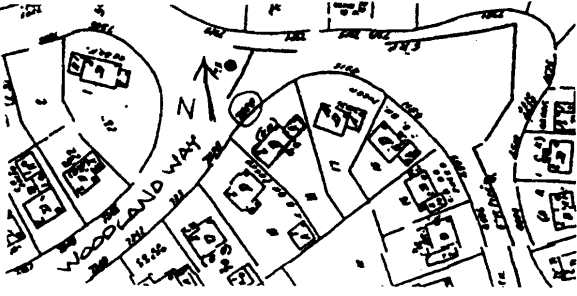
Aug. 2002

49. Revision Dates

7284 S. Winchester
Pasadena Hills



HISTORIC INVENTORY

1. No. SLAS039 - 0357		4. Present Name(s) Essex, Barbara, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Cochran, Robert E. and Margaret Lenore, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7320 Woodland Way -- Pt 18, 19, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1941-1942	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer F. H. Peipers	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Essex, Barbara	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material rock faced limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material hipped, composition shingles	
		33. No. of Bays FRONT 1 + 3 SIDE	
		34. Wall Treatment Red & tan brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

42. Further Description of Important Features

This two story, red and tan brick house has a hipped roof with a composition shingle roof (which appears to be a replacement of an original composition shingle roof). The house is rectangular in plan and the façade is divided into three vertical bays with a central entry and an attached two story, hipped roof, brick wing on the east side of the house. The house retains its original copper gutters with a projecting brick course with dentils under the gutters and fascia board. The central entry bay has a steeply pitched gabled roof and projects slightly from the main façade to form a second floor overhang that is supported at each end by large, flat, brick pilasters on either side of the front entry. There is a shallow iron railing, faux balcony across the second floor above the main entry. The opening on the second floor balcony is a tall, round arched opening with a wood carved fanlight above a 6 x 6 wood sashed window that has painted wood siding below the window, which does not appear to be original. It appears that this may have originally been a taller window or door. The main entry has brick dentil course lintel above the 6 panel, painted wood door. There is a narrow, multipaned window in the center panel. The door now has an aluminum storm door (with screens only). The large concrete stoop/front patio with a brick tile step extends across the entry bay to the west corner of the façade with a round arched opening and paired French doors opening onto the patio from the west bay of the façade. It is not clear whether the wrought iron doors on this opening are original or later security doors, but they are very elaborate. There is a double, header brick lintel on this opening as well. Above, there is an 8 x 8, wood sashed window with shutters that is matched by the one on the second floor of the east bay. On the first floor of the east bay is a large triple window with a double brick dentil course lintel. The 8x8 wood sashed window is flanked by 6x6 windows and there is more wood siding below these windows, extending to a sill near the ground. Each end of the house has a large brick chimney with a brick banded cap, but the one on the west elevation is really just a single flue. On the west end and on the east elevation, in front of the side wing there are multipaned sashed windows on both levels. Because of the slope of the land, the rusticated, ashlar limestone foundation is exposed on the west elevation. The wing on the east end houses the two car garage that retains its original wood paneled door on the rear. There are two small, 6 x 6 wood sashed windows with shutters on the façade of the garage and another sashed window on the east elevation (without shutters). Above, on the second floor, this was probably originally an open porch with masonry piers at the corners and center of the façade and rear walls, but the spaces between these brick piers has been enclosed with 4 light sliding windows, maintaining the original proportions and most of the original transparency of this space. On the back of the house is a suspended bay window and a wood framed, screened-in porch, one of the few remaining original screened porches in Pasadena Hills.

43. History and Significance

F. H. Peipers designed this house in 1941 and the assessor estimated the year completed as 1942. This is the only known example of Peiper's work in Pasadena Hills and it is a nice adaptation of the long popular Colonial Revival variant known as Georgian Revival. The use of the round arched openings for French doors onto a front patio as well as on the balcony opening in the gabled entry bay add distinction to what is often a very simple style. The large side wing with the matching detailing in the brick, lintels, shutters, and multipaned windows discretely disguises the two car, attached garage in a community that preferred the garages to be a less prominent detail despite the importance of the automobile in this commuter suburb. The second floor sun porch is another distinctive element, one that is found of several homes in the neighborhood. The home was built for Robert E. and Lenore (Margaret L.) Cochran. He was a salesman for Orchard Paper Company and the couple continued to make this their home, at least through 1955 when city directory research ended.

44. Description of Environment and Outbuildings

The lot faces north onto Woodland Way and the lawn is elevated on the façade, elevating the house above the street level, as well as minimizing the impact of the lower driveway that angles along the east end of the property to the back side of the attached garage. There is a tiered, concrete, serpentine sidewalk extending from the street up to the front entry patio.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


Sept. 2002

49. Revision Dates

7320 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0358		4. Present Name(s) Williams, Donald L. & Donna L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Knabe, Allan C. and Bette L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7328 Woodland Way -- Pt. 18, Lot 19, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1953	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Williams, Donald L. & Donna L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Textured concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material side gabled, comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Multi red textured brick	
		35. Plan Shape rectangular-orig.	
		36. ADDITION <input type="checkbox"/> CHANGES (explain in #42) ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Very good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multihued, textured, red brick house has a composition shingle roof, which appears to be the original roof's material. The house has replacement aluminum gutters. There is a broad fascia board on either side of the central, gabled, two story entry bay, which projects from the main façade. There are two narrow, 8 light window which share a pair of shutters above the entry. The entry has pilaster strips supporting an entablature around the front entry door. The door itself is a new, stained, hardwood, 6 panel door that has leaded glass lights in the two middle lights. There is also a full view painted aluminum storm door and a simple concrete slab stoop with one step. There are new porch lanterns on either side of the doorway. The bay to the east has a 8x8 wood sashed window on the second floor above the first floor triple window, which has an 6x 9 wood sashed window flanked by 4 x 6 wood sashed windows. Like all other windows on the façade, these windows have shutters. The west bay has another 8 x8 window on the second floor above an 8 x 12 wood sashed window on the first floor. The east elevation has only one first floor window, near the rear and it has two windows on the second floor, symmetrically placed, as are the basement windows, which are in the exposed concrete foundation, which forms the base across the façade as well. The east elevation windows appear to be 6 x 6 wood sashed windows. On the west elevation, 6 x 6 wood sashed windows on the second floor and 8 x 12 wood sashed windows on the first floor, one each flanking the end wall, brick chimney with its corbelled cap. There are rectangular attic vents (two on the west, one on the south) that have framing like a window and brick sills. On the back of the house, near the west end, is a one story, end gabled, wing that appears to be an original enclosed wing (based upon the fire insurance maps) with brick half walls and wood siding. The end gabled, two car, matching brick garage also has a composition shingle roof and wood siding in the gable end as well as the original wood paneled overhead door. There are two right angle vents in the gable end. Other than the front entry door and the use of aluminum combination storm windows, a storm door, and aluminum gutters, the house appears to retain a very high degree of historic integrity although it is missing one shutter on the façade.

43. History and Significance

The blueprints for this house are on file in city hall, dated 1952 and designed by Julius E. Tarling. Tarling also did additional drawings submitted to city hall, but they are not dated. He was a popular architect in Pasadena Hills, designing many homes throughout the community. It is a nice example of a classic Colonial Revival design, known as Georgian Revival, noted for its three vertical divisions on the façade, a central entry bay with classical detailing, as well as multipaned and shuttered windows. The two car, detached garage is also characteristic of this neighborhood, where the automobile played an important role in the development of this commuter suburb, but where the residents preferred to minimize the visual impact of the garage by relegating it to the rear or back side of the property. The house was built for Allan C. and Bette L. Knabe, who had not moved into the house by the time the 1953 city directory was prepared, but they are listed in 1955. He was a salesman for International Business Machines.

44. Description of Environment and Outbuildings

The lot is basically level, but the lawn on the façade is graded up to the façade, making the driveway along the east side of the house appear to be cut into the lot and minimizing its visual impact. There is a detached, brick, end gabled, two car garage at the back, southeast corner of the property. There is also a tiered, concrete sidewalk from the front entry to the street.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date


Sept. 2002

49. Revision Dates

7328 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0359		4. Present Name(s) Pingel, Marjorie M. & Odell, John B., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Schalk, Oscar G. and Jennie M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7336 Woodland Way -- Lot 20, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow 		18. Style or Design	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder J. Charles Mueller & Son	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Pingel, Marjorie M. & Odell, John B.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hip & Gable - Gray Slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Multi red Brick	
		35. Plan Shape L-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, multihued red and tan brick house has a multihued gray slate roof with copper gutters and decorative collector boxes on the downspouts. The roof combines a steeply pitched hipped roof and a cross gabled bay on the east end of the façade to forms the L-shaped plan of the house. On the interior corner of the L is a shed roofed porch supported with timber posts that rest on the concrete slab porch floor. The ceiling of the porch is made of 1-inch wide slats of multicolored gray slate. Both the porch and house have a rock faced, ashlar limestone foundation and the rock extends up into the brick at the corners and forms wing walls on both ends of the façade. The façade is divided into three vertical divisions, with the east bay being the end gabled, two story bay that has a segmental arched, rock faced stone lintel with stone keystone that spans the quadruple window with transom. Each of the windows and transoms is separated by a heavy mullion and the two center windows are casements and the outer two are fixed, all with leaded glass that has small stained glass details in the upper portions. The window has shutters, as do all other façade windows and the center two windows have sashed aluminum storm windows. The transoms above are also leaded glass. On the second floor of the gabled bay are paired 3 x 1 wood sashed windows with a soldier course lintel. There is a narrow attic vent with rock faced stone sill, quoining, and round arched lintel. Stones also form decorative gable end returns. The other two bays on the façade are spanned by the one story shed roof porch. On the first floor, under the porch roof the middle bay has the entry door, which is a round arched, stained, hardwood plank door with a rectangular leaded glass window and decorative hardware. The door has a hardwood storm door, also round arched, with the upper half having a 9 paned light and the lower have two vertical recessed panels. In the west bay, there is a segmental arched, broad triple French door similar detailed as the first floor window in the gabled bay with heavy mullion divisions and transoms. The large rectangular light in each door has a small recessed wood panel below and the light is multipaned leaded glass unit with a small stained glass design in the upper portion of the door. The transoms are also leaded glass. The doors are sealed with fixed storm panels protecting the doors. On the second floor, there is another paired 3 x 1 wood sashed window unit in the west bay and a smaller, paired, transomed, casement window in the center bay that has a single leaded and stained glass transom above the leaded paned casements with small stained glass inserts. The east elevation has additional sashed windows as well as an end wall brick chimney flue (that has had its cap rebuilt, without the brick banding it probably had to match the chimney on the west elevation). Besides additional sashed windows and fixed windows on the west elevation, there is a large, brick end wall chimney that has brick banded cap and paired, simple, clay chimney pots. There are rock faced stone details on the chimney. There is an enclosed sun porch on the back and a new wood deck with railing off the rear kitchen door and above the basement door, the only visible alteration to the house other than the aluminum storm windows. The house retains its original, 2 car, detached, matching brick, pyramidal slate roofed garage which faces the street at the southeast corner of the property. It retains its original paired wooden doors and center support post.

43. History and Significance

The building permit for this house was issued to J. Charles Mueller and Son on November 6, 1934, indicating that the assessor's estimate of the year built, 1935, is accurate. The house was first listed in the 1936 city directory as the home of Oscar G. and Jennie M. Schalk. They continued to live in the house for many years, at least through 1955 when city directory research ended. Oscar Schalk was various listed as banker and comptroller through 1943 by which time he was working with Mercantile-Commerce Bank and Trust Company. The plans for their new home had been submitted by J. Charles Mueller and Son, who were either the builders or developer of the property and it is an unusual example of the Tudor Revival design, one that has fewer masonry decorative details and a large front porch. It still retains the basic features of a Tudor Revival house: multicolored brick, steeply pitched hipped roof, cross gabled bay, use of rock-faced ashlar limestone details (including a wing wall), leaded and multipaned windows, heavy timber treatment on the porch posts.

44. Description of Environment and Outbuildings

The lot is basically flat but the ground has been mounded up on the front to elevate the façade and to make the driveway less visible. The driveway extends along the east side of the lot and house back to the detached, hipped roof, brick, two car garage on the southeast corner of the lot. There is a tiered, straight, concrete sidewalk extending from the middle of the façade and porch steps to the street.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, November 6, 1934.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date


Sept. 2002

49. Revision Dates

7336 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0360		4. Present Name(s) Williams, Michael N. Sr., & Francine, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Heinz, George G. and Margaret, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7342 Woodland Way -- Lot 21, Pt. 22, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1952	
8. Site Plan with North Arrow 		18. Style or Design	
9. Coordinates Lat Long		19. Architect or Engineer Julius E. Tarling	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab. Hist. District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Williams, Michael N. Sr., & Francine	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material gable, slate now comp. shingle	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment Red Brick	
		35. Plan Shape L-shaped+garage wi	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, red brick, house has an L-shaped plan with a narrow, one car, side gabled garage wing attached on the east, the top of the L. The original roof was identified as slate on the fire insurance maps, but now it is composition shingles, but the house retains its original copper gutters. The façade is divided by the one story, end gabled bay on the west end that forms the leg of the L and there is a simple concrete stoop with one step and doorway nestled in the interior corner of the L, as the middle bay of the façade. The door is a replacement steel paneled door with fanlight and it has a full view storm door. Flanking the door are courses of brick that form brick quoining and it has a soldier course lintel. The gabled bay on the west end of the façade has a narrow slit attic vent above a 1x1 wood sashed window with shutters. Above the brick soldier course lintel is a brick dentil course which spans the east bay as well. In the gabled bay, above the dentil course, the brick is laid in a basket weave pattern to the base of the attic vent where there is a projecting brick, continuous sill. The large east end bay has a wide, picture window unit with shutters that has 2 x 3 wood framed storm window. It too has a soldier course lintel that meets the brick dentil course. There is a shallow stone sided, raised flower bed spanning from the stoop to the corner of the house. Above is a gabled dormer with a 1x1 wood sashed window. It appears to have aluminum siding, which could be original, given the year of construction. On the west elevation there is another attic vent nestled in the gable end, which is clad with siding at the tip above the second floor sashed window. This one window has a small, shed awning. On the first floor there are paired sashed windows flanked by tiny paired sashed windows aligned above the basement windows. On the east elevation there is a broad, brick chimney with a shallow corbelled cap between the house and the side gabled, one story, one car, attached brick garage wing. The garage a replacement overhead door. Despite the alterations of the entry and garage door, the house appears to have a high degree of historic integrity, including wood storm windows, but the use of half screens on the wood sashed windows may be an indication that these are recent replacements. There is a new wood deck on the back of the house off of the kitchen.

43. History and Significance

Although the assessor estimated the year built as 1955, the plans, designed by Julius E. Tarling, were dated 1952 and this address is first listed in the 1953 in the city directory as the new home of George G. and Margaret Heinz. George Heinz was the employee manager for Mallinckrodt Chemical Company. Tarling was a very popular choice for architect in Pasadena Hills and is responsible for many of the house designs in Pasadena Hills, and for at least four homes on Woodland Way alone. This is a good example of his Minimal Traditional designs, a style that became popular after World War II for its simplicity of design, that borrowed from the Cape Cod designs popular before the war as well the emerging Ranch style houses. In this instance, the distinctive basket weave banding in the gable end of the cross gabled bay on the façade is balanced by the multipaned picture window and dormer. Like other Minimal Traditional designs, this is more horizontal in form than earlier house styles and has a broad brick chimney similar to those found on Ranch houses, but it utilizes a dormer, multipaned windows, shutters, dentil courses--all of which are commonly found on Cape Cod and other Colonial Revival designs. As became commonplace after the war, the garage is attached with an entry on the façade, rather than relegated to the rear of the house.

44. Description of Environment and Outbuildings

The lot is basically flat with a one car, concrete driveway along the east side of the property that extends to the façade garage entry. There is a curved, concrete sidewalk leading from the head of the driveway to the front entry porch.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

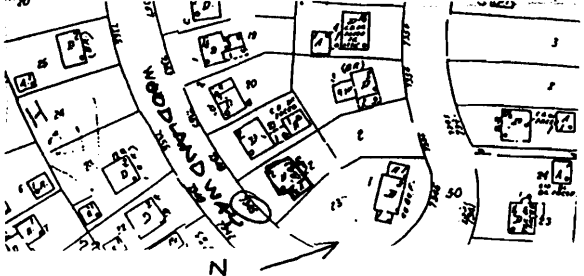
Sept. 2002

49. Revision Dates

7342 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 03601		4. Present Name(s) Bowdry, Jerry L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Clark, Richard L. and Blanche G., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7345 Woodland Way -- Lots 22, 23, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Bowdry, Jerry L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable; slate, now comp. shingle	
		33. No. of Bays FRONT 2 + 1 SIDE	
		34. Wall Treatment Red and Beige Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red and beige brick house now has a gray composition shingle roof, although it was originally a slate roof (based upon the fire insurance map), but it appears that it retains its original copper gutters and downspouts. The main house is rectangular in plan and its façade is divided into two vertical bays. There is a deeply recessed, shorter, two story garage wing attached on the east end that has the same roof and brick treatment and is original to the house. On the back, west end, there is a two story brick porch wing, that also appears original to the house, but it is not shown on the 1967 fire insurance map. The entry bay on the façade has a 6 x 6 wood sashed window with shutters above the gabled porch roof. The face of the gable has two wood molding stringcourses with the bottom one broken by the flattened arch over the porch steps. The porch floor and steps are concrete and the paired porch supports on the outer corners are wrought iron, which is most likely a 1950s or early 1960s replacement material given its design. The door is a painted, wood paneled door with four recessed panels below the four shoulder arched lights across the top of the door. There is a newer full view storm door. The bay to the east of the entry has a large canted bay window with fixed windows and scalloped wood trim above the windows on the fascia board. The three on the front are 10 lights each while the ones on the sides are 5 lights tall and there are wood storms on these windows. Above there are paired, 6 x 6 wood sashed windows with shutters. There is another 6 x 6 wood sashed window with shutters on the second floor of the east elevation near the façade. Behind, the garage wing has a decorative brick dentil course separating the first and second floor. The two car, wood paneled, overhead garage door has lights across the top row and the door may be original or an early replacement. Above the garage doors on the second floor, there are two window openings on each elevation of the wing, which originally were either open or screened, but have been infilled with wood siding around double awning style, metal windows. The east elevation of the garage has similar wood siding in the gable end and on the first floor it has a single, 6 x 6 wood sashed window with shutters. Between the garage wing and main house is a brick chimney flue. On the west end, near the façade is also a brick end wall chimney, devoid of a cap. Both gable ends of the main house have gable end returns created by the fascia board and gutters. Behind the chimney on the west elevation there are additional multipaned, sashed windows on both levels. On the back of the house is a bay window and the two story brick porch wing that had segmental arched openings on the first floor (that are now filled in with siding at least on the west elevation). The second floor of the porch originally had brick half-wall railings formed by the brick walls, but was an open framed porch that is now enclosed with siding and small windows.

43. History and Significance

The assessor's estimate of the year built, 1938, appears to be accurate since the house was first listed in the 1939 city directory as the home of Richard L. and Blanche G. Clark. He was a dentist, but the couple only lived in the house until the mid-1940s and by the time the 1946 directory was published, James F. and Viola M. Casey had moved into the house. At the time, he was in the poultry business, but by 1955, she was listed as a widow. The changes made to the exterior of the house probably occurred shortly thereafter, given the styling of the wrought iron porch posts. The house is a nice example of the adaptation of the Colonial Revival variant, popularly known as Georgian Revival, loosely interpreted to fit more modern requirements by having a side wing attached that incorporates a two car garage. Otherwise, the side gabled, two story form with its vertically aligned fenestration pattern, the use of multipaned and shuttered windows, the bay window, and the flanking end wall chimneys are all characteristic of this style. However, the proportions, with only two bay divisions on the main house and a large garage wing, as well as a gabled porch roof, is a less common plan adaptation of the Georgian Revival style. Despite the alterations, loss of the original porch columns and the enclosure of the sun porches, the house retains a high degree of historic integrity and is contributing to the historic district.

44. Description of Environment and Outbuildings

This large double lot at the Y intersection with Overbrook Drive faces south onto Woodland Way. It is basically flat and the corner lot forms a large side yard to the east of the house. There is a concrete driveway from the street to the 2 car attached garage wing, but the driveway has been widened to a full 2 car width, at least at the top of the drive. There is a curved concrete sidewalk from the middle of the driveway to the front entry porch.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

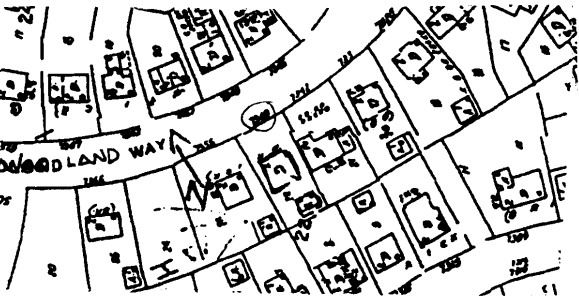
Sept. 2002

49. Revision Dates

7345 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0362		4. Present Name(s) Brofford, Eric M., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Mayer, Conrad H. and Mathilda, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7348 Woodland Way -- Pt. 22, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Brofford, Eric M.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Cross Gable, Multi-gray Slate	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Multi red and tan brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, multihued red and tan brick house has a steeply pitched multicolored (grays and red) slate roof with unpainted copper gutters. The foundation is rock faced, ashlar limestone with squared beaded mortar joints. The raised foundation is above the height of the front porch floor and it forms wing walls on each corner of the façade, as well as the foundation to the concrete porch floor. The façade that is divided into two vertical bays separated by the massive end wall chimney. The face of the chimney merges into the façade of the two story, gabled vestibule bay on the east end of the house. The outer corner of the chimney has irregularly placed, rock faced, limestone blocks that form a quoin effect and the rock faced, ashlar limestone foundation extends up the shaft of the chimney above the concrete slab of the entry stoop. There is a slate roof edge where the shaft narrows as an extension of the entry vestibule gable roof. Above the roofline of the main house the shaft again narrows and is visually divided into three shafts with a corbelled cap. The entry bay has four bands of red brick on the upper façade, one soldier course separating the first and second floor (which also has a dentil course below), one that rounds over the segmental arched second floor window (with a brick keystone) and two narrow bands near the peak with the brick walls above these upper two bands laid on an angle. The second floor window is a paired, wood casement window with transoms that has beveled leaded glass. There is a faux iron balcony below this window. The entry is surrounded by rock faced limestone laid to form irregularly quoining with clusters of very narrow stones alternating with wider stones. The baskethandle arched opening and door has a stained hardwood plank door with strap hinges and a small, rectangular, stained glass window in the upper portion of the door. Flanking the doorway are two small, rectangular brick niches with wrought iron grills to simulate small windows. The porch stoop extends the width of this bay and the chimney and has two concrete steps. The west bay has a small gable through the eaves that has a diamond brick patterning in the gable end above a faux segmental arched brick lintel on the second floor windows. All of this detailing is created with contrasting red brick. The second floor windows are paired, 6 x 1 wood sashed windows. The first floor has a quadruple leaded glass casement window unit with transoms and heavy mullions separating each window and a soldier course lintel capped by a dentil course. The downspouts on the gutters form a decorative element on the façade since the closely flank these windows, defining this bay. There is a simpler end wall brick chimney on the west elevation with a brick banded and corbelled cap that retains its original paired chimney pots (the front chimney now has a metal cap). In the back, there is a one story framed porch that is enclosed with vinyl siding and windows, but it has a slate roof, indicating that it probably is a modified, historic porch even though it is not drawn on the fire insurance map (an error found on other houses as well). The only other visible alteration to the house is the use of aluminum storm windows. There is a detached, 2 car, matching brick, end gabled garage with paired, wood paneled overhead doors and wood siding in the gable ends.

43. History and Significance

The assessor had estimated the year built as 1935, but the house did not appear in the 1936 city directory, possibly because it was completed after that directory was canvassed. The next directory was printed in 1938 and the house was listed as the residence of Conrad H. and Mathilda Mayer. He was a show card or sign writer for Famous-Barr Company in St. Louis, a major local department store. They would continue to live in the house for many years, at least through 1955 when city directory research ended. It is an excellent example of the Tudor Revival style with its characteristic steeply pitched roof with intersecting and asymmetrical gables, the patterned brickwork and ashlar stone detailing, the baskethandle arched door and wood plank door, the iron balcony, multipaned and leaded glass windows, wing walls, and massive, decorative chimneys. Even the two car, detached garage is characteristic of this community where garages were usually relegated to the back of the property, to have a minimal visual impact on the streetscape.

44. Description of Environment and Outbuildings

The lot is basically level and faces north onto Woodland Way with a one car, concrete driveway along the east side of the property to access the detached, 2 car, brick, gabled roofed garage at the southeast corner of the back yard. There is a curved sidewalk between the driveway and front entry. There are brick sitting walls in the backyard corner.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

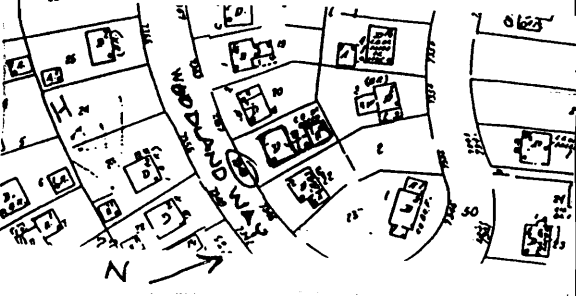
Sept. 2002

49. Revision Dates

7348 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0363		4. Present Name(s) White, Mary E., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Terry, Paul J. and Marie, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7349 Woodland Way -- Lot 21, Block 24		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1947	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	30. Foundation Material limestone
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction concrete block brick faced
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Gable w/front cross gable, Slate
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment multihued red with gray brick
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape hyphenated rectangl
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known White, Mary E.	36. Changes (explain in #4?) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.

HISTORIC INVENTORY**42. Further Description of Important Features**

This two story, side gabled house has multihued red and gray brick walls and a gray slate roof. The façade is divided into three vertical bays and there are flanking end wall, brick chimneys with corbelled caps (now with metal chimney caps). The center bay has a gable through the eaves and projects slightly from the flanking façade walls. There is a plain fascia board and copper gutters and downspouts (one replaced with aluminum) that wrap the corners to form gable end returns. The entry is located in the central, gabled bay and there is a shuttered, 6 x 6 wood sashed window above it on the second floor that has a brick lintel with a brick cap. The door has a swans neck pediment with urn over the deeply recessed sidelights and six panel, painted wood door. The sidelights are leaded glass with recessed wood panels below. The concrete entry stoop is tiered in two equal sections with one concrete step at the base where it meets the flared sidewalk. There are flanking porch lanterns, but they appear to be newer and not the historic lights, while the porch railing, which are flanking metal, flared railings is one of the few historic railings left in Pasadena Hills. The bay to the east has another 6x6 wood sashed window (but it is missing its shutters). Below, there is a triple window with 6 x 9 wood sashed window flanked by 4 x 6 windows that have a brick lintel that matches the central bay's window. The west bay has another shuttered 6 x 6 wood sashed window with a standing seam, metal roofed canted bay window on the first floor that has brick walls below the windows as well as the same rock faced, ashlar limestone foundation as the house. There are 4 x 6 windows flanking a 8 x 12 wood sashed window in the canted bay. It retains an original wood storm window while others appear to be metal storm windows. The west elevation has small leaded, stained glass, casement windows. On the back of the house, at the east end, there is a wood paneled breezeway that connects to the two car, gabled roof garage that faces west into the back yard. It has a wood paneled door. There is a side entry next to the garage. The garage and breezeway use the same brick, have slate roofs and are shown on the 1967 fire insurance map, probably indicating that these are original to the house.

43. History and Significance

The house was probably built in 1947, the year identified by the assessor since it did not appear in the 1946 city directory, but was listed in the next directory in 1949 as the new home of Paul J. and Marie Terry. He was an employee of Kroger Company by 1953, but in 1949 he was only identified as a merchandiser. The house is a nice example of the Colonial Revival variant known as Georgian Revival, with an interesting twist, that utilizes a breezeway connection to the attached garage on the back of the house, in itself a characteristic of the Colonial Revival style. The main house has the characteristic features of this style, multipaned windows, a bay window, and a swans neck pediment on a sidelighted entry as well as flanking chimneys on the side gabled house with its three bay division of the façade.

44. Description of Environment and Outbuildings

The lot is basically level and faces south onto Woodland Way with a single car, concrete driveway extending back along the west property line and turning to approach the attached garage that faces west on the back portion of the house at the northeast corner of the lot. There is also a straight concrete sidewalk from the front entry to the street.

45. Sources of Information**46. Prepared by / Organization**

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date**49. Revision Dates**

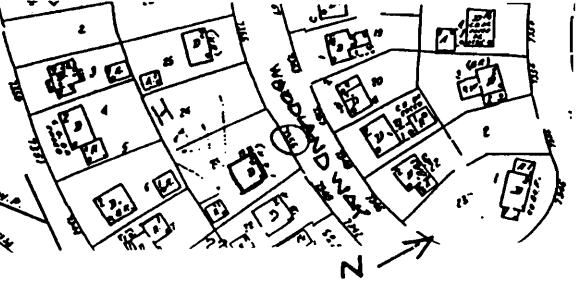
Sept. 2002

7349 WOODLAND WAY
PASADENA HILLS





HISTORIC INVENTORY

1. No. SLAS039 - 0364		4. Present Name(s) Mehrtens, Eugene J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Russo, James and Anna, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7356 Woodland Way -- Pts 22, 23, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1936	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Mehrtens, Eugene J.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material side gables, gray slate	
		33. No. of Bays FRONT 2+1 SIDE	
		34. Wall Treatment Red & Tan Brick	
		35. Plan Shape rectangular+wing	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red and tan brick house has a multihued gray slate roof with painted copper gutters. The façade is divided into two vertical bays with the east bay being a cross gabled entry bay that projects slightly. There is also a two story, sun porch wing on the west end of the house. All of the gable ends have dark, wavy butt, wood siding and there is a wide fascia board on the façade and surrounds the sun porch wing. There are three 6 x 6 wood sashed windows with shutters on the second floor of the façade, one above the entry and two above the canted bay window in the west bay of the façade. This bay window has a standing seam, painted metal roof with 6 x 9 wood sashed windows flanking a 8 x 12 wood sashed window. Below the window the brick extends to the rock faced ashlar limestone match the house. The entry bay had brick quoining on both corners and there is a slightly projecting brick quoin surround and brick entablature with brick dentils around the front door. Above the entablature is a faux iron balcony with an unusual railing pattern. Flanking the projecting surround are carriage lantern porch lights that appear to be original to the house. The door is a four panel, painted hardwood door with a row of four shoulder arched, beveled glass lights across the top. The door is now protected by a full view aluminum storm door. There is a concrete porch stoop with brick steps. The east elevation of the house has a small canted bay window suspended above the driveway near the rear of the house. It has multipaned windows and a slate roof. The two story porch wing on the west has 1 x 1 wood sashed windows on the second floor and wooden storm windows on the first floor, paired on both levels of the façade and with two pairs on the side elevation. There is a brick header course that extends only between the window openings separating the first and second floor and a series of recessed, rectangular, brick niches below the second floor window openings. For years, these window have had striped, vinyl awnings, but they are not historic. Between the porch wing and the main house is a brick end wall chimney with a brick banded cap. On the back, there is a small porch with slate roof that has four concrete steps leading down to the flagstone patio and driveway. On the southeast corner of the property is a detached, two car, end gabled, matching brick garage with a slate roof and matching siding in the gable ends. It has two bays with wood paneled door with glass in the upper row, possibly the original doors. The house retains a high degree of historic integrity with only the awnings and aluminum storm windows and doors being cosmetic alterations to the exterior appearance of this house.

43. History and Significance

The assessor estimates the year built as 1936, but the address is not listed in the 1936 city directory. By 1938 it is listed, but identified as vacant, apparently it had been built in the interim and not yet occupied. By 1939, James and Anna Russo had moved into the house. He had a produce business initially and by 1949, his business was known as James Russo and Brothers. By 1953, it was now Humfeld-Russo Development, but by 1955 he was back in the wholesale produce business at 17 Produce Row in St. Louis. This is a nice example of a Colonial Revival variant, known as Georgian Revival. This example has many of the typical features (side gable, multipaned windows, shutters, and two story sun porch side wing), but it also has some less commonly used features, especially the brick quoining on the entry and corners of the entry bay and the large canted bay window.

44. Description of Environment and Outbuildings

The large lot is basically level with a large side yard on the west. There is a 1 car, concrete driveway along the east side of the lot and house that extends back to the detached two bay, end gabled, brick garage on the southeast corner of the property. There is a curved concrete sidewalk from the driveway to the front entry.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

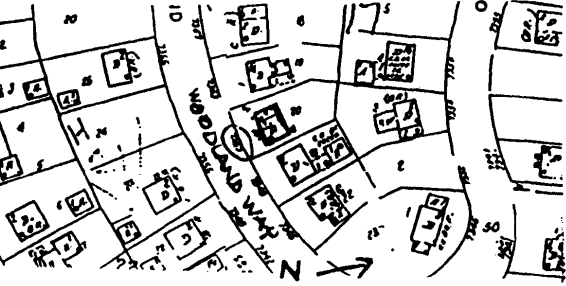
48. Date 49. Revision Dates

Sept. 2002

7356 WOODLAND WAY
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS0391 - 03105		4. Present Name(s) Rhône, Toryn C. & Marcelle M., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Loehr, Harry F. and Charlotte S., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7357 Woodland Way -- Lot 20, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Rhône, Toryn C. & Marcelle M.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gabled, slate now comp. shingles	
		33. No. of Bays FRONT 1+2 SIDE	
		34. Wall Treatment Red Brick	
		35. Plan Shape rectangle+wings	
		36. Changes (explain in #47) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, red brick house has a replacement black composition shingle roof and aluminum gutters. According to the fire insurance maps, the roof was originally slate and probably had copper gutters as well. The façade of the house is divided into two vertical bays with a gabled dormer above the entry in the west bay and a large gabled wall dormer in the east bay above a canted bay window. To the west of the main house is a one story, side gabled, one car garage. The gable ends as well as the dormers are clad in replacement aluminum siding, which probably closely approximates the original siding, except that it visually makes the dormer window appear less prominent than the siding, reversing the original condition. There is brick corbelling, to look like dentil work and projecting brick stringcourses that reference classical friezes under the gutters of both the main house and garage wing's façade. The gabled dormer has a 6 x 6 metal, thermal window. The gabled wall dormer has paired, 6x6 sashed thermal replacement windows with shutters. The canted bay also has a replacement composition shingle roof but retains its original 8 x 12 wood sashed window flanked by 4 x 6 wood sashed windows. It has brick walls behind these windows and below the brick sills. The standing seam, swayback, shed roof of the porch is now supported by ornate wrought iron brackets against the brick walls and equally elaborate wrought iron corner posts, designs that were not popular until the post-war era. The entry door is a four panel, painted wood door with a half-round fanlight. It is flanked by faux shutters, probably original to the house, but has a more recent elaborate security iron screened storm door. The porch floor is concrete with only one step. The garage wing has a small casement window next to the main façade and a 6 x 6 wood sashed window with shutters on the façade. There is a side entry door on the west elevation. The garage door faces the back yard and is a white wood paneled door. The east elevation has 1 x 1 sashed windows and there is a shed roofed, one story, brick addition on the back that was added some time after the publication of the 1967 fire insurance map, and while the brick closely matches the main house it is obviously an addition that was designed to blend well with the original house design. There is another addition on the back as well, also brick, but it is not visible from the street elevation. Despite the alterations to the house, most of the alterations (replacement siding in the gable ends, and some replacement windows) were done with the intention of maintaining the historic appearance of the house (except the porch posts). Because the house retains its historic forms and brick detailing on the façade it is still a contributing building in the district.

43. History and Significance

Built in 1937, this was initially listed in the 1938 city directory as the home of Charlotte S. Loehr, a secretary, but by the next year it was listed as the home of Harry F. and Charlotte S. Loehr. He was identified as a salesman and the couple continued to live in the house for many years, at least through 1955 when city directory research ended. This is an unusual example of the Colonial Revival style, that has the two story side gabled form usually associated with the Georgian Revival houses that were very popular in the neighborhood, but this house is only 1.5 stories and has both a gabled dormer and a large gabled wall dormer and a swayback shed porch roof, creating an asymmetrical design not characteristic of that variant of Colonial Revival. It still utilizes other common features popular in that style during the mid-twentieth century, including the multipaned windows, shutters, a canted bay window, side wings for the attached garage, brick dentil courses, shallow entry stoops, and end wall chimneys.

44. Description of Environment and Outbuildings

The lot is basically level with a 1 car concrete driveway along the west side of the property extending back to access the rear entry doors to the attached garage wing. There is a curved sidewalk from the driveway to the front door.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

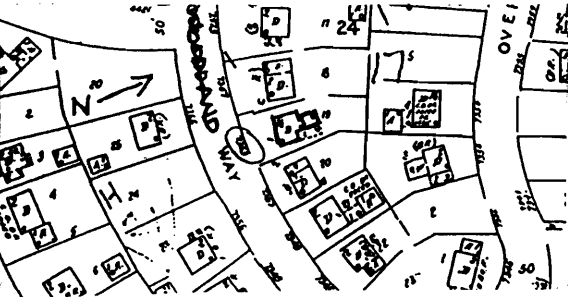
Sept. 2002

49. Revision Dates

7357 WOODLAND WAY
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0346		4. Present Name(s) Vargas, Fred & Donna L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Whitlock, Benjamin E. and Amelia, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7363 Woodland Way -- Lot 20, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Cape Cod	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Vargas, Fred & Donna L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Side Gable - Gray Slate	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Red Brick/ some Vinyl Siding	
		35. Plan Shape T-shaped	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, red brick house has a gray slate roof and two gabled dormers positioned in the outer two bays of the three bay façade. The house retains its unpainted copper gutters and downspouts, but the dormers have been clad with vinyl siding, eliminating the framing around the 6 x1 wood sashed windows. Projecting brick stringcourses and a brick dentil course that forms an entablature across the façade. On either side of the entry, there are two 6x1 wood sashed lintels with soldier course lintels that have a projecting brick cap (vertically aligned on either side of the gabled dormers). The entry itself has pilaster strips supporting an entablature and pediment. The door is a six panel, painted hardwood door that had leaded glass lights in the two small upper panels. There is a simple concrete stoop with one step in front of the entry. There is a center chimney at the gable peak with a banded brick cap. Each side elevation has paired windows on the second floor but the first floor openings vary with the most notable detail being the east elevation bay window that is suspended and has a slate roof. Its windows are 6x1 wood sashed windows as well. On the back of the house there is a shed roofed dormer and an attached, two car, matching brick, side gabled garage with its original wood overhead door. The door faces west. The side porch on the east side of the garage by the house has a shed roof, but it has been enclosed with siding in recent years and there is a metal framed, plastic roofed carport in front of the garage in the back yard. The only alterations to the house that are visible from the street are the aluminum combination storm windows and an aluminum storm door.

43. History and Significance

Built in 1935, the house was listed initially as the home of Benjamin E. and Amelia Whitlock, but by 1938, they had been joined by another couple, Oliver W. and Ruth Schaedlich. Benjamin Whitlock was identified as a salesman, and Oliver Schaedlich was a dentist. Both couples are listed through 1939 in the city directories. When the next directory was published in 1941, Elmer H. and Sylvia M. Tigges had moved into the house. The Tigges continued to live in the house through 1953, but in 1955, Elmer Tigges is listed with Pearl L. Tigges. It is not known if this is a second wife or a mistake on the part of the city directory. He worked with Lawton-Byrne-Brunner, an insurance agency. The house is a good example of the popular Cape Cod variant of the Colonial Revival style. It has the characteristic symmetry to the façade, side gable with dormers, the classical revival motifs on the central entry and a small entry stoop. As is common in this commuter suburb, it does have a garage discretely located in the back as an attached wing.

44. Description of Environment and Outbuildings

The lot faces south onto Woodland Way and is basically flat, but the ground is elevated on the façade to minimize the visual impact of the driveway and to elevate the façade from the street. There is a one car, concrete driveway along the west side of the house and lot that extends back to connect to the attached garage wing on the back of the house. There is also a straight, concrete sidewalk from the front entry to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

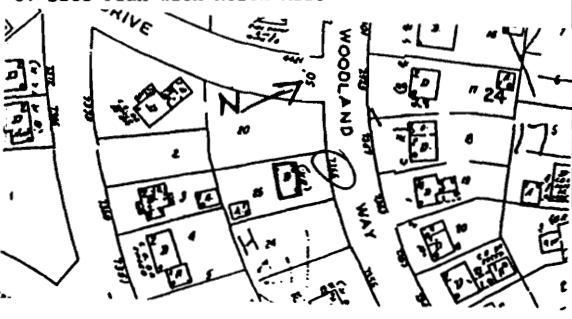
Sept. 2002

49. Revision Dates

7363 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0367		4. Present Name(s) Rayburn, Jean A. & Mary Jane, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Rubinelli, Peter R. and Bernice L., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7366 Woodland Way -- Pts 24, 25, Block 22		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1942	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival	
9. Coordinates Lat Long		19. Architect or Engineer J. V. Gastaldi	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Rayburn, Jean A. & Mary Jane	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Side Gable - Gray Slate	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment Red and Gray Brick	
		35. Plan Shape rectangular+wings	
		36. ADDITION <input checked="" type="checkbox"/> Changes (explain in #42) ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red and gray slate brick house has a gray slate roof with two cross gables over the outer two bays of the main façade. The entry is located in the center bay and there is a two story, brick, side gabled sun porch wing on the east side of the house. The house has its original copper gutters, painted, and copper downspouts. The house has a rock faced, ashlar limestone foundation that is visible on the sides and rear of the house. Brick detailing references classical revival features, including the large brick quoins on either end of the façade and the sun porch wing. There are narrow vertical niches in the cross gables with angled bricks in the recess. Below the fascia board, the brick is tiered to form a cornice to the façade. The windows on the main façade all have soldier course lintels capped by a dentil course. The central entry bay has an octagonal, leaded glass window outlined with header bricks. The doorway below is partially disguised by the large, semi-circular canvas awning but has distinctive rowlock brick pilasters around an arched pediment formed with header bricks. The door is a 6 panel, stained hardwood door with three leaded and beveled glass, shoulder arched lights across the top. There is a new painted, full view storm door, added since the photos were taken and there is a simple, semicircular, concrete stoop with one step. On either side of the entry bay, the façade is symmetrical with paired windows on the second floor and a triple window on the first floor. On each end, just behind the gable peak, are brick chimneys with banded brick caps. The sun porch wing may not be original to the house since it is not shown on the 1967 fire insurance map, but it is often in error and the brick, slate roof, and detailing matches the main house. It is not clear whether originally these sun porches were enclosed or not, but the windows shown in the survey photos were the same as the adjacent windows on the façade, with large triple window units between each corner pier. The original windows on the second floor were 6 x 6, but the replacements are 6x1. The original windows on the first floor were 6 x 9, but the replacements are 9 x 1. The loss of the original windows does negatively impact the historic integrity of the house, and the visual appearance of the façade, which previously had longer bottom sashes on the windows, visually elongating the appearance of the first floor. However, the prominence of the masonry details and the basic house form continue to make it a contributing building in the historic district. On the back of the house is a large stone and brick deck with ironwork railings and lights that extends most of the length of the main house. It has wood flooring and a partial canvas awning. This was added to the house more recently than the 1967 fire insurance map, because the stonework does not match the main façade and it is uncharacteristic of that era of design. Since it is barely visible from the street, it does not drastically affect the historic integrity of the house. There is also an original, two car, end gabled, matching brick, detached garage at the back of the property that has wood siding in the gable end and an original slate roof, but does have a new garage door.

43. History and Significance

Architect, J. V. Gastaldi completed the plans for this house in 1941 and the assessor estimated the year built as 1942, probably fairly accurately. Gastaldi designed several homes in Pasadena Hills, including the home at 7366 Ravinia. The address was not listed in the 1941 city directory, but was listed in 1943 as the new home of the president of Star Coffee Company of St. Louis, Peter R. Rubinelli and his wife, Bernice L. Rubinelli. They continued to live in the house for many years, at least through 1955 when city directory research ended. This is one of the larger, more stately Colonial Revival residences in Pasadena Hills, as was appropriate for the owner of Star Coffee. It has many of the features of Georgian Revival designs, a variation of Colonial Revival, with its side gable, symmetrical façade and two story sun porch side wing, but the large cross gables on the façade are not typical of that subtype. Even though the windows have been replaced (after the survey photos were taken) with different patterned windows, they still retain the multipaned appearance that is typical of this style and the house has a number of other distinctive Colonial Revival features, including brick quoining on both the main façade corners and on the sun porch wing, dentil treatment of the lintels, and a pedimented entry.

44. Description of Environment and Outbuildings

This large double lot faces north onto Woodland Way with the house actually located on the west lot, allowing for a large side yard on the east. The concrete driveway extends from the street, along the east side of the house back to the detached, end gabled, brick, two car garage. There is an angled, concrete driveway extending from the front entry to the street.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

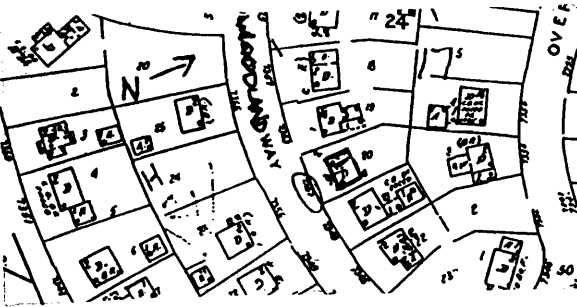
Sept. 2002

49. Revision Dates

7366 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0368		4. Present Name(s) Russo, Michael J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Fleer, Fred H. and Martha, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7367 Woodland Way -- Lot 18, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1935	
8. Site Plan with North Arrow		18. Style or Design Colonial Revival-Georgian Revival	
		19. Architect or Engineer	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Residence	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Russo, Michael J.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gabled, slate, now comp. shingles	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment red and tan brick	
		35. Plan Shape rectangular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red and tan brick house has a replacement green and gray composition shingle roof (originally slate according to the fire insurance maps), but it does have its original unpainted copper gutters and downspouts. Rows of brick under the fascia board form a cornice treatment and windows have soldier course lintels. The façade is divided into three bays and there are three gabled wall dormers on the façade with most of their windows actually being below the eave line of the house. The windows are all 6 x 6 wood sashed windows, one per bay on both the first and second floor, with those on the first having wood shutters. The entry bay is the west bay and it has brick pilaster strips with stone block capitals supporting a corbelled brick entablature that serves as the base for the second floor faux balcony railing. This railing design is duplicated in the railing on the rooftop of the attached, one story, flat roofed, one car, garage wing to the west and it may have been used on a porch stoop railing that is now missing. The door is a 6 panel painted hardwood door that appears to have originally had long sidelights that are now boarded in on the recessed plane of the glass. There is a full view storm door now on the entry along with aluminum storm windows on all of the windows. The concrete stoop has a bullnosed tile step at the base of the entry. There is an end wall, brick chimney with corbelled cap with paired chimney pots on the east elevation. On the west end, there is the garage wing, with a door from the second floor onto the rooftop deck. There is a brick dentil course around the parapet and a 6 x 6 wood sashed window on the west elevation. Originally, the garage apparently had a small brick extension on the front with a hipped roof (below the parapet line), but even this extension has been modified with a wood framed door extension and the roof continued as a shed roof, all to allow for more space inside the garage. There is a newer garage door. On the back of the house is an old flagstone patio. Except for the storm windows and door, and the changes to the garage doorway, the house retains its original historic features, although the porch railing is missing and the wood shutters are in need of repair.

43. History and Significance

Built in 1935, this was originally the home of Fred H. and Martha Fleer. He worked with Sinclair Refrigeration. But between 1941 and 1943, new occupants moved into the house, John E. and Frances O. Marshall. He apparently was in the military since his occupation was identified as USA and they are only listed in that one directory. By 1946, Ralph M. and Adele C. Skinner lived in the house. He was a sales engineer for Elliott Manufacturing. The next directory was not published until 1949 and this address was listed as "no return." When the next directory was published in 1953, William Heneck, who worked for Tru-Aide Building Company, lived in the house. Then in 1955, Raymond J. and Delphine Theisman had moved into the house. He was a printer with Superior Typesetting Company. Through the many changing owners, the house has retained its historic integrity, a good example of the Colonial Revival variant known as Georgian Revival. This style is noted for the side gabled, two story form, often with the three vertical divisions of the façade as is the case on this house and having multipaned sashed windows, shutters, and classical references to the entry design. As is common on Georgian Revival houses, this house has a one story side wing, but what is unusual for Pasadena Hills, is that this wing is an attached one garage with a façade garage entry. Most garages in this community were relegated to the back of the property where they were less visible, despite the importance of the automobile in this commuter suburb.

44. Description of Environment and Outbuildings

The lot is basically level and faces south onto Woodland Way. There is a one car, concrete ribbon driveway (one of the few remaining original ribbon driveways in the community) from the street to the façade garage entry and a T-shaped concrete sidewalk that leads from the street to the front door and also to the driveway.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

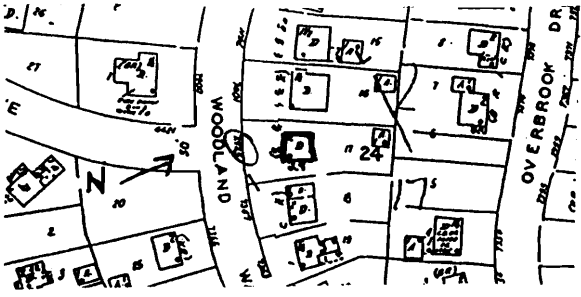
Sept. 2002

49. Revision Dates

7367 WOODLAND WAY
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 03109		4. Present Name(s) Daniels, Deborah, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Skinner, Merrill G. and Hazel N., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7373 Woodland Way -- Lot 17, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Daniels, Deborah	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable-slate now comp.shingles	
		33. No. of Bays FRONT 3+1 SIDE	
		34. Wall Treatment Red Brick; wood clapboard	
		35. Plan Shape rectangular+wings	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red brick house has a replacement gray composition shingle roof (originally slate), but it does retain its original copper gutters, which have been painted. All gable ends are wider, wood clapboards. The boxed cornices on the eaves have dentils and form an entablature motif on both the front and back of the house and wrap the corners with the gutters to form gable end returns. The façade is divided into three vertical bays with the entry in the center bay. There is an end wall chimney with a replacement metal cap on the east gable end, behind the one story, side gabled, sun porch wing. The entry has a rounded, broken pediment with swags and urn carved into the wood pediment which are visually supported by stylized pilaster strips with medallions in the capitals. The door is a four panel, painted hardwood door with three shoulder arched lights across the top. The door has a full view storm door that has been added recently and flanking the doorway are small carriage style porch lanterns that appear to be original. The concrete entry stoop with two concrete steps leads up to the brick step at the base of the door. The second floor has a smaller 6 x 6 wood sashed window above the door, with 8 x 8 wood sashed windows in each outer bay. There is visual evidence that the façade windows originally had wooden shutters, but they are missing. There is also an 8 x 8 wood sashed window on the first floor in the east bay and the west bay has a canted bay window with a standing seam metal roof. There is scalloped detailing on the fascia boards and a 6x6 wood sashed window flanked by 2 x 2 wood sashed windows. Below the windows it has wood clapboard to the foundation. Side elevation windows are also multipaned, usually 6 x 6 sashes and the rock faced ashlar limestone foundation is visible on the west elevation next to the driveway. The one story, side gabled, framed porch on the east end of the house has been enclosed with what appears to be three slab to ceiling patio style doors/windows (3 lights on the façade, 4 on the east elevation below the clapboard gable end). There is a two car, end gabled, matching brick garage with clapboard in the end gable over the original wood paneled, overhead door with lights in the upper row. The garage faces the street. Both the garage and house are in serious need of paint, but it is uncommon to find a house that still retains these original, distinctive wood elements, the boxed cornice with dentils as well as the clapboards and wood windows and except for the loss of the original shutters, the enclosure with glass of the sunroom, and the aluminum storm windows and doors, the house appears to have a extremely high degree of historic integrity and the aluminum storm windows have probably protected the original wood windows from deterioration as well as providing thermal efficiency.

43. History and Significance

This house was built in 1939 as the home of Merrill G. and Hazel N. Skinner. He was an officer with St. Louis Blow Pipe and Heater Company, first as secretary-treasurer and later as vice president. They continued to live in the house at least through 1955 when city directory research ended and it appears that by 1953, he was retired. The house is a nice example of the Colonial Revival variant known as Georgian Revival, especially because it appears to retain most of its original features, including the clapboard siding in the gable ends and the original wood windows. The house has many of the character defining features of this style: side gable, two story form with three vertical bays and even a one story side wing, as well as the multipaned windows, gable end chimney, bay window, and elaborate pedimented entry. The most unique feature is the pedimented entry with its swagged urn in the pediment.

44. Description of Environment and Outbuildings

The lot is basically level and faces southwest onto the T intersection of Woodland Way with Cardwell Drive. The ground is elevated across the front camouflaging the one car, concrete driveway along the west side of the house and lot that extends back to the detached, two car, brick, end gabled garage on the northwest corner of the property. There is also an angled sidewalk from the street to the front entry. Unfortunately, the large, overgrown hedges hide much of the lower façade.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant

Pasadena Hills Historic Preservation Commission

48. Date

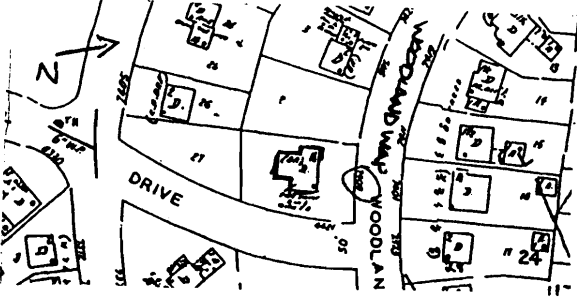
Sept. 2002

49. Revision Dates

7373 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0370		4. Present Name(s) Goedeke, Oliver H. Jr., & Mary L., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Spoeneman, Chris and Anna, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7400 Woodland Way -- Lots 1, 2, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1932-1933	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Goedeke, Oliver H. Jr., & Mary L.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-fireproof con	
		32. Roof Type, Material Cross Gable - Gray Slate	
		33. No. of Bays FRONT 1+4+1 SIDE	
		34. Wall Treatment Textured red and tan brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story cross gabled, red and tan textured brick house has a multihued gray slate roof. The façade is divided into four vertical bays with one story hipped roof wings on both sides of the house. The east two bays of the main house share the 1.5 story cross gable, which has dark stained wood siding in the gable end above a brick soldier course, which in turn is above the second floor windows. This same gable end treatment is used on all four elevations of the cross gabled roof. On the façade, there are paired, wood sashed windows with diamond pattern leaded glass in the upper sash. This is the same window pattern used on all sashed windows of the house, except where noted. The first floor of this cross gabled bay forms the western most bay, but also incorporates the one story, gabled vestibule as the next bay division. There are paired sashed windows on the first floor of the cross gabled bay, which has scattered rock faced limestone blocks that form a quoin effect and it has a soldier course brick lintel flanked by additional limestone blocks at each end and as a keystone. Some of the rock faced ashlar limestone foundation stones extend up the outer corner of this wall as well as up the outer corners of the east wing and west façade wall. However, this east corner forms a wing wall as well. The one story gabled vestibule projects from the cross gabled façade wall and has battered, rock faced, ashlar limestone walls that extend up to the top of the lintels. The verge board of this gable is scalloped. The doorway is a round arched doorway flanked by tiny round arched leaded glass sidelight windows. The stone lintels that extend around these sidelights and the door form another scalloped pattern against the upper façade's brick wall, which has a diamond pattern. The door is a stained hardwood, paneled round arched door with the upper two panels following the arch. There is a round arched, diamond patterned leaded and stained glass light in the upper half of the door between the recessed panels. There is a painted wooden round arch storm door with a round arched light in the upper third of the door (this appears to be original to the house). Immediately surrounding the doorway is a brick surround, recessed in from the limestone walls. There is a shallow red tile stoop without steps. The eastern two bays of the main façade are split by a massive, elaborate end wall chimney. The first floor of the chimney is rock faced, ashlar limestone with a round arched niche slightly recessed in this section. The middle section is tiered in near the eave of the house with stone quoining on the brick shaft, and the top third is brick, laid to look like three angled flues and this is capped with the original, decorative, paired chimney pots. On both sides of the chimney, there are sashed windows that have similar stone quoining and lintels as the double window of the cross gabled bay, but the westernmost bay is only one story tall with its side gabled roof merging with the main side gable 1.5 story roof. The hipped roof, screened porch to the west has brick corner piers and shallow walls below the openings, as well as extending the limestone foundation from the main house. The screened opening on the façade is divided into three vertical panels with a transom effect created by the horizontal support. The west elevation is treated similarly but with four vertical panels. Above the porch, the west elevation of the one story section has a small round arched window with brick arched lintel with stone bases and keystone. Behind, there is another brick end wall chimney on the west elevation of the 1.5 story section. The east end of the house has a one story hipped roof, brick wing with paired 1x1 sashed windows on each elevation above the paired basement windows visible in the stone foundation. On the second floor of the main house, west elevation, there is another paired window. Facing the back, at this end of the main house is a small, screened, brick porch with a hipped roof. It also is screened with the same framing as the west side porch, but it has brick half wall railings and a screen door and steps down into the yard. Above, there is a gabled dormer projecting from the main house and facing the back yard that has paired sashed windows, the same wood clapboard in the gable end, and slate side walls as well as roof. To the west, there is a large gabled 1.5 story bay (cross gable) that incorporates the two car basement level garage that is entered from the backyard. In addition, the house was built as fireproof construction, a feature found on several homes in the community, especially where there were basement level garages, but this fireproofing extended to all walls of the house, usually by using masonry tile interior walls. The garage has a new door and the windows have aluminum combination storm windows, but otherwise this house appears to have had no alterations.

43. History and Significance

The building permit for this house was issued on May 24, 1932 to Chris Spoeneman, who at the time was a carpentry contractor and it is possible that he helped build his new home, although there is no documentation to this. He and his wife, Anna, would live in the house for many years, at least through 1955 when city directory research ended. Beginning in 1943, he was identified as working with W & S Bowling Recreation in St. Louis. This is one of the earliest and nicest examples of Tudor Revival cottages in Pasadena Hills, with many distinctive features, especially the varied rooflines and side wing specialty rooms. It also has an elaborate, massive, front end wall chimney and battered stone walls on the entry vestibule. The scalloped verge board and the series of round arched stone lintels of this vestibule serve to further highlight the entry. The diamond paned sashed windows and the scattered stone detailing, as well as the fact that the screened porches are still original and not enclosed, help add to the charm of this house. The two car basement level garage is a feature that is often found in Pasadena Hills, where garages were placed discretely at the back of the property, ironically, given the importance of the automobile in the development of this commuter suburb.

44. Description of Environment and Outbuildings

The property is actually a double lot with the house in the east corner lot facing northeast at the T intersection with Cardwell Drive. The lot to the west forms a large side yard for the property. There is a concrete sidewalk that angles from the vestibule stoop to the street near the corner with Cardwell. The driveway extends from the west side of the property down into the backyard and basement level garage entry.

45. Sources of Information

Trustees of Pasadena Hills, Saint Louis County, Missouri. Building Permit, May 24, 1932.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

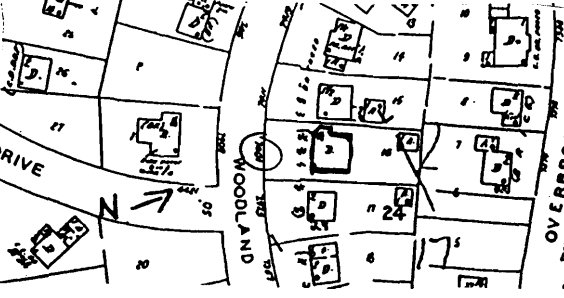
Sept. 2002

49. Revision Dates

7400 WOODLAND WAY
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0371		4. Present Name(s) Boyd, Aaron D. & Thelma R., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Sties, Russell F. and Estelle D., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7401 Woodland Way -- Pt 15, Lot 16, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1934	
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Boyd, Aaron D. & Thelma R.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Cross Gable - Gray Slate	
		33. No. of Bays FRONT 1+3 SIDE	
		34. Wall Treatment Brick & wood siding	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Very Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, multihued red brick house has wide stained wood clapboards in the gable ends and cladding the dormers. The roof is a multihued gray slate and the house retains its original copper gutters and downspouts. The foundation is raised, and made of rock faced, ashlar limestone that extends up at the corners of the house. Scattered limestone also decorates the façade around windows and on the chimney. Single rock faced stone lintels are used, at least on the first floor façade windows. The façade itself is divided into four vertical divisions, with the center two bays and front end wall chimney being a portion of the massive cross gable. The bay on the west end is only one story, and side gabled, with its roof merging with the 1.5 story side gable roof behind. It has a 6 x 1 wood sashed window and is separated from the remaining bays by the massive chimney. This brick chimney has a long shaft, whose face merges with the façade of the cross gable. There is a decorative iron tie rod on the shaft. The top of the shaft is corbelled with a tapered, rock faced stone ledge to separate it from the paired brick chimney flues with their brick banded caps. The 1.5 story cross gable has wood clapboard in the gable end to the lintel of the paired, leaded and stained glass casement windows. Below, offset to the west is another 6 x 1 wood sashed window. On the east side of this cross gable is the projecting, one story, gabled, vestibule with its recessed, round arched door opening. The doorway and lower wall of the vestibule are irregularly clad in rock faced ashlar limestone with a quoin affect around the arch. The door itself is a stained hardwood plank door with a stained glass round arched window covered by wrought iron grill. An aluminum combination storm and screen door has been added to protect the door. To either side of the stone quoining are small porch lights, which appear original to the house and above the large keystone is a narrow slit, round arched opening. The concrete porch stoop has brick step up to the door and the ground has been mounded to the top of the stoop on each side. The east bay has a gabled dormer on the intersecting side gabled 1.5 story roof. This dormer, clad in the same wood siding, also has a pair of leaded and stained glass casement windows. On the first floor there are paired 6 x 1 wood sashed windows (with a soldier course brick lintel). The east elevation has several 6x1 wood sashed windows as well as a paired casement window and the intersecting one story cross gable that faces the back is visible on this side. On the west side, the one story wing at the front has a shorter window that is disguised by the aluminum awning added to the house. Above there is a sashed window in the gable end, which is clad in wood clapboard. There is a 1.5 story intersecting gable behind this wing that faces west and another one story gable that faces the back that has another window covered with an awning. Behind, there is a framed porch, enclosed with jalousie windows. There is a two car, detached, end gabled, matching brick and slate roofed garage with vinyl siding in the gable end and a new overhead door. Other than the aluminum storm windows and doors on the main house, as well as the jalousie windows on the porch, the house appears to have had no exterior alterations, although it is possible that the wood siding is a more recent replacement of a similar material.

43. History and Significance

The assessor estimated the year built as 1934 and the house does not appear until 1936 in the city directory, which probably indicates that the date is fairly accurate. It was the home of Russell F. and Estelle D. Sties. He was a leather salesman or broker, who apparently retired by 1949 and died before 1953, but his widow continued to live in the house. In 1949, Alan Steis was also identified in the city directory, indicating either an adult son or other adult relative. The house is a good example of the Tudor Revival cottages that characterize much of Pasadena Hills. It has an extremely complex set of intersecting and tiered gables and utilizes brick highlighted with stone and wood siding to provide visual texture to the walls. In addition, the deeply recessed, round arched entry and the paired flues on the massive front wall chimney are indicative of Tudor Revival designs.

44. Description of Environment and Outbuildings

The lot is basically level, although it slopes slightly down in the back and the ground is mounded up on the façade to elevate it from the street and to camouflage the driveway cut into the west side by the house to access the detached, two car, end gabled garage. There is also a concrete sidewalk from the front entry stoop to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

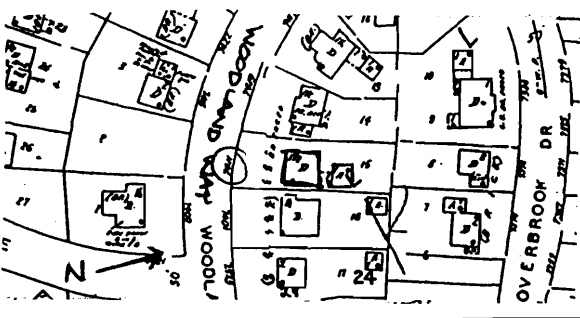
48. Date 49. Revision Dates

Sept. 2002

7401 WOODLAND WAY
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLA5039 -0372		4. Present Name(s) Moore, Charles, House	
2. County St. Louis		5. Other Name(s) HISTORIC: McGinnis, Michael J., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7411 Woodland Way -- Pt. 15, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1953-54	
8. Site Plan with North Arrow		18. Style or Design Minimal Traditional	
		19. Architect or Engineer Julius E. Tarling	
		20. Contractor or Builder	
		21. Original Use, if apparent Residence	
		22. Present Use Residence	
9. Coordinates Lat Long		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		24. Owner's Name and Address, if known Moore, Charles	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		28. No. of Stories 1.5	
15. Name of Established District Pasadena Hills Historic District		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block brick faced	
		32. Roof Type, Material cross gable, comp.shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brick, Vinyl Siding on Dormer	
		35. Plan Shape hyphenated rectangl	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underwav? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, red and tan raked brick house has a side gabled, multihued slate roof with aluminum gutters and a cross gable on the west half of the façade. On the east side, there is a gabled dormer that is now clad in vinyl siding. In both, there is a 6 x 6 wood sashed window. On the first floor there are windows on either side of the recessed entry. These windows both have soldier course lintels with projecting brick caps. The window in the west bay is shuttered and is paired 6x9 wood sashed windows. The window on the east is a triple window with an 8 x 12 wood sashed window flanked by 4x6 wood sashed windows. The entry opening is flanked by pilaster strips supporting a simple entablature and the side walls of the recessed opening are paneled wood. The door is a six panel, painted hardwood door that has two leaded glass lights in the middle panels. There is a simple, low concrete stoop with one step that retains its iron railing (a rarity in Pasadena Hills). The windows on the west side are 6 x6 windows, except for the glass block bathroom window. The windows on the east side of the house match the patterning on the façade, with raised meeting rails on the first floor windows. There is a brick end wall chimney on the east elevation that has a corbelled cap and paired, chimney pots. Behind the main house, along the east end is an intersecting breezeway which has a slightly higher concrete foundation (no basement) and brick walls, but is mostly jalousie glass windows. This breezeway connects to the two car, brick, gabled garage which faces west with vinyl siding in the gable end above the original wood paneled door. There is a glass block window facing east. Because this house is a post-World War II era home, many of the details that would be modifications on older homes are probably original features on this home, such as the jalousie windows. The full view aluminum storm door, the aluminum combination storm windows and the use of vinyl siding are probably alterations, but they only minimally impact the appearance of the historic building.

43. History and Significance

Architect Julius E. Tarling completed the design of this house in 1953 and the plans are on file in city hall. He designed many of the homes in Pasadena Hills. This is a good example of the increasingly popular Minimal Traditional style, a more horizontal form that had precedents in the Tudor Revival and Cape Cod styles, but was influenced by modern trends that also resulted in the Ranch style. This example is nicely composed with a large cross gable and gabled dormer on the façade balanced on either side of the deeply recessed entry. The house was built for Michael J. McGinnis, who is first listed in the city directory in 1955, but it is likely that the house was finished in 1954, given the history of the development in Pasadena Hills and the housing boom after World War II, despite the fact that the assessor estimates the year built as 1955.

44. Description of Environment and Outbuildings

This lot faces southwest and is basically left and there is a concrete driveway along the west side of the lot that leads back to the garage which is attached to the house by a breezeway and faces west in the backyard. There is a concrete sidewalk from the front entry, parallel to the façade, to the driveway.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

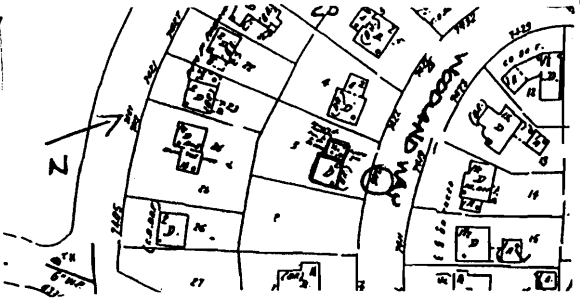
Sept. 2002

49. Revision Dates

7411 WOODLAND WAY
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 -0373		4. Present Name(s) Lilienkamp, Ralph H. & Patsy J., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Menges, John F. and Ruth V., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7416 Woodland Way -- Lot 3, block 23		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1940	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Colonial Revival-Georgian Revival	30. Foundation Material Concrete under brick
		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
9. Coordinates Lat Long		20. Contractor or Builder	32. Roof Type, Material Side Gable - Gray Slate
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 3+2 SIDE
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick & vinyl siding
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rectangular +wing
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Lilienkamp, Ralph H. & Patsy J.	36. Changes (explain in #47) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Good
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, side gabled, red-brown brick house has a gray and red slate roof with flanking end wall brick chimneys that have corbelled caps with newer metal caps. The house retains its original copper gutters and has a brick dentil course under the gutters. The main façade is divided into three vertical bays with the entry in the center bay and there is a two story side gabled wing on the west end that has a shorter roof ridge and is stepped back slightly from the main façade. The main façade has 8 x 8 wood sashed windows with shutters in each outer bay on the second floor as well as on the first floor of the east bay. The center window on the second floor above the entry, as well as the two windows of the first floor porch/garage wing on the west, are 6 x 6 wood sashed windows with shutters. To the west of the entry, on the first floor is a canted bay window with a standing seam metal roof that has 4 x 4 wood sashed windows flanking an 8 x 8 wood sashed window. Below these windows there is wide, wood clapboard siding down to the concrete foundation. The entry has slender, square, stylized Doric columns supporting the shallow entablature and pediment, both of which have dentil molding. Eight light sidelights with recessed panels below flank the 6 panel, painted hardwood door. There is a shallow concrete slab stoop under the columns with slab extensions on either side of the sidewalk in front of the columns. The second floor of the garage/garage wing is framed with 6 jalousie windows on the façade and 4 on the west end, separated only in the middle of the façade and the corners by square wood posts similar to the front entry columns above the brick half walls which are continuous with the first floor brick walls. The gable end is clad in vinyl siding, as is the gable end of the east elevation. The east elevation has multipaned sashed windows, vertically aligned on either side of the chimney. The sun porch on the second floor and its gabled roof extended only halfway back the west elevation and the back half of this elevation has the continuous brick wall on the first floor only (so it appears shorter because of the front's use of brick on the porch railings). Both first floor sections of this wing are actually a two car, attached garage with its original overhead door facing the back yard. This back section apparently was originally a flat roof and was only one story tall (as shown on the fire insurance maps), but a shed roofed, vinyl clad, framed addition has been added in recent years. Although this addition does not drastically impact the historic integrity of the building, because it is only visible from a steep angle along the west end, it would have been better if it had been recessed slightly or framed differently to minimize the impact of the large wall area. The jalousie windows on the sun porch are probably also a later alteration, given the material, but they do retain the original openings and some of the transparency of this sun porch.

43. History and Significance

Built in 1940, this was originally the home of John F. and Ruth V. Menges. He worked as an insurance broker for Mutual Life Insurance Company of New York initially, but later for Prudential Insurance Company of America as a division manager. The Menges family continued to live in this house for many years, at least through 1955 when city directory research ended. He was obviously quite successful in his business since this is one of the larger examples of the Colonial Revival two story side gabled subtype known as Georgian Revival. It has the distinctive vertically aligned divisions of the façade, a pedimented entry (in this case with actual columns), a bay window, multipaned windows, shutters, dentil course under the eaves, flanking end wall chimneys, and even a two story sun porch wing that incorporates an attached garage. As was common in Pasadena Hills, the automobile was an important part of the commuter suburb's development, but residents preferred the streetscape not be impacted by the prominent placement of garages and most garages, like this, are relegated to the back of the house. In this case, the entry is on the back side of the house and the façade is treated with shuttered, multipaned windows as part of the overall house design.

44. Description of Environment and Outbuildings

This lot faces northeast onto Woodland Way and there is a one car driveway along the west end of the house that extends back to provide access to the attached garage on the west end of the house, facing the backyard. There is also a concrete sidewalk leading up to the front entry that curves out to the end of the driveway and street. The lot is basically level although the ground is mounded to visually elevate the façade from the street and driveway, minimizing the visibility of the driveway from the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

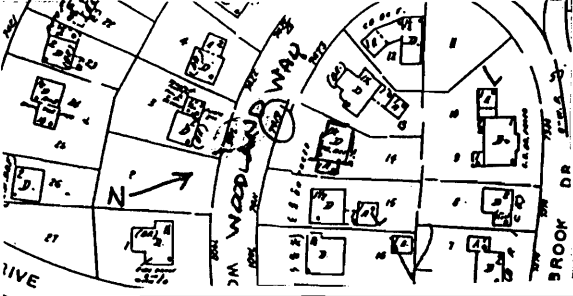
Sept. 2002

49. Revision Dates

7416 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 -0374		4. Present Name(s) Stanford, Glen A. & Shelia Y., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Bruewer, Frank H. and Laura, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7419 Woodland Way -- Lot 14, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1950	
8. Site Plan with North Arrow		18. Style or Design Minimal Traditional	
		19. Architect or Engineer James S. Van Deusen	
		20. Contractor or Builder	
9. Coordinates Lat Long		21. Original Use, if apparent Residence	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		22. Present Use Residence	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Stanford, Glen A. & Shelia Y.	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
15. Name of Established District Pasadena Hills Historic District		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block brick faced	
		32. Roof Type, Material cross gable, slate, now comp. shingl	
		33. No. of Bays FRONT 2 SIDE	
		34. Wall Treatment Brick and Vinyl Siding	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, multicolored (red, purple, tan) textured brick house has a side gabled, gray and red composition shingle roof that is intersected on the east end by a massive cross gable for the 1.5 story slightly projecting bay that spans more than half of the main façade. To the west, there is a 4 x 1 wood sashed window with wood paneled shutters (the lights on all windows are horizontal, not vertical) and the fascia board under the painted gutters serves as a lintel for this window. In the gabled bay there is another shuttered, 4 x 1 wood sashed window and the gable end is clad in vinyl siding, that replaced the original clapboard (and unfortunately covered the window frame, changing the proportion of wall to window somewhat). On the first floor, the gabled bay has the recessed entry on the west side and a large triple window with a 4 x 6 wood sashed window flanked by fixed 5 light windows. The entry is recessed with the sides canted to form a wider opening and they are clad with wood panels (one long above a short panel), a design that is mirrored on the 2 panel, painted hardwood door (with metal kickplate). Above the entry, there is a simple porch light that appears to be the original light. The concrete floor of the recessed entry forms the top step above the concrete slab stoop that only has one step to the sidewalk that quickly turns toward the driveway. On the east end of the house is an attached, side gabled, one story, one car brick garage and between the garage and main house is a very wide, brick chimney with a brick banded top and two metal capped chimney pots. The façade of the garage wing is slightly recessed from the main house façade and there is a broad header board above the overhead door, which may be original. The east elevation of the garage has another 4 x 4 wood sashed window with the gable end clad in vinyl siding. The gable end on the west elevation is also clad in vinyl and has another 4 x 4 wood sashed window on the second floor centered above two additional 4 x 4 wood sashed windows on the first floor (which are aligned with the basement windows in the exposed concrete foundation). On the back of the house is a wood framed porch that now serves as a family room with jalousie windows. This back wing is original to the house, but the enclosure was finished after 1967 when the fire insurance map was completed. Although vinyl siding (wider width than normal) covers the original siding, it seems to have been selected to match the original clapboard width and carefully applied to minimize the use of J-channels and seams, only visually impacting the design where it covers the original window frames on the second floor. The house has unusual horizontal panes of glass and even retains the original shutters and door. Even the composition shingle roof is a recent replacement of what was originally a composition shingle roof (according to the building permit). The only other probable alteration is the painted aluminum storm windows, which do not negatively impact the appearance of the house because they are painted and the meeting rails match those of the windows. ,

43. History and Significance

Built in 1950 as the home of an electrotypist for the R & P Electrotype Company of St. Louis, Frank H. Bruewer (or Bruer) and his wife, Laura. The designs were prepared by James S. Van Deusen, an architect, and the contracting business, Olga S. Van Deusen, Inc., served as the builder. Both business had the same address, 8757 Riverview Blvd., on the building permit, so it appears that this was a design build firm with Olga S. Van Deusen acting as head of the construction portion of the business. In fact, Frank Bruewer's address is listed on the permits as just down the street, at 8832 Riverview Blvd. The permit estimated the cost of the 6 room house as \$18,000.00 in 1950. This Minimal Traditional design is characteristic of much of the post-World War II housing in Pasadena Hills and throughout the Midwest, when the housing boom created a demand for quickly finishing houses. The style borrowed heavily from the Tudor Revival cottages and Cape Cod house designs that had already been popular in the neighborhood, but were much simpler and more horizontal in form, in part influenced by the increasingly popular Ranch style. This particular example is especially noteworthy for the horizontal lights in the windows, a treatment that became popular after World War II.

44. Description of Environment and Outbuildings

The lot faces southwest onto Woodland Way and is basically level, although the ground is mounded up to elevate the façade. There is a one car, concrete driveway from the street to the façade door of the attached garage. There is a concrete sidewalk from the front entry to the top of the driveway.

45. Sources of Information

Building Commission of the Village of Pasadena Hills, Saint Louis County, Missouri.
Application for Building Permit, July 26, 1950.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

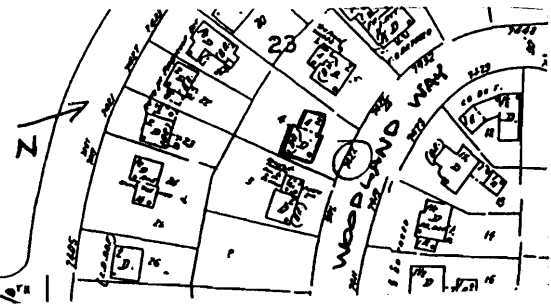
Sept. 2002

49. Revision Dates

7419 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLA5039 - 0375		4. Present Name(s) Taylor, Althea, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Roper, Marilyn (Guy) and Clara, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7422 Woodland Way -- Lot 4, Block 23		16. Thematic Category	28. No. of Stories 2
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Tudor Revival	30. Foundation Material Concrete under Brick
9. Coordinates Lat Long		19. Architect or Engineer	31. Wall Construction load bearing masonry-brick
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material Cross Gable - Gray Slate
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 5 SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick and Wood Clapboard
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape L-shaped +wing
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Taylor, Althea	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, multicolored brick house primarily has a side gabled, gray and red slate roof, but there is a large, two story, projecting bay on the middle of the façade that creates a cross gable. The gutters are recent replacement aluminum (painted) gutters and the concrete foundation is not visible above ground since the brick veneer continues to the ground. The façade is divided into 5 vertical bays with the west two being part of a side gabled, slightly shorter, two story wing that includes the two car garage on the first floor (the original wood overhead door opens to the back of the house). The main entry is in the middle of the remaining three bays, a narrow vertical bay that is capped by a gable through the eaves which is clad with wide wood clapboard. The entry appears to be a segmental arched opening that is surrounded by dressed limestone with the doorway slightly recessed, but the top of this opening is hidden behind the half round canvas awning that has been added recently. The door is rectangular, stained hardwood, plank door with a small rectangular beveled and leaded glass window in the upper portion of the door. There is a simple slab stoop without a step. Above the door is the original porch lantern and above that is an iron, faux balcony below the second floor window. This window is a 2 x 2 wood sashed window that, like the other sashed windows on the house, has horizontal muntins rather than vertical. The bay on the east end of the façade has paired 2 x 2 wood sashed windows above a triple window unit that combines a fixed light flanked by 2 x 3 wood sashed windows, which has a canvas awning that has been added so that the red tile lintel is not visible. Both the east and entry bays have corbelled brick banding under the eaves. The projecting gabled bay as a narrow, rectangular, louvered attic vent and dressed stones forming gable end returns. There are paired 2 x 2 wood sashed windows with a red tile lintel on the second floor above a triple window that has red tile on the sides and as a lintel (although hidden by the canvas awning). The windows are 2 x 2 wood sashed windows. The side gabled wing that makes up the west two bays has 2 x 2 wood sashed windows on both levels of the bay next to the gabled bay and also has a matching window on the first floor of the west bay. Both of the first floor windows have red tile lintels. The upper level of the west bay is part of an original sun porch, that was identified as enclosed even on the 1967 fire insurance map. It appears that is now enclosed with jalousie windows (3 on the façade and 6 on the west side). The gable end is wood clapboard and the brick wall below the jalousie windows has no penetrations. The east elevation has a end wall brick chimney with a tapered side with dressed stone at each corner. There are additional wood sashed windows on this level and the gable end is wood clapboard. Besides the awnings and jalousie windows, the only alterations are the aluminum combination storm windows and storm door.

43. History and Significance

Built in 1938 as the home of long distance hauler (trucker) Marilyn (Guy) and Clara Roper, they would continue to live in the house as his business grew into Husmann and Roper Freight Lines, of which he became the vice president. They are listed in the city directory through 1949 and with the publication of the next directory, in 1953, the house is now occupied by William R. Fox. However, he was a short term occupant, because the 1955 directory lists physician, Dr. C. Rush and Freeda McAdam. The house is one of the more reserved examples of a larger Tudor Revival style house in Pasadena Hills, which still utilizes an unusual multicolored brick, contrasting wood clapboards and stone surrounding the entry, as well as the steeply pitched slate roof with the variety of intersecting gables and the asymmetrical design to the façade. However, the stone around the entry is a dressed limestone, rather than the more common rock faced ashlar limestone and the windows have horizontal muntins, rather than the more characteristic multipaned and leaded glass windows.

44. Description of Environment and Outbuildings

The lot faces northeast onto Woodland Way and has an attached garage that opens onto the backyard and is accessed by the one car concrete driveway on the west side of the house. There is also straight concrete sidewalk from the front entry to the street.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

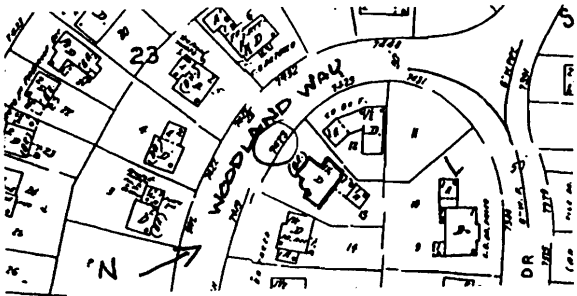
Sept. 2002

49. Revision Dates

7422 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS0351 -0376		4. Present Name(s) Busch, Theodore C. & Lisa H., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Dreibholz, Otto W.. And Ophelia M., House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7423 Woodland Way -- Lot 13, Block 24		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1937	
8. Site Plan with North Arrow 		18. Style or Design French Eclectic	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Busch, Theodore C. & Lisa H.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Gable&conical, slate	
		33. No. of Bays FRONT 3 SIDE 5	
		34. Wall Treatment brick, stone details	
		35. Plan Shape irregular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, cross gabled, brick house basically has a T-shaped plan with a wing on the back created by an breezeway and two car end gabled garage, but there is a 1 story conical roofed, round vestibule on the interior corner of the that faces south as the main entry and focal point of the design. The roof is a blue gray slate and the gutters appear to be copper (painted white). There are two end wall brick chimneys that have brick banded caps, one at each end of the arms of the T. The brick on this house is a variety of dark reds with random bricks laid in a protruding pattern as well as into dentil courses under the gutter of the tower and at the door's transom line. The house has a rock faced, ashlar limestone foundation and scattered rock faced limestone blocks highlight the tower walls and chimneys, and are stacked up from the foundation on either side of the entry door and at the corners of the house. The most unusual stone is on the corner to the west of the tower where narrow blocks are stacked in a corbel pattern to support an inverted wing wall on the gable end. The tower has a conical finial and a miniature gabled wall dormer with a tiny rectangular window recessed in the dormer. The entry door is a half round opening with a half round, heavy wood plank door with leaded and stained glass window and hand forged appearance to the latch. The door has been painted beige and there is now a wooden storm door with a rectangular light. There is a simple concrete slab stoop. To the west of the doorway is a rectangular, leaded and stained glass window matching the design of the large stained glass window on the west elevation (base of the leg of the T). To the east of the tower is a 6 x 6 wood sashed window and to the west, on the south wall of the leg of the T is a larger, 8 x 8 wood sashed window. The west elevation of this leg of the T has a highly unusual bracketed, wood framed, attic vent extension that almost has the appearance of a built-in birdhouse at the gable ridge. The massive window on this elevation has a scalloped wood beam lintel and heavy muntin bars forming a 9 light stained glass window with each light divided into a grid of 9 primary paints and having a random design of ships, mountains, sun, village scenes, as well as curved shapes. To the north of this leg of the T, the west wall has paired 6 x 6 wood sashed windows as does the south elevation of the arm of the T (west of the chimney). On the second floor of this elevation is a 6 x 6 wood sashed window as well. There is a side entry to the house through the breezeway and the end gabled, two car, brick garage has wavy butt siding in the gable end, but has a replacement fiberglass paneled door.

43. History and Significance

Built in 1937, this was initially the home of Otto W. and Ophelia M. Dreibholz, although she was not listed until 1939 in the city directory. He was an office manager in St. Louis and she was a clerk with the U.S. Treasury in St. Louis. They continued to live in the house until the eve of World War II when Stanley A. and Stella E. Meyer moved into the house. He was a merchandise manager for S. S. Kresge Company. Between the publication of the 1946 and 1949 directory, Lancelot L. and Marguerite Lueking moved into the house. He was a supervisor for A. T. & T. The Luekings continued to live in the house at least through 1955 when city directory research ended. This is one of the few examples of the French Eclectic style in Pasadena Hills where the Tudor Revival and Georgian Revival style predominate. The French Eclectic style grew out of the same movement as Tudor Revival, but instead of drawing upon English country homes for precedents, the French Eclectic style drew upon French examples and became especially popular between World War I and II when soldiers returning from war in France brought their appreciation of the style back home. The style, as seen in this house, shares many features with the Tudor Revival style (steeply pitched roofs, mixture of brick and stone detailing, asymmetry of form, multitude of window patterns, and minimal entries), but the French Eclectic style is associated with the round entry towers nestled in interior corners, the distinctive feature on this house.

44. Description of Environment and Outbuildings

The lot is basically flat and faces westerly onto Woodland Way with the doorway facing south. Along the south property line is a one car driveway that extends back to the two car garage which is attached by a breezeway to the back of the house and faces south. There is also a tiered, concrete sidewalk that extends from the entry south to the corner of the property at the street edge.

45. Sources of Information

46. Prepared by / Organization

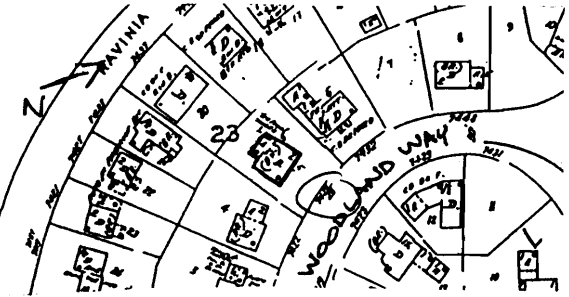
Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates
Sept. 2002

7423 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0377		4. Present Name(s) Hoffmann, David A., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Stuhlman, Conrad F. and Gladys, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7428 Woodland Way -- Lot 5, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1938	
8. Site Plan with North Arrow 		18. Style or Design Colonial Revival-Georgian Revival	
9. Coordinates Lat Long		19. Architect or Engineer F. Ray Leimkuehler	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Hoffmann, David A.	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material gable, slate, now comp. shingles	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment brick w/limestone, vinyl	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 2 story, side gabled, dark red brick house has flanking brick end wall chimneys with narrow brick band caps and replacement metal chimney caps. The roof is now a gray composition shingle, but it was originally slate and there is a shallow hipped roof over the slightly projecting entry bay, the middle of the three bays on the façade. There is a leaded and beveled glass window on the second floor that is divided by heavy muntin bars into 6 lights (one horizontal bar creates a transom affect and two vertical bars create the appearance of narrow sidelights). The second floor wall of this bay is laid in an half-timbered brick pattern and the corners of this bay are outlined by the rowlock bricks that form simple pilaster strips. The doorway is recessed in a rectangular opening with an elaborately carved wood lintel that has an owl carving above it. It appears that the door used to have sidelights, but these have been replaced with boards and flanking lantern porch lights. The door is a painted 2 panel hardwood door with the top panel being rectangular with a small rectangular, leaded glass window near the top and the bottom panel being a shorter panel with clipped corners, but this is not the original door treatment (a glass door with sidelights), according to the current owners. There is a painted, aluminum storm door and a flagstone walk. There is a projecting brick stringcourse that forms the lintels for second floor windows. Most second floor windows are 8 x 8 wood sashed windows and the two in the outer bays of the façade are shuttered. Like the shutters on the first floor window, these are wood panel shutters. Windows on the first floor are generally 8 x 12 wood sashed windows, but there is a canted bay window on the east façade bay that has brick below the windows to the foundation and a composition shingle roof. This bay window has an 8 x 12 wood sashed window flanked by 4 x 6 windows. There are quarter-round, louvered, attic vents on either side of the chimney. A recent addition has extended the original basement level garage opening out from the main elevation wall of the of the west elevation (and apparently added an additional stall to create a two bay garage with a first floor addition that wraps behind the chimney and onto the back elevation. This addition is clad in vinyl siding and has a rooftop deck, but only extends out the width of the door on the façade and utilized multipaned windows and door to blend well with the original house design. The historic façade has had some alterations, most notably the entry door and sidelights removal by the second owners. It also has aluminum storm door and combination storm windows as well as the replacement gutters and roof. In general, this property retains most of its historic exterior features, especially those that distinguish it as a Georgian Revival design and the unique carvings of the stool and man, for the family name of Stuhlman, and a carving of an owl as well.

43. History and Significance

Built in 1938 based upon plans designed by F. Ray Leimkuehler, who would serve as the architect for the City of St. Louis Public Schools in the 1950s, this is the only known example of his work in Pasadena Hills. It was designed for Mrs. Conrad F. Stuhlman, according to the plans. Her husband, Conrad F. Stuhlman was then the advertising manager for Krupnick and Associates. Unique to the design, above the door are carvings in cypress of a stool, a man, and an owl, with the stool and man being a rebus for the family name. The couple continued to live in the house at least through 1955 when city directory research ended, by which time he is now the sales manager for Western Printing and Lithography Company. The current owners are only the third owners of this house today. This home was identified as fireproof construction, one of several in the community, which usually meant that it not only had a concrete foundation, but that the garage was fireproofed from the rest of the house and that interior walls were made of masonry as well as the outside walls. It is a nice example of the Colonial Revival variant, Georgian Revival, but it has some unusual features beyond the characteristic side gable, two story, 3 bay appearance and multipaned windows. The elaborate wood carved lintels and the mahogany staircase are especially distinctive features. Two story brick piers framing the entry bay with decorative brickwork above it, features that seem to borrow from the Tudor Revival and modernistic influences, but unfortunately, the second owners took the glass door and sidelights out of the house..

44. Description of Environment and Outbuildings

The lot faces northeast onto Woodland Way with the driveway cut deeply into the property, which slopes downhill toward the back as well. The concrete driveway extends around to the side entry, basement level garage doors. There is a complex system of rock faced ashlar limestone retaining walls and steps separating the upper portion of the driveway from the higher ground and beds on the northeast corner of the façade. The flagstone walk connects via steps from the driveway to the front entry stoop.

45. Sources of Information

Hoffmann, David. Personal Collection. Pasadena Hills, Missouri. "Residence for Mrs. Conrad F. Stuhlman. Lot 5, Block 23, Pasadena Hill, St. Louis County, Mo." by F. Ray Leimkuehler, March 5, 1938; Hoffmann, David., Interview with Karen Bode Baxter, April 2002 in Pasadena Hills, Missouri.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

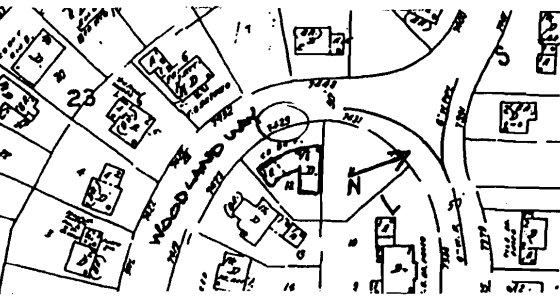
Sept. 2002

49. Revision Dates

7428 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS035 - 0378		4. Present Name(s) Leslie, Oliver S. & Marian P., House	
2. County St. Louis		5. Other Name(s) HISTORIC:	
3. Location of Negatives Missouri Historic Preservation Office		16. Thematic Category	
6. Specific Location 7429 Woodland Way -- Lot 12, Block 24		17. Date(s) or Period 1957	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		18. Style or Design Minimal Traditional	
8. Site Plan with North Arrow 		19. Architect or Engineer Julius E. Tarling	
9. Coordinates Lat Long		20. Contractor or Builder	
10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Leslie, Oliver S. & Marian P.	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 1.5	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction concrete block brick faced	
		32. Roof Type, Material cross gable, comp.shingles	
		33. No. of Bays FRONT 4 SIDE	
		34. Wall Treatment Brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #47) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/>	
		37. Condition Interior Exterior Excellent	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, cross gabled, brown and beige brick veneer (over concrete block) house has a 1 story, side gabled wing on the west side that is angled slightly and connects continuously to a slightly more angled two bay garage. The 1.5 story section of the house extends deeply into the lot along the north side of the property and has a steeply pitched cross gabled roof, but there is a flat roof over the entry stoop on the west end of this section, creating the middle bay of the house section. The roof is composition shingle, apparently the original material as well, and it appears that the gutters are the original copper gutters (painted). There is one 2 x 1 wood sashed window on the second floor and two similar windows with shutters on the first floor. All windows on the house have horizontal muntins and panes of glass. The flat roof on the entry porch is supported by to wrought iron corner posts, which appear to be original to the period of construction. They rest on top of a low concrete slab that has one step down to the sidewalk. The entry door is a three horizontal panel, painted wood door. The side gabled bay to the west has a 9 light picture window that is separated by heavy muntins and has decorative shutters. The two bay garage doors on the west end are original wood paneled doors with horizontal panels that have paired stylized medallions (Xs over diamonds). The concrete foundation is barely visible at the base of the façade, but there are several glass block basement windows visible in the north section. There is a broad, brick, interior chimney near the north end of the house (north of the cross gabled ridge). On the north elevation there is another sashed second floor window as well as paired and single window units on the first floor. There is a gabled dormer, behind the cross gable, in what is basically a one story, intersecting gabled wing. On the side of the house there is a basement level breezeway. The only alterations to the façade appear to be the aluminum storm windows and storm door.

43. History and Significance

Although the plans on file in city hall were completed in 1937 by Julius E. Tarling, the assessor's estimate of the year built as 1957 is probably accurate (and the date on the plans was a misinterpreted 5 for a 3) since the house does not appear in the city directories through 1955. Tarling was a very popular architect in Pasadena Hills' development, both before and after World War II and the Minimal Traditional styling of this house and its unusual faceted façade with a two bay garage incorporated into the façade is indicative of a later design, one that was strongly influenced by the rambling Ranch style, more than the earlier precedents of Tudor Revival and Colonial Revival. In fact, only the varied roofline owes its influence to earlier Tudor Revival designs and only the shuttered windows seem to reference the Colonial Revival style. The long, rambling horizontal form and even the horizontal panes of glass in the windows are popular post-war, modernistic influences. Although this house is less than 50 years old, it is a contributing building in the historic district since it is one of the later Tarling designs and one of the most distinctive examples of Minimal Traditional styling in Pasadena Hills.

44. Description of Environment and Outbuildings

This lot is at the top of the curve where this block curves sharply to become part of Overbrook Drive and the entry faces northwest in this pie wedge lot. There is a two car concrete driveway (a recent replacement) that extends from the façade garage doors to the street. There is also a concrete sidewalk from the front entry to the street.

45. Sources of Information

City of Pasadena Hills, St. Louis County, Missouri. Blueprint Inventory.

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

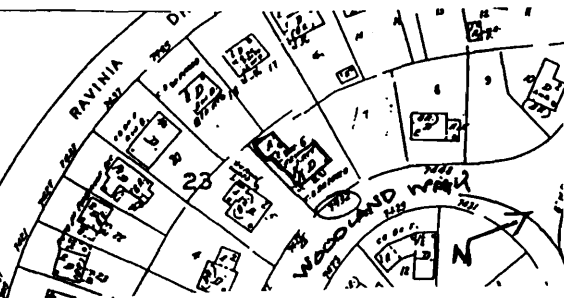
Sept. 2002

49. Revision Dates

7429 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS039 - 0379		4. Present Name(s) Williams, James R. & Arlene, House	
2. County St. Louis		5. Other Name(s) HISTORIC: Shade, Eugene R. and Floss, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7432 Woodland Way -- Lot 6, Block 23		16. Thematic Category	28. No. of Stories 1.5
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1950-1954	29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow		18. Style or Design Minimal Traditional	30. Foundation Material Concrete
		19. Architect or Engineer	31. Wall Construction concrete block brick faced
9. Coordinates Lat Long		20. Contractor or Builder	32. Roof Type, Material Cross Gable - comp.shingles
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		21. Original Use, if apparent Residence	33. No. of Bays FRONT 2 SIDE
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	34. Wall Treatment Brick; aluminum siding
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape asymmetrical
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		24. Owner's Name and Address, if known Williams, James R. & Arlene	36. ADDITION <input type="checkbox"/> Changes (explain in #47) ALTERED <input checked="" type="checkbox"/>
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior Exterior Excellent
15. Name of Established District Pasadena Hills Historic District		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd.



HISTORIC INVENTORY

42. Further Description of Important Features

This 1.5 story, side gabled, red and tan brick house has numerous intersecting gables, including the massive gable that spans half of the façade, which is overlapped by a small, one story, projecting, gable over the entry porch. To the north, there is a gabled dormer centered in that half of the façade above flanking, shuttered, 2 x 2 wood sashed windows on the first floor. Both the gable end window and the dormer window are also shuttered 2 x 2 wood sashed windows and, like others on the house, the muntins are horizontal, not vertical as was common in earlier generations of housing. There is a large picture window flanked by narrow 2 x 2 wood sashed windows and shutters on the south end of the south bay. The entry door is a three panel (horizontal), painted wood door and the porch roof is supported by decorative iron corner supports (that are original to the house) that rest on a concrete slab porch floor. There is a single window on the second floor above two windows on the first floor on the north end of the house, all 2 x 2 wood sashed windows. On the south end of the house, there is a large brick end wall chimney with a brick band cap. There are two more 2x2 wood sashed windows on the second floor above a side entry door. Behind the door is a glass block window, similar to the one on this elevation of the garage. There is a new, poured concrete, stoop and steps with iron railing off of this side entry. Behind the main house, there is a side gabled, one story breezeway that has a multipaned (large horizontal panes) picture window facing south. The breezeway connects to the two car, end gabled garage on the west (back) of the house at the south end. The basement windows appear to be boarded over. The gable ends and dormers throughout the house appear to be clad with narrow, aluminum siding, which is probably a replacement material, but given the age of the house, it could be original. The roofing is new, gray and tan composition shingles, replacing an original composition shingle roof, and the house has aluminum gutters and downspouts.

43. History and Significance

Although the assessor estimates the year built as 1950, this house does not appear in the 1953 city directory. It is first listed in 1955, which means it was completed at least by 1954, and it was the home of Eugene R. and Floss Shade. This is a nice example of the post-World War II housing styles that helped finish the development of the neighborhood, especially the popular Minimal Traditional style, which borrowed its varied roofline from the Tudor Revival style, but was more horizontal and less steeply pitched, and it borrowed its shuttered windows and fenestration pattern from the Colonial Revival variant known as Cape Cod. As a more modern house, however, it utilizes horizontally lighted windows and decorative iron corner supports on the entry porch as well as a broad brick end wall chimney. Its simple, functional design is nicely proportioned and incorporates a breezeway to an attached two car garage on the back of the house, an important feature in this commuter suburb, but designed to minimize the visibility of the garage from the street, an important consideration in housing design in Pasadena Hills.

44. Description of Environment and Outbuildings

The lot is basically level, except that it drops off drastically along the south property line. The lot faces east and there is a concrete driveway along the north side of the house to access the attached garage on the back side of the house. New concrete sidewalks extend directly from the front entry to the street and T at the head to curve around along the south side of the house to a side entry. There is a series of limestone retaining walls on the south side of the property.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

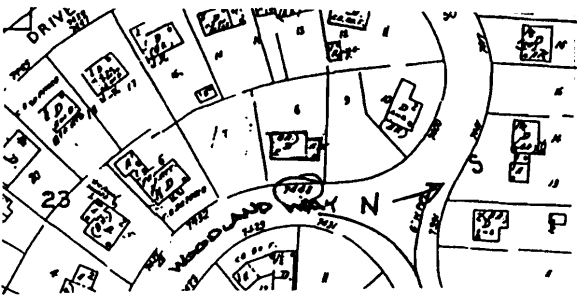
Sept. 2002

49. Revision Dates

7432 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS029 - 0380		4. Present Name(s) Fitzgerald, Michael D. & Elaine M., House	
2. County St. Louis		5. Other Name(s) HISTORIC: Kesselhelm, John P. and Sophie, House	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7448 Woodland Way -- Pt 7 & 8, Block 23		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1939	
8. Site Plan with North Arrow 		18. Style or Design French Eclectic	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Residence	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Residence	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known Fitzgerald, Michael D. & Elaine M	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Com.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material limestone	
		31. Wall Construction load bearing masonry-brick	
		32. Roof Type, Material Hip w/gable, slate, now comp. shingl	
		33. No. of Bays FRONT 3 SIDE	
		34. Wall Treatment Brown and tan textured brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input checked="" type="checkbox"/>	
		37. Condition Interior Exterior Good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	



HISTORIC INVENTORY

42. Further Description of Important Features

This two story, steeply pitched hipped roof with abbreviated gable ends, brown and tan textured brick house has three unequal vertical divisions on the façade. The foundation, which is not visible on the façade, is a rock faced, ashlar limestone. The roof was originally slate, but is now a gray composition shingle roof, but it retains the original (unpainted) copper gutters and downspouts. There are two brick chimneys with corbelled caps, one on the south elevation and one on the back of the house. There are two projecting brick stringcourses coupled together to separate the first and second floor and a soldier course under the gutters that also serves as the second floor lintel. The widest bay is the one on the south and it has paired 1 x 1 wood sashed windows with stacked bricks on each side on the second floor above a segmental arched, triple window with three 1 x 1 wood sashed, leaded glass windows. This window unit is framed by soldier course bricks with dressed stone corner blocks. The middle bay has a smaller, 1 x 1, diamond pattern leaded glass, wood sashed window, also framed by stacked bricks, but this one has a lugged stone sill. Below, there is a one story, gabled, projecting entry vestibule which has a round arched opening framed by a triple row of header bricks with dressed stone at the base of the arched lintel and as a keystone. There are also stones at the top of narrow, vertical wing walls and at the base of the gable. There is a concrete slab that creates a step into the vestibule. The entry door is recessed (on the façade wall) and is a round arched, hardwood door with a smaller diamond patterning to the wood. It has a small rectangular light with clear glass in the upper portion of the door. The north bay has a large triple window with three 15 light casements (camouflaged by the sashed combination storm windows) above the one car garage which has a massive, brick, splayed lintel. The garage door is new, the front entry door has a iron barred full view storm door, and the windows have aluminum combination storm windows. On the north elevation, there are two more sets of triple casements on the second floor and below each there is a 6 x 6 wood sashed window on the first floor. On the south elevation there are two sashed windows on the second floor and two small leaded glass windows on the first floor, all behind the chimney. There is a one story masonry wing on the back that is not visible from the street, but it appears to be an addition since it does not appear on the 1967 fire insurance map (although the map has been wrong on other houses).

43. History and Significance

Built in 1939, according to the assessor, the house was not finished when that year's city directory was canvassed, but was listed in the 1941 directory as the new home of John P. and Sophie Kesselhelm. He was vice president/treasurer of St. Louis Refrigeration and Cold Storage Company. They continued to live in the house at least through 1943 when that directory was published, but by the time of the next directory, in 1946, George A. and Ethel M. Hild had moved into the house as its new owners. He worked as district manager for John Hancock Mutual Life Insurance Company in St. Louis. Their house is an unusual example of the French Eclectic style that was popular between the World Wars, influenced more by the continental country houses than the English country houses which are reflected in the very similar Tudor Revival style. In this example, the house has the characteristic steeply pitched, massive, hipped roof, the rather plain façade, with a modest entry, as well as multipaned windows and leaded glass windows--all characteristic of this style. Even the splayed brick lintel is more influenced by the Renaissance elements found on French country houses than would be found on Tudor Revival examples. Despite the circular driveway, which appears to be a later modification, and what appear to be some window replacements, the house retains its basic stylistic features and form and is a contributing building in the district. It even incorporates a one car, attached garage on the façade, a rarity in Pasadena Hills, where most garage entries were relegated to the back of the property.

44. Description of Environment and Outbuildings

The double lot faces southeast at the T junction of Woodland Way with Overbrook Drive and it slopes downhill in the back of the property. The house is located on the north lot with the large side lot on the south. There is a circular driveway that extends to the façade garage door and opening of the entry vestibule, but this is probably a more recent modification of what was a straight driveway and short sidewalk.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter, Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date

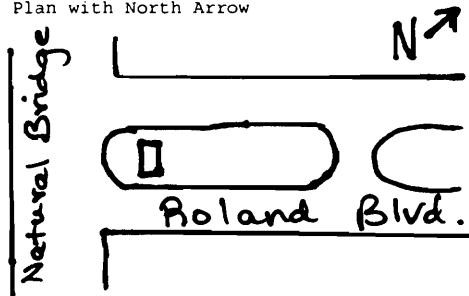
Sept. 2002

49. Revision Dates

7448 Woodland Way
PASADENA HILLS



HISTORIC INVENTORY

1. No. SLAS0391 - 0381		4. Present Name(s) Entrance Gate	
2. County St. Louis		5. Other Name(s) Garrison House; Entry Tower	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location Natural Bridge Road and Roland Blvd.		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1929	
8. Site Plan with North Arrow 		18. Style or Design Tudor Gothic	
9. Coordinates Lat Long		19. Architect or Engineer T. P. Barnett Company	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent entry tower	
12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		22. Present Use entry tower	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known City of Pasadena Hills, 3915 Roland Blvd., Pasadena Hills, MO	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission.	
		27. Other surveys in which included None	
		28. No. of Stories 2	
		29. Basement? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
		30. Foundation Material	
		31. Wall Construction load bearing masonry-limestone	
		32. Roof Type, Material hipped, slate/flat, asphalt	
		33. No. of Bays FRONT 1 SIDE	
		34. Wall Treatment smooth ashlar limestone	
		35. Plan Shape	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior fair Exterior good	
		38. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

42. Further Description of Important Features

This 65 foot tall, dressed, ashlar limestone entry tower is situated in the median of Roland Boulevard just north of the intersection with Natural Bridge Road. It visually forms a tall open arch with two shafts connected with a flat roof that has a stone battlement on both the north and south elevations and two octagonal towers, one on each end, with the west tower being much shorter. Next to the tower on the east end is a small shed roofed room that is half the height of the tower. Vertical niches in each tower are positioned on the south side near the green and gray slate pointed tower roofs and there is another similar niche near the top of the east leg of the arch. A buttress-like extension slopes out to the west side of the tower, nearly the full height of the leg of the arch and a much smaller buttress is located on the east leg. There is another step down for the two story, gabled vestibule entry and garrison house space on the west end with an overhanging, half timbered, gabled, bay above the arched doorway. This has paired wood casement windows on both the first and second floor level. There are large stone brackets supporting the bay. The arched doorway matches the doorway in the south side of the east leg of the arch with a bullnosed stone surround on the arched opening with a half round arched, wood plank door with a rectangular light (with clear glass) near the top. At the base of the doors are louvered vents and a stone threshold. Hanging from the middle of the arch is an oversized lantern-chandelier.

43. History and Significance

Finished at least by May 1929, this is the most significant building in Pasadena Hills. It was completed as one of the public amenities for the new suburb of Pasadena Hills being developed by the Carter Realty Company (which started land sales in 1928). It was designed by T. P. Barnett Company, an architectural firm that was the successor of generations of highly noted St. Louis architects. Tom Barnett's company was responsible for this tower as well as the three largest and most distinctive house designs in the community. This tower was originally identified as a Garrison House and did have rooms inside, apparently for the use as offices, but it has not been used for more than storage for many years. It has been called a variety of other names, including the gateway, gateway arch (a term that would easily be confused today with the Arch in downtown St. Louis), and entry tower, all of which are descriptive in nature. The tower is the tallest tower of all the gateway entries designed for subdivisions in the St. Louis metropolitan area, a tradition that was used since the 19th century to denote a gated community with limited access through the gates. These gated communities were designed to eliminate the problems of earlier residential developments in the city of St. Louis where tenements and commercial enterprises quickly encroached and to help keep through traffic and nonresidents out of the neighborhood. The tower is not only tall, but the land is elevated high above the surrounding area and the tower is visible from downtown Clayton in the county courthouse, as well as being the most prominent landmark along Natural Bridge Road in north St. Louis County. It has remained the symbol of the community since its founding, used initially in advertisements as one of the public amenities to encourage purchases of lots and homes, and as a directional guidepost to visitors to the community. It is still used in the local publications and featured prominently on the street banners and in recent articles on the community, as well as continuing to serve as a directional guidepost into the community.

44. Description of Environment and Outbuildings

The tower is situated in the median at the entrance to the community along Natural Bridge Road and splits Roland Boulevard, one of many in the community that are listed on another inventory form.

45. Sources of Information

Carter Realty Company, Inc., "Pasadena Hills: The Garden Spot of St. Louis County," [advertisement]. Saint Louis Post Dispatch, 12 May 1929, p. 10B; Hamilton, Esley. Interview (walking tour), May 2003.

46. Prepared by / Organization

Karen Bode Baxter-Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

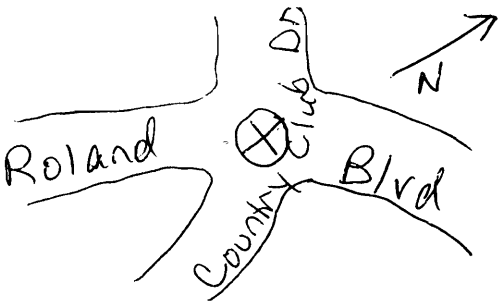
Aug. 2002

Entrance Gate





HISTORIC INVENTORY

1. No. SLAS039 - 0382		4. Present Name(s) Fountain	
2. County St. Louis		5. Other Name(s) Fountain/Median	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location Intersection of Roland Blvd. & Country Club Drive		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1929	
8. Site Plan with North Arrow 		18. Style or Design	
9. Coordinates Lat Long		19. Architect or Engineer T. P. Barnett Company	
10. Site <input type="checkbox"/> Building <input type="checkbox"/> Structure <input type="checkbox"/> Object <input checked="" type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent Fountain and Median	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use Fountain and Median	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known City of Pasadena Hills, 3915 Roland Blvd., Pasadena Hills, Mo	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission.	
		27. Other surveys in which included None	
		28. No. of Stories	
		29. Basement? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
		30. Foundation Material Concrete	
		31. Wall Construction Concrete	
		32. Roof Type, Material	
		33. No. of Bays FRONT SIDE	
		34. Wall Treatment Stucco	
		35. Plan Shape octagonal	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior fair	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd. 0 feet	

Fountain
Pasadena Hills, Mo

HISTORIC INVENTORY

42. Further Description of Important Features

This poured concrete, octagonal fountain is located in the circular median at the intersection of Roland and Country Club. It has a lower water basin with a pedestal supporting a smaller octagonal water basin, both of which have projecting diamond patterns on each facet. In the middle of the upper basin is a plinth base (trapezoidal on the four main facets with small beveled corners) supporting the water nymph on top. The two basins originally had multicolored mosaic tiles on their faces, but these apparently began falling off according to oral histories of the community, even prior to 1955. There were originally four small, stepped pools with similar mosaic treatments radiating around the lower basin, but these had also been removed by 1955. The original cherub statue shown in the 1929 promotional brochure had been replaced at some point prior to 1955 as well. The diamonds on the lower basin were added after that point.

43. History and Significance

This is the second most important symbol and landmark in Pasadena Hills, with the first being the entry tower, and both were designed by T. P. Barnett and Company and completed in 1929, the year the platting of Pasadena Hills was completed (it opened in 1928). It was part of the plan of the original developers, Carter Realty Company, to reassure prospective homeowners that the development was not just a paper company and that the quality landscaping and amenities promised in the promotional brochure would in fact be finished. The fountain is located along the primary boulevard that meanders into the gated community, Roland Boulevard and at another primary intersection, Country Club Drive, which leads down to Winchester Park and over to the Thomas Jefferson Public School, land that had been purchased in 1929 by the Normandy Consolidated School District for a grammar school. The fountain apparently originally had a different statue, one that looked more like a cherub and the original design included mosaic tiles and radiating, tiered basins stepping down from the main basin. During the community's period of development, prior to August 10, 1955, the fountain had already been modified with the statue replaced by a water nymph. By then the lower basins had already been removed and most of the mosaic tile had fallen off, leaving the projecting diamond pattern on the upper fountain still visible today. This is accurately dated because the fountain made the news that day after vandals toppled the statue. The statue had long been replaced since even the oldest residents in Pasadena Hills did not realize this was not the original statue seen in the photograph in the 1929 promotional brochure. Since 1955, the rest of the mosaic tiles fell off, to be replaced with matching projecting diamonds on the lower basin. Even despite these changes, many of which occurred during the historic period of significance, the fountain remains a major landmark and symbol of the initial development of this automobile suburb, appropriately placed in the middle of a busy intersection.

44. Description of Environment and Outbuildings

The median (which is counted with the other medians on a separate inventory form) is planted with small shrubs and bedding plants for seasonal color. The concrete curbing is the original and separates the median from the roadbed of the intersection.

45. Sources of Information

Carter Realty Company. "Pasadena Hills: Where Your Home is Your Playground." Pasadena Hills City Hall Archives. 1928; "Pasadena Hills Campaign Will be Opened Today." Saint Louis Post-Dispatch, 22 September 1929, Real Estate Section; "Water Fountain Nymph Toppled by Vandals." Saint Louis Globe-Democrat, 10 August 1955 [from the Mercantile Library Saint

46. Prepared by / Organization

Karen Bode Baxter-Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Aug. 2002

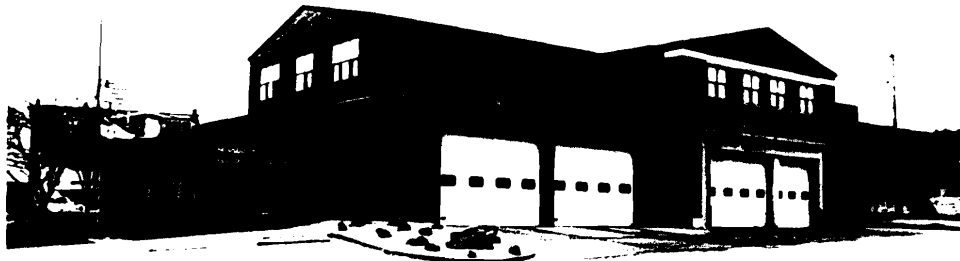
Fountain
Pasadena Hills, MO





HISTORIC INVENTORY

1. No. SLAS039 - 0383		4. Present Name(s) Normandy Fire Station	
2. County St. Louis		5. Other Name(s)	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location 7302 Pasadena Blvd.-Pts. 8,9 Devaney Place		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Normandy and Pasadena Hills		17. Date(s) or Period 1949; 1986 addition	
8. Site Plan with North Arrow		18. Style or Design	
		19. Architect or Engineer Wischmeyer and Lorenz, Architects	
		20. Contractor or Builder	
		21. Original Use, if apparent Fire Station	
		22. Present Use Fire Station	
		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	
		24. Owner's Name and Address, if known Normandy Fire Protection District, 7302 Pasadena Blvd., St. Louis, MO 63121	
9. Coordinates Lat Long		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission.	
11. On Natnl. Reg.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		27. Other surveys in which included None	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
14. District Potent'l? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
15. Name of Established District Pasadena Hills Historic District		28. No. of Stories 2	
		29. Basement? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material concrete	
		31. Wall Construction concrete block, brick faced	
		32. Roof Type, Material gable&shed, comp.shingles	
		33. No. of Bays FRONT 4+3 SIDE	
		34. Wall Treatment brick	
		35. Plan Shape asymmetrical	
		36. Changes (explain in #42) ADDITION <input checked="" type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior very good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd	



HISTORIC INVENTORY

42. Further Description of Important Features

This large fire station was originally an end gabled, two story, red and brown brick building with four, paired 1x1 insulated aluminum sashed windows (replacements) on the second floor that share the broad, limestone continuous course lintel and a smaller continuous limestone sill. In the gable end is a half round louvered attic vent. Below, there are two large truck bays framed by dressed limestone that forms pilasters and a flat entablature with a projecting stone cornice. To the west, there is a flat roofed, two story recessed wing, the second floor of which is part of the 1986 addition that primarily is the area to the east. The 1986 matching brick addition has a massive side shed roofed form with two more truck bays and a large gabled wall that faces east with three sets of 1x1 aluminum sashed windows on the second floor (3,2,3) below another half-round louvered attic vent. The shed roof extends to the one story section in front of this gable on the east elevation where there is an office wing that has a series of 1x1 aluminum sashed windows in three groups on the first floor of the east elevation. There is a full light entry door with full light sidelight, both transomed, under a canopy between the truck bays and the office section, both of which are recessed back from the truck bays. The truck doors have all been replaced, probably with the addition, as metal roll-up doors.

43. History and Significance

The Normandy Fire Protection District completed the original section of this fire station in 1948, according to the fire insurance map, but the cornerstone is dated 1949. The original design was by Wischmeyer and Lorenz Architects. There was a large brick addition added in 1986 to provide two additional truck bays and offices to the original two bay, two story station. Although the original façade is still visible, with its modified, classical detailing (a pediment with a course of limestone forming its base, a symmetrical façade, and a dressed stone entablature around the two garage bays), this original building is less than half of the current station's floorplan. When the addition was completed, the station, which was outside the boundaries of Pasadena Hills, was expanded into the city limits of Pasadena Hills, near the intersection with Roland Boulevard. Although the use of red brick blends well with the predominant building material of Pasadena Hills, and its location across from the row of multifamily apartment buildings is in keeping with their scale, the large addition is a noncontributing historic element in the historic district.

44. Description of Environment and Outbuildings

The large lots face northeast onto Pasadena Boulevard west of Roland Boulevard, near the entrance to Pasadena Hills and the large tower entry. There are paved parking places and drives to the truck bays along Pasadena Boulevard, but the other sides of the lot are primarily grass with a small concrete patio near the southeast corner.

45. Sources of Information

46. Prepared by / Organization

Karen Bode Baxter-Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

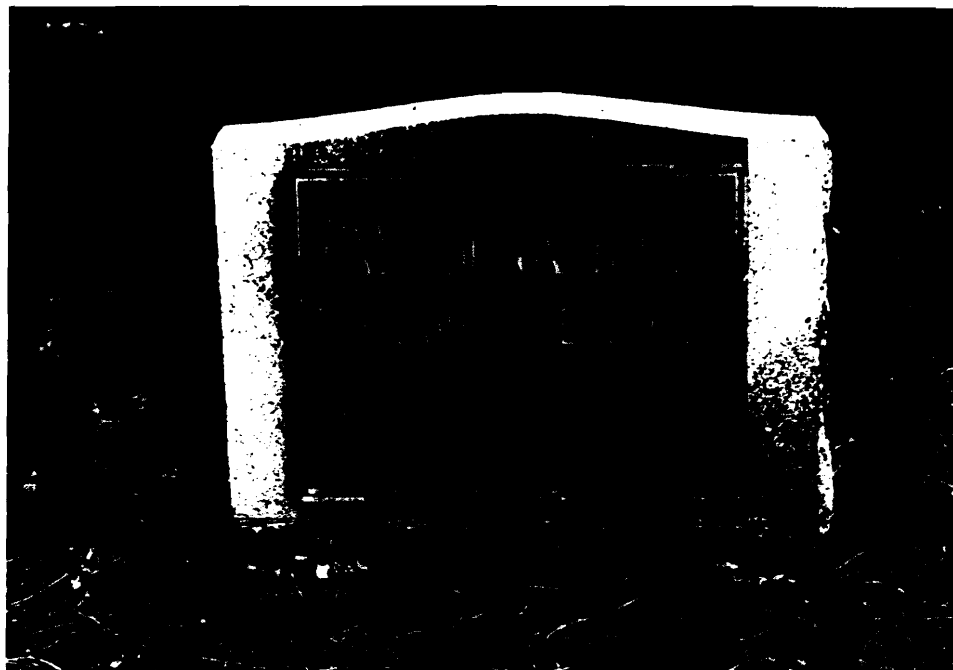
Aug. 2002

7302 Pasadena Blvd.



HISTORIC INVENTORY

1. No. SLAS039 - 0384		4. Present Name(s) Medians and Islands	
2. County St. Louis		5. Other Name(s)	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location In streets throughout community, see list in #42		16. Thematic Category	28. No. of Stories 0
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1928-1929	29. Basement? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
8. Site Plan with North Arrow See map of Pasadena Hills Landscape Features for locations of medians and islands. Photos of medians included with streetscape views and with inventory forms for the fountain and for the streetlights.		18. Style or Design landscape features	30. Foundation Material earth
9. Coordinates Lat Long		19. Architect or Engineer Roland H. Buchmueller	31. Wall Construction
10. Site <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Building <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material grass, trees, shrubs
11. On Natl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent green spaces	33. No. of Bays FRONT SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use green spaces	34. Wall Treatment concrete curbs
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	35. Plan Shape various
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known City of Pasadena Hills, 3915 Roland Blvd., Pasadena Hills, MO	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	37. Condition Interior good Exterior good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd. 0 feet



HISTORIC INVENTORY

42. Further Description of Important Features

There are 38 different medians of various shapes scattered throughout Pasadena Hills, with the most prominent being the series that split Roland Boulevard and Pasadena Boulevard. Others are small island medians. These are all located on the map of landscape features. Each of these medians contains grass as well as other landscaping materials and many are used as flower beds that have been maintained for many years by the neighborhood garden club. They have concrete curbing and many also feature the streetlights (separate inventory form) of the community. There are 11 linear medians along Roland Boulevard between Natural Bridge Road and the head of Roland Park where the boulevard splits. The first median at the south end contains the entry tower (separate inventory form) as well as some more concrete park benches and small statues (not historic). The north end of the median just south of Country Club Drive contains the plaque for the community, which is a low stone monument with a brass plaque, stating "Pasadena Hills/Suburban Community Created by The Carter Realty Co./Henry Carter, Pres. Hillsman Taylor, V. Pres., William MacDonald, Sec., E. D. Nims, J. T. Price/Henry Cater-W. C. Philbrook-Brandom Hope, Original Trustees/R. H. Buchmueller, Town Planner" and to its north is a small round median in the intersection that contains the landscaping (bedding plants) around the fountain which is neither one of the original features of the community (separate inventory form). There are also two long medians along Pasadena Blvd., 5 long medians along Country Club Drive (between Roland and Parkdale), leading up to the Thomas Jefferson School property. There are small island medians, of various shapes in the intersections at: Parkdale and Overbrook, Overbrook and Ravinia, Overbrook and both ends of Woodland Way, Ravinia and Marlboro Court, Ravinia and Nadine Court, Ravinia and Cranford Drive, Ravinia and North Roland Boulevard, 2 in the intersections of Overbrook and Roland, Breton and North Winchester, Winchester and S. Winchester Drive, Winchester and Huntington Drives and there are also small islands in the center of the ends of: Bristol Court, Marlboro Court, and 2 for Nadine Court.

43. History and Significance

The green spaces in Pasadena Hills, especially the medians and parks (separately inventoried) were an important selling point in the initial development of the community when it was platted and designed by Roland H. Buchmueller, the town planner and engineer. This was used in the early advertisement to attract residents to the community and the plantings were finished in 1928 and 1929 initially, but they have been maintained over the years by the local garden club with new plantings. The medians were used for the most prominent public amenities, the tower entry and the fountain, both of which were finished by 1929. A plaque commemorating the establishment of the community was erected as well to record for posterity the names of the original developers. The Dutch Elm Disease destroyed many of the early trees, but not the oaks and willows which still survive along with other varieties. Many of these medians as well as the other public green spaces in Pasadena Hill were originally planted by Stark Nurseries and contained, according to one Carl Stifel Realty Company promotional brochure: "250 virgin oak trees, attractively planted parkways of blooming roses, weeping willows, Chinese elms, grass plots, and a beautiful fountain" as well as being "studded with individual and artistically designed lighting equipment" which still forms circles of lights at night in the medians.

44. Description of Environment and Outbuildings

45. Sources of Information

Pasadena Hills, Missouri. City Hall. Aerial Photograph, Circa 1935; Carter Realty Company, Inc., "Pasadena Hills: The Garden Spot of St. Louis County," [advertisement], St. Louis Post-Dispatch, 22 September 1929; Carl G. Stifel Realty Co., "Tower Entrance Pasadena Hills," [advertising pamphlet, covers reprint of one of the original sales brochures dated 1935],

46. Prepared by / Organization

Karen Bode Baxter-Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Aug. 2002

Medians and Islands

PASADENA HILLS

A SUBURBAN COMMUNITY CREATED BY

THE CARTER REALTY CO.

HENRY CARTER, PRES. HILLSMAN TAYLOR, V. PRES.

WILLIAM MAC DONALD, SEC.

E. D. NIMS

J. T. PRICE

HENRY CARTER-W. C. PHILBROOK-BRANDOM HOPE

ORIGINAL TRUSTEES

R. H. BUCHMUELLER, TOWN PLANNER

HISTORIC INVENTORY

1. No. SLAS039 - 0385		4. Present Name(s) Streetlights	
2. County St. Louis		5. Other Name(s)	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1928-1929	
8. Site Plan with North Arrow See map of Pasadena Hills Landscape Features for locations of each streetlight post.		18. Style or Design	
9. Coordinates Lat Long		19. Architect or Engineer	
10. Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input type="checkbox"/> Object <input checked="" type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent streetlights	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use streetlights	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known City of Pasadena Hills, 3915 Roland Blvd., Pasadena Hills, MO	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission.	
		27. Other surveys in which included None	
		28. No. of Stories 1	
		29. Basement? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
		30. Foundation Material concrete	
		31. Wall Construction cast iron	
		32. Roof Type, Material	
		33. No. of Bays FRONT SIDE	
		34. Wall Treatment	
		35. Plan Shape 1 & 2 light poles	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior fair	
		38. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		39. Endangered? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> By What? Need for updated wiring	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd.	

HISTORIC INVENTORY

42. Further Description of Important Features

There are 117 custom designed, cast iron street light poles in Pasadena Hills, some of which are double lanterns are either side of the central pole and others are single lanterns (denoted on map by 2 or 1 circles respectively). The fluted pole flares at the base where there is a small plinth on which each pole is uniquely numbered. There is a fluted finial at the top of the pole and filigree as brackets form the hooks at the top of each lantern and to the inside of each lantern, featuring a silhouette of a sundial and trees. The lanterns are multipaned, framed with metal, cylinders with conical caps.

43. History and Significance

These streetlights were part of the original landscape design of Pasadena Hills, apparently selected by Roland H. Buchmueller, the town planner and the Carter Realty Company, which developed the suburb of Pasadena Hills in 1928. The streetlight poles were apparently installed in 1928 and 1929 and were frequently used as an important image in the early promotional literature advertising the new development. Although the original manufacturer has not been identified, it is known that they are unique in the St. Louis area, easily identifying and separating the community from its neighbors. Apparently the same design was installed in Forest Hills, New York. Although the poles and lanterns remain in good condition, the incandescent lights and their wiring have become a major maintenance problem for the city and plans are currently underway to carefully rewire the poles and update the lighting in the poles (after sample light patterns are previewed by the community). These lights have always defined this community and are a source of community pride, having recently been strung with banners to promote "Preservation In Progress." The poles are clearly visible on the early 1935 aerial photograph of the community framed in city hall.

44. Description of Environment and Outbuildings

45. Sources of Information

Pasadena Hills, Missouri. City Hall. Aerial Photograph, Circa 1935; Carter Realty Company, Inc., "Pasadena Hills," [advertising pamphlet], St. Louis: Carter Realty Company, n.d.; Carl G. Stifel Realty Co., "Tower Entrance Pasadena Hills," [advertising pamphlet, covers reprinted from one of the original sales brochures dated 1935], 6 April 1982.

46. Prepared by / Organization

Karen Bode Baxter-Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Aug. 2002

Streetlights





HISTORIC INVENTORY

1. No. SLAS029 - 0386		4. Present Name(s) Bristol Park	
2. County St. Louis		5. Other Name(s) Recreation Park	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location Between North and South Bristol Drive		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1928-1929	
8. Site Plan with North Arrow See map of Pasadena Hills Landscape Features that locates the parks.		18. Style or Design park	
9. Coordinates Lat Long		19. Architect or Engineer Roland H. Buchmueller	
10. Site <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Building <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent park	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use park	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known City of Pasadena Hills, 3915 Roland Blvd., Pasadena Hills, Mo	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission.	
		27. Other surveys in which included None	
		28. No. of Stories	
		29. Basement? YES <input type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material	
		31. Wall Construction	
		32. Roof Type, Material	
		33. No. of Bays FRONT SIDE	
		34. Wall Treatment	
		35. Plan Shape irregular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd. 0 feet	

HISTORIC INVENTORY

42. Further Description of Important Features

This park is located in the ravine that splits North and South Bristol Drive and west of Lucas and Hunt Road. The ravine is planted with a variety of deciduous and evergreen trees, many of which were part of the original landscaping plans of the developers. There is a concrete sidewalk around part of the park. There are no improvements in the park beyond the original landscaping and the trees added in recent years to replace aging trees.

43. History and Significance

Bristol Park is the first of three parks built by the original developers of Pasadena Hills in 1928-1929 and part of the original town plan and landscaping design of Roland H. Buchmueller, the civil engineer and town planner responsible for platting the community. Of the three parks, this one was finished first and originally referred to as Recreation Park in the promotional literature. It was promoted as having a tennis court, which was apparently a grass court, which was little more than leveled ground, but it has not been in use for at least 40 years and only the flat spot on the ground is still visible today. It provides impressive vistas through the trees and is easily visible from Roland Blvd., near the entry of the community, the only one of the three parks visible from this major artery and like the other parks it was planted with a series of trees, both evergreen and deciduous as part of this original development plan. Over the years, additional trees have been added, especially after the elms were destroyed by the Dutch Elm Disease. The configuration of the park has not changed.

44. Description of Environment and Outbuildings

45. Sources of Information

Carter Realty Company. "Pasadena Hills: Where Your Home is Your Playground." Pasadena Hills City Hall Archives. 1928.

46. Prepared by / Organization

Karen Bode Baxter-Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Aug. 2002

Bristol Park
Pasadena Hills, MO





HISTORIC INVENTORY

1. No. SLAS039 - 0387		4. Present Name(s) Roland Park	
2. County St. Louis		5. Other Name(s)	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location Between North and South Roland Blvd		16. Thematic Category	
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1929	
8. Site Plan with North Arrow See map of Pasadena Hills Landscape Features that locates the parks.		18. Style or Design park	
9. Coordinates Lat Long		19. Architect or Engineer Roland H. Buchmueller	
10. Site <input checked="" type="checkbox"/> Building <input type="checkbox"/> Structure <input checked="" type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent park	
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use park	
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known City of Pasadena Hills, 3915 Roland Blvd., Pasadena Hills, Mo	
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission.	
		27. Other surveys in which included None	
		28. No. of Stories	
		29. Basement? YES <input type="checkbox"/> NO <input type="checkbox"/>	
		30. Foundation Material	
		31. Wall Construction	
		32. Roof Type, Material	
		33. No. of Bays FRONT SIDE	
		34. Wall Treatment	
		35. Plan Shape irregular	
		36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input checked="" type="checkbox"/> MOVED <input type="checkbox"/>	
		37. Condition Interior Exterior good	
		38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
		39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?	
		40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
		41. Distance from and Frontage on Rd. 0 feet	

HISTORIC INVENTORY

42. Further Description of Important Features

This park is located in the ravine that splits North and South Roland Blvd and west of Lucas and Hunt Road. The ravine is planted with a variety of deciduous and evergreen trees, many of which were part of the original landscaping plans of the developers. There is a concrete sidewalk around part of the park, leading down from both streets to the pond, and around the perimeter of the pond/lake. There is a wooden foot bridge across the pond and it now has concrete retaining walls, alterations that were made in recent years. Uphill from the pond is the concrete base of what was a Dutch style windmill apparently built by the early developers of the community to aesthetically spill water over a series of rocks down to the park, but that has been removed (probably prior to 1960 given the memories of local residents).

43. History and Significance

Roland Park is the largest of three parks built by the original developers of Pasadena Hills in 1928-1929 and part of the original town plan and landscaping design of Roland H. Buchmueller, the civil engineer and town planner responsible for platting the community. Of the three parks, this is the most impressive, with great vistas through the trees and across the pond of the homes rising up on the hillsides of both North and South Roland Blvd, which were photographed and frequently mentioned in early promotional literature. It is the only park of the three with a major public amenity, the pond with its footpath and walking bridge, but like the other parks it was planted with a series of trees, both evergreen and deciduous as part of this original development plan. Over the years, additional trees have been added, especially after the elms were destroyed by the Dutch Elm Disease. The configuration of the park has not changed, but the pond has been revamped on several occasions, having originally been designed for fishing, boating, and children wading, but by 1968, the pond was restricted to just fishing, although it only had stocked 1 to 2 inch catfish at that time. About 10 years ago, major improvements were made to the pond, including new walks and concrete retaining walls, and it appears that is when the bridge was added. Drainage and circulating pumps have also been modified over the years, although it still presents maintenance problems, despite the aesthetic beauty it adds to the community.

44. Description of Environment and Outbuildings

45. Sources of Information

Carter Realty Company. "Pasadena Hills: Where Your Home is Your Playground." Pasadena Hills City Hall Archives. 1928; "One of the Many Beauty Spots in This Community of Character Homes." Saint Louis Globe-Democrat, n.d.[from the Mercantile Library Saint Louis Globe-Democrat morgue files]; Thompson, Ruth Ellen. "Wanna Buy a Duck? Pasadena Hills Split

46. Prepared by / Organization

Karen Bode Baxter-Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

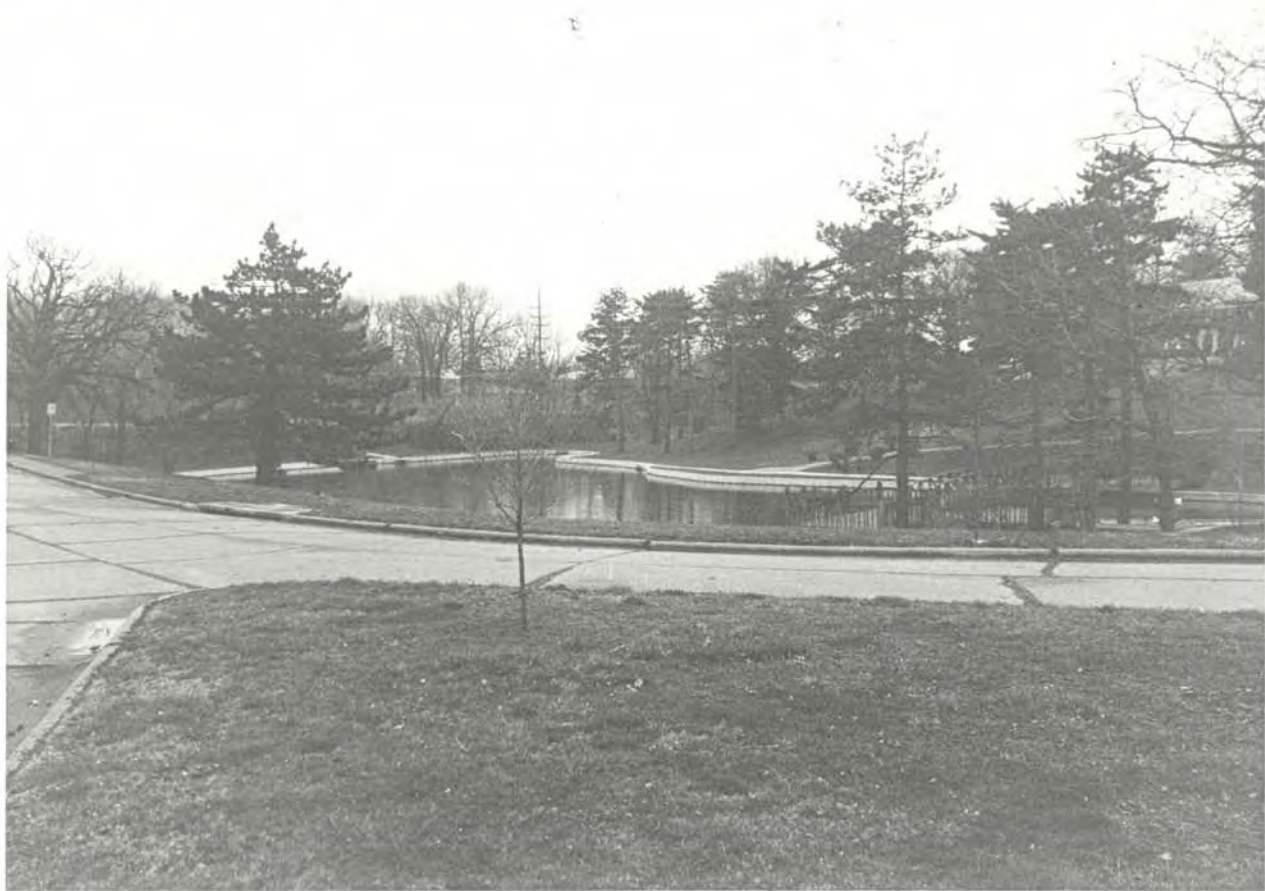
Aug. 2002

*Roland Park
Pasadena Hills, MO*











HISTORIC INVENTORY

1. No. SLAS039 - 0388		4. Present Name(s) Winchester Park	
2. County St. Louis		5. Other Name(s)	
3. Location of Negatives Missouri Historic Preservation Office			
6. Specific Location Between North and South Winchester Drive		16. Thematic Category	28. No. of Stories
7. City or Town If Rural, Township and Vicinity Pasadena Hills		17. Date(s) or Period 1928-1929	29. Basement? YES <input type="checkbox"/> NO <input type="checkbox"/>
8. Site Plan with North Arrow See map of Pasadena Hills Landscape Features that locates the parks.		18. Style or Design park	30. Foundation Material
9. Coordinates Lat Long		19. Architect or Engineer Roland H. Buchmueller	31. Wall Construction
10. Site <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Building <input type="checkbox"/> Object <input type="checkbox"/>		20. Contractor or Builder	32. Roof Type, Material
11. On Natnl. Reg. ? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		21. Original Use, if apparent park	33. No. of Bays FRONT SIDE
12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		22. Present Use park	34. Wall Treatment
13. Part of Estab Hist District? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		23. Ownership Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	35. Plan Shape irregular
14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		24. Owner's Name and Address, if known City of Pasadena Hills, 3915 Roland Blvd., Pasadena Hills, Mo	36. Changes (explain in #42) ADDITION <input type="checkbox"/> ALTERED <input type="checkbox"/> MOVED <input type="checkbox"/>
15. Name of Established District Pasadena Hills Historic District		25. Open to Public? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	37. Condition Interior Exterior good
		26. Local Contact Person or Organization Pasadena Hills Historic Preservation Commission.	38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
		27. Other surveys in which included None	39. Endangered? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By What?
			40. Visible from public road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
			41. Distance from and Frontage on Rd. 0 feet

HISTORIC INVENTORY

42. Further Description of Important Features

This park is located in the ravine that splits North and South Winchester Drive and west of Lucas and Hunt Road. The ravine is planted with a variety of deciduous and evergreen trees, many of which were part of the original landscaping plans of the developers. There is a concrete sidewalk around part of the park. There are no improvements in the park beyond the original landscaping and the trees added in recent years to replace aging trees.

43. History and Significance

Bristol Park is the one of three parks built by the original developers of Pasadena Hills in 1928-1929 and part of the original town plan and landscaping design of Roland H. Buchmueller, the civil engineer and town planner responsible for platting the community. Like the other three parks, this one was referred to in the promotional literature as park of the public improvements and landscaping plans. It provides impressive vistas through the trees and is easily visible from Lucas and Hunt Road on the eastern edge of the suburb and like the other parks it was planted with a series of trees, both evergreen and deciduous as part of this original development plan. Over the years, additional trees have been added, especially after the elms were destroyed by the Dutch Elm Disease. The configuration of the park has not changed and this park has the distinction of having been selected by the town planner and designer, Roland H. Buchmueller as the vista from his front entry since he built his own house at 7274 S. Winchester Drive.

44. Description of Environment and Outbuildings

45. Sources of Information

Carter Realty Company. "Pasadena Hills: Where Your Home is Your Playground." Pasadena Hills City Hall Archives. 1928.

46. Prepared by / Organization

Karen Bode Baxter-Preservation Consultant
Pasadena Hills Historic Preservation Commission

48. Date 49. Revision Dates

Aug. 2002

Winchester Park
Pasadena Hills, MO



























