



**JAZZ HILL HOMES**  
**924 - 1304 The Paseo Boulevard**  
**Kansas City, Missouri**

Architectural/Historic Inventory  
Submitted for Eligibility Assessment  
for potential listing as a National Register District

Submitted By:  
Brenda R. Spencer  
10150 Onaga Road  
Wamego, Kansas 66547  
785/456-9857  
for Pioneer Group, Inc.  
Topeka, Kansas

## BIBLIOGRAPHY

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- 9) Hoye's Kansas City Blue Book and Club Directory. Kansas City: Hoye's Directory Company, Compilers, Printers, and Bindery, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1913, 1914, 1917.
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- 12) Inland Architect and News Record, June, 1906.
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- 15) Kansas City Star, 12 March, 1977.
- 16) Kansas City Times, 18 May, 1968.
- 17) Kansas City Times, 17 April, 1971.
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- 19) Kansas City Times, 13 April, 1974.
- 20) Kansas City Times, 29 June, 1974.
- 21) Kansas City Times, 11 January, 1975.
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- 32) Water Permits, 5<sup>th</sup> Floor, City Hall, Kansas City, Missouri.
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#12 1116 PASEO  
"Typical" apartment interior  
1/00



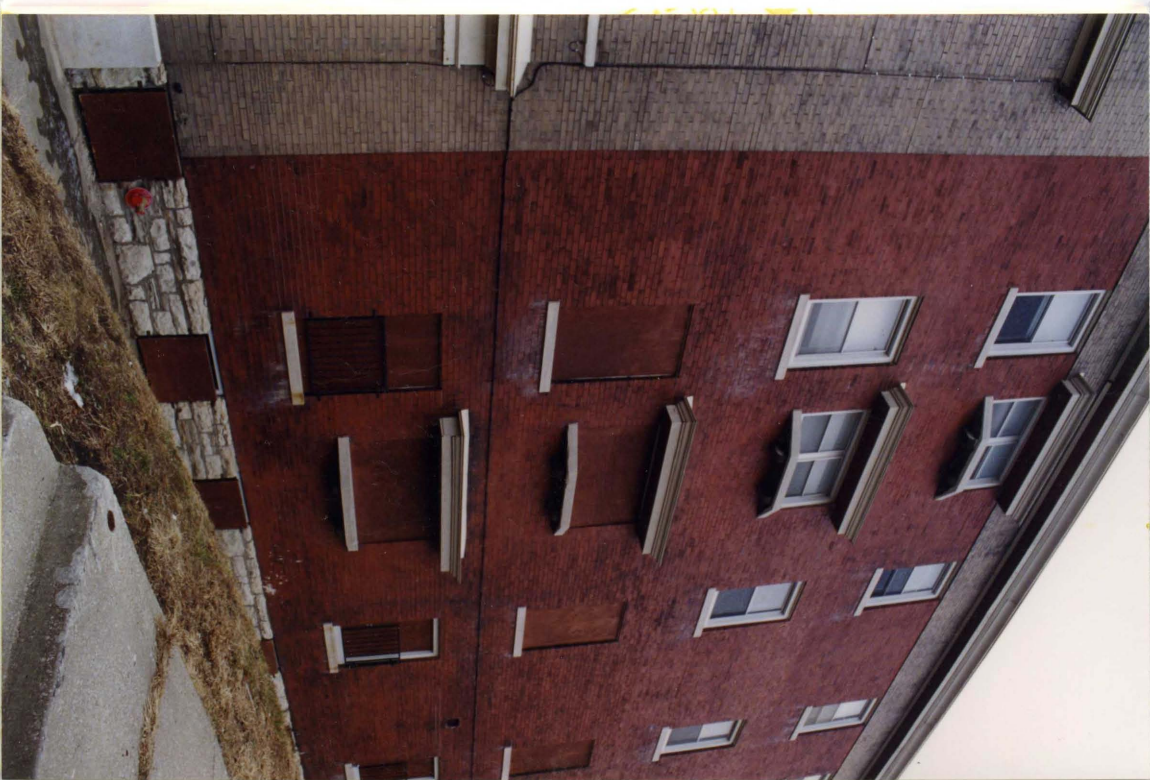
#11 1116 PASEO  
"Typical" apartment interior  
1/00







#10 1116 PASEO  
1/00 Interior stairway



#9 1116 PASEO  
1/00 Window detail (north elevation)



#8 1116 PASCO  
1/00 West (rear) elevation



#7 1116 PASCO  
1/00 Detail-east elevation







#5 1116 PASEO  
Cornice detail  
1/00 (East elevation)



#6 1116 PASEO  
Window detail (east elevation)  
1/00



#3 1116 PASEO  
North (side) elevation  
from NE corner of building  
1/00



#4 1116 PASEO  
South (side) elevation  
1/00







#2 1116 PASEO  
South (side) elevation  
1/00 from SE corner of building



#1 1116 PASEO  
East (front) elevation  
1/00



## Images of Kansas City

Photographs Postcards Maps Biographies Exhibits

### Photographs

Full frontal and side view; located at 11th and Paseo.



2640-4

#13 1106 PASEO  
Date of photo unknown  
Source: Images of Kansas City  
Display, Kansas City Library



## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The New England	
2. COUNTY Jackson		5. OTHER NAME(S)	
3. LOCATION OF NEGATIVES			
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS  1116 The Paseo Boulevard		16. THEMATIC CATEGORY	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		17. DATE(S) OR PERIOD circa 1905	
8. DESCRIPTION OF LOCATION South 39 feet of Lot 10 and all of Lots 11 & 12; Block 2, Gates & Kendall's Second Addition See Attached Map		18. STYLE OR DESIGN Neo-Classical w/ Prairie influences	
9. COORDINATES UTM LAT LONG		19. ARCHITECT OR ENGINEER Edwards & Sunderland	
10. SITE ( ) BUILDING (X) STRUCTURE ( ) OBJECT ( )		20. CONTRACTOR OR BUILDER unknown	
11. ON NATIONAL REGISTER? YES ( ) NO ( )		21. ORIGINAL USE, IF APPARENT Apartments	
12. IS IT ELIGIBLE YES ( ) NO ( )		22. PRESENT USE Apartments	
13. PART OF ESTAB. HIST. DISTRICT YES ( ) NO (X)		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
14. DISTRICT POTENTIAL YES (X) NO ( )		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
15. NAME OF ESTABLISHED DISTRICT		25. OPEN TO PUBLIC YES ( ) NO (X)	
		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
		27. OTHER SURVEYS IN WHICH INCLUDED	
		28. NO. OF STORIES 4-1/2	
		29. BASEMENT full YES (X) NO ( )	
		30. FOUNDATION MATERIAL ashlar coursed stone-east	
		31. WALL CONSTRUCTION brick	
		32. ROOF TYPE AND MATERIAL flat - membrane	
		33. NO. OF BAYS FRONT 3 SIDE 3	
		34. WALL TREATMENT running bond brick	
		35. PLAN SHAPE rectangular - short facade	
		36. CHANGES (EXPLAIN IN NO. 42) ADDITION ( ) ALTERED (X) MOVED ( )	
		37. CONDITION INTERIOR fair EXTERIOR good	
		38. PRESERVATION UNDERWAY? YES ( ) NO (X)	
		39. ENDANGERED? BY WHAT? YES (X) NO ( ) vacant, blighted area, lack of maintenance	
		40. VISIBLE FROM PUBLIC ROAD YES (X) NO ( )	
		41. DISTANCE FROM AND FRONTAGE ON ROAD	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The primary facade has two full-height projecting porches that flank a central entrance on the first floor. The porches are characterized by stone bands, pedimented parapet walls, and ribbons of double-hung windows. The windows in the recessed area of the primary facade have stone sills and stone flat arched lintels with keystones. The windows on the other facades have flat lintels and sills with the exception of four windows			
43. HISTORY AND SIGNIFICANCE This apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9 <sup>th</sup> Street and 14 <sup>th</sup> Street through the construction of elite apartment housing in the years 1901 through 1913. See historic context for the proposed district.  A 1905 water permit identifies a Mr. Kendall as the owner of the property. The New England Apartment building was designed by Edwards & Sunderland circa 1906. Around the same time, Edwards & Sunderland were also responsible for the design of The Maples Apartments at 1401 East 10th Street. Both buildings were featured in Inland Architect and News Record in May and June of 1906, respectively.			
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The primary facade faces The Paseo. The adjacent lots to the north and south are vacant lots. The raised lawn at the east is surrounded by a stone retaining wall with a central flight of concrete steps to the main entrance.			
45. SOURCE OF INFORMATION Water permit #1427-1905; See Bibliography, sources: 1, 3, 4, 7, 9, 11, 13, 29, 31, & 32.		46. PREPARED BY Brenda R. Spencer (785) 456-9857	
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION PO BOX 176 JEFFERSON CITY, MO 65102 PH. 573-751-7858		47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.	
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM		48. DATE February 2000	
		49. REVISION DATE(S)	

PHOTO MUST  
BE PROVIDED

## 1116 PASEO - CONTINUATION SHEET

### 42. FURTHER DESCRIPTION OF IMPORTANT FEATURES - Continued

on each of the north and south facades, which have projecting shallow wooden hip-roofs and stone sills. The historic windows were replaced in 1975. The rear porches were removed, openings were closed, and a steel fire escape was installed on the rear facade in 1975. The interior was remodeled in 1975, but the wooden stairs are extant. The windows openings on lower levels of this vacant building are currently boarded up.



#1106 PASCO  
1/00  
"Typical" apartment interior



#1106 PASCO  
1/00  
"Typical" apartment bathroom







#9 1106 PASEO  
"Typical" interior corridor  
1/00



#10 1106 PASEO  
Interior stairway  
1/00



#7 1106 PASEO  
Window detail  
South (side) elevation



#8 1106 PASEO  
West (rear) elevation  
South (side) elevation  
from SW corner of building







#5  
1/00  
1106 PASEO  
Porch/entry detail  
(East elevation)



#6  
1/00  
1106 PASEO  
South (side) elevation  
from SE corner of building  
north (side) elevation



Entrance detail  
(East elevation)



Entrance detail  
(East elevation)





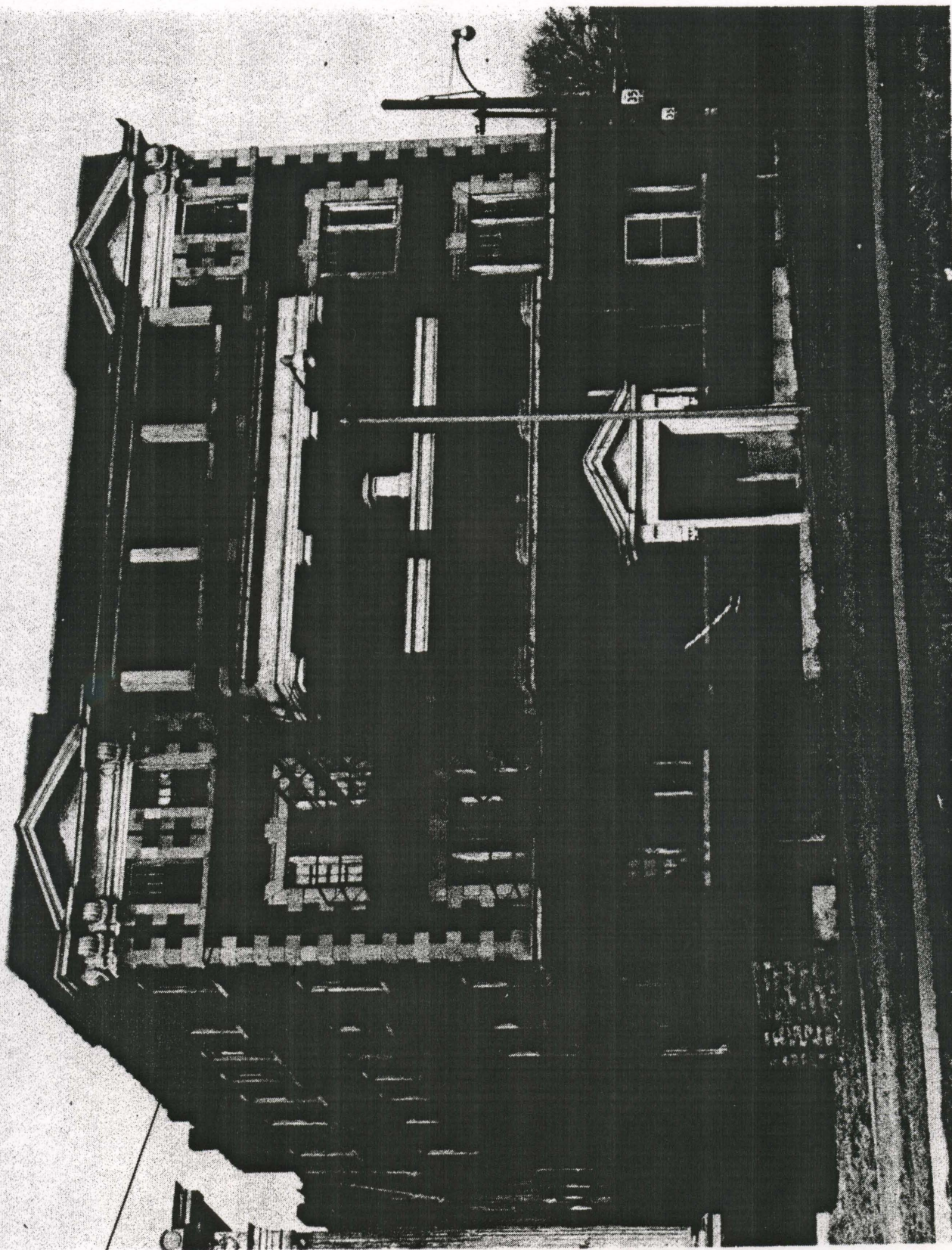


#2 1106 PASEO  
North (side) elevation  
from NE corner of building  
1/00



#1 1106 PASEO  
East (front) elevation  
1/00





#13 1100 PASEO  
1975 Source: 1975 Drawings  
for HUD remodeling  
William Johnson, Architect



## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Vaydick	
2. COUNTY Jackson		5. OTHER NAME(S) The McMahan Apartments	
3. LOCATION OF NEGATIVES			
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS  1106 The Paseo Boulevard		16. THEMATIC CATEGORY	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		17. DATE(S) OR PERIOD 1913	
8. DESCRIPTION OF LOCATION South 39 feet of Lot 9 and the north 11 feet of Lot 10; Block 2, Gates & Kendall's Second Addition See Attached Map		18. STYLE OR DESIGN Neo-Classical Colonnaded Apartment Bldg.	
9. COORDINATES UTM LAT LONG		19. ARCHITECT OR ENGINEER E.O. Brostrom	
10. SITE ( ) BUILDING (X) STRUCTURE ( ) OBJECT ( )		20. CONTRACTOR OR BUILDER C.H. Lewis	
11. ON NATIONAL REGISTER? YES ( ) NO ( )		21. ORIGINAL USE, IF APPARENT Apartments	
12. IS IT ELIGIBLE YES ( ) NO ( )		22. PRESENT USE Apartments	
13. PART OF ESTAB. HIST. DISTRICT YES ( ) NO (X)		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
14. DISTRICT POTENTIAL YES (X) NO ( )		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
15. NAME OF ESTABLISHED DISTRICT		25. OPEN TO PUBLIC YES ( ) NO (X)	
		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
		27. OTHER SURVEYS IN WHICH INCLUDED	
		28. NO. OF STORIES 3-1/2	
		29. BASEMENT YES (X) NO ( ) full	
		30. FOUNDATION MATERIAL natural faced, semi coursed, squared stone	
		31. WALL CONSTRUCTION brick	
		32. ROOF TYPE AND MATERIAL flat - membrane	
		33. NO. OF BAYS FRONT 3 SIDE 6	
		34. WALL TREATMENT uniquely bonded brick	
		35. PLAN SHAPE rectangular - short facade	
		36. CHANGES ADDITION ( ) (EXPLAIN IN ALTERED (X) NO. 42) MOVED ( )	
		37. CONDITION INTERIOR fair EXTERIOR good	
		38. PRESERVATION UNDERWAY? YES ( ) NO (X)	
		39. ENDANGERED? YES (X) NO ( ) BY WHAT? vacant, blighted area, lack of maintenance	
		40. VISIBLE FROM PUBLIC ROAD YES (X) NO ( )	
		41. DISTANCE FROM AND FRONTAGE ON ROAD	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES This apartment building is an excellent example of the colonnaded apartment building. The full height and width porch has four wooden ionic columns with a substantial wood and metal cornice that was slightly modified in 1975. The original porch railings and double-hung windows were also replaced in 1975. There is ashlar stone trim at the window sills, column bases, and at the bowed first floor porch knee walls. There is a rear frame addition with stucco finish. The interior was remodeled in 1975, but the wooden stairs are extant.			
43. HISTORY AND SIGNIFICANCE This colonnaded apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9 <sup>th</sup> Street and 14 <sup>th</sup> Street through the construction of elite apartment housing in the years 1901 through 1913. See Historic Context of proposed district.  The building was named the McMahan Apartments in 1913 for its original owner, W. H. McMahan. Ernest O. Brostrom was the architect. Mr. Brostrom was identified as a designer of the Three-story, column-over-pier apartment building (a sub-type of the colonnaded apartment building). Best known for his church design, Brostrom was influenced by the Chicago style of architecture and the work of Chicago architect, Louis Sullivan.			
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The primary facade faces The Paseo. The adjacent lot to the north is occupied by an apartment building. The adjacent lot to the south is a vacant lot. The lawn at the east entrance is surrounded by a recently installed steel fence and concrete pillars.			
45. SOURCE OF INFORMATION Building Permit #10000-1913; See Bibliography, sources: 1, 6, 7, 8, 10, 13, 29, 31, & 32.		46. PREPARED BY Brenda R. Spencer (785) 456-9857	
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION PO BOX 176 JEFFERSON CITY, MO 65102 PH 573-751-7858		47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.	
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM		48. DATE February 2000	
		49. REVISION DATE(S)	

PHOTO MUST  
BE PROVIDED



1700 interior stairway



1700

interior stairway



#10 1100 PASEO  
1/00 "Typical" Apartment interior



#9 1100 PASEO  
1/00 Tile at building entrance  
east elevation





#7 1100 PASEO

Building entrance  
East (front) elevation



#8 1100 PASEO

West (rear) elevation  
South (side) elevation  
from SW corner of building







#6 1100 PASEO  
Porch detail  
north (side) elevation



#5 1100 PASEO  
Porch detail (east elevation)



#3  
1/00  
1100 PASEO  
Pediment/cornice detail  
(east elevation)



#4  
1/00  
1100 PASEO  
North (side) elevation  
from NE corner of building







#2 1100 PASEO  
South (side) elevation  
from SE corner of building



#1 1100 PASEO  
East (front) elevation



## 1100 PASEO - CONTINUATION SHEET

### 42. FURTHER DESCRIPTION OF IMPORTANT FEATURES - Continued

pediments, egg-and-dart molding, brackets and garlands caps the entire building on the east and north facades and partially wraps around the south side. There are ashlar quoins on the east and north facades. Ashlar stone window enframement is typical on the east facade and upper story windows. The entrance doors on the east and north are enframed by ashlar columns and pediments. The west end of the north facade has two projecting bays that were originally open porches but were filled in partially with brick and partially with windows in the 1975 HUD project. Historic tile flooring at the entrance and original wood stairways are extant although the 1975 HUD project included substantial remodeling of the interior.

### 44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS - Continued

The north entrance, which abuts the sidewalk, is protected by a recently installed steel gate.





PARKVIEW HOTEL - 1000 PASEO - KANSAS CITY, MISSOURI

#13 1000 PASEO  
Date of postcards unknown  
Source: Parkview Homes'  
(current property owner)  
marketing packet



## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Virginia	
2. COUNTY Jackson		5. OTHER NAME(S)	
3. LOCATION OF NEGATIVES			
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS  1100 The Paseo Boulevard		16. THEMATIC CATEGORY	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		17. DATE(S) OR PERIOD 1911	
8. DESCRIPTION OF LOCATION Lot 8 and the north 11 feet of Lot 9; Block 2, Gates & Kendall's Second Addition See Attached Map		18. STYLE OR DESIGN Neo-Classical Colonnaded Apartment Bldg.	
9. COORDINATES UTM LAT LONG		19. ARCHITECT OR ENGINEER Owen & Payson	
10. SITE ( ) STRUCTURE ( ) BUILDING (X) OBJECT ( )		20. CONTRACTOR OR BUILDER J. W. McKamey	
11. ON NATIONAL REGISTER? YES ( ) NO ( )		21. ORIGINAL USE, IF APPARENT Apartments	
12. IS IT ELIGIBLE YES ( ) NO ( )		22. PRESENT USE Apartments	
13. PART OF ESTAB. HIST. DISTRICT YES ( ) NO (X)		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
14. DISTRICT POTENTIAL YES (X) NO ( )		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
15. NAME OF ESTABLISHED DISTRICT		25. OPEN TO PUBLIC YES ( ) NO (X)	
		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
		27. OTHER SURVEYS IN WHICH INCLUDED	
28. NO. OF STORIES 4-1/2		29. BASEMENT YES (X) NO ( ) full + partial sub basement (east end)	
30. FOUNDATION MATERIAL coursed ashlar cut stone-north & east		31. WALL CONSTRUCTION brick	
32. ROOF TYPE AND MATERIAL flat - membrane		33. NO. OF BAYS FRONT 3 SIDE 3	
34. WALL TREATMENT running bond brick		35. PLAN SHAPE rectangular - short facade	
36. CHANGES ADDITION ( ) (EXPLAIN IN ALTERED (X) NO. 42) MOVED ( )		37. CONDITION INTERIOR fair EXTERIOR good	
38. PRESERVATION UNDERWAY? YES ( ) NO (X)		39. ENDANGERED? YES (X) BY WHAT? NO ( ) vacant, blighted area, lack of maintenance	
40. VISIBLE FROM PUBLIC ROAD YES (X) NO ( )		41. DISTANCE FROM AND FRONTAGE ON ROAD	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The east facade has a full-height colonnaded porch with brick columns on the lower levels and wooden columns on the upper level. The porch has a substantial intermediate cornice and a cornice at the top. The railings on the porch were replaced in 1975. The base of the building (first floor) is a dark brick with alternating raised and recessed bands. The upper walls are red brick. A pressed metal cornice with			
43. HISTORY AND SIGNIFICANCE This colonnaded apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9 <sup>th</sup> Street and 14 <sup>th</sup> Street through the construction of elite apartment housing in the years 1901 through 1913. See Historic Context of proposed district.  The 1911 Building Permit identifies W. A. Pateet as the property owner. The building was designed by Owen & Payson, Architects. In 1908 Charles Payson and Albert Owen formed an architectural practice in Kansas City. The firm designed a variety of buildings, including a number of schools, commercial buildings, residences, and distinctive apartments. Part of their legacy is active support of professional architectural organizations; they were both involved in the Kansas City Architectural Club founded in 1901 and the Kansas City Chapter of the AIA.			
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The primary facade faces The Paseo and the secondary facade faces 11 <sup>th</sup> Street. The adjacent lot to the south is occupied by an apartment building. North of the intersection of 11 <sup>th</sup> and Paseo is a non-contributing structure. The lawn at the east entrance is surrounded by a recently installed steel fence and concrete pillars.			
45. SOURCE OF INFORMATION Building Permit 10041-1911; See Bibliography, sources: 1, 7, 13, 18, 29, 31 & 32.		46. PREPARED BY Brenda R. Spencer (785) 456-9857	
47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.		48. DATE February 2000	
49. REVISION DATE(S)			
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION PO BOX 176 JEFFERSON CITY, MO 65102 PH. 573-751-7858			
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM			

PHOTO MUST  
BE PROVIDED



1000 PASEO  
#11  
"Typical" Apartment Interior  
1/00



1000 PASEO  
#12  
"Typical" Interior corridor  
1/00







#10 1000 PASEO  
1/00 Building entry (east elevation)



#9 1000 PASEO  
1/00 Apartment Interior  
under remodeling due to fire  
note tile floor



#7 1000 PASEO  
1/00 Window detail (north elevation)



#8 1000 PASEO  
1/00 Porch entry (north elevation)







#6 1000 PASEO  
1/00 Porch detail (east elevation)



#5 1000 PASEO  
1/00 South east corner of building



#3 1000 PASEO  
South (rear) elevation  
1/00



#4 1000 PASEO  
West (side) elevation  
from NW corner of building  
1/00







#1 1000 PASEO  
East (front) elevation



#2 1000 PASEO  
North (side) elevation  
from NE corner of building





"THE MAPLES" APARTMENT BUILDING, KANSAS CITY, MO.

EDWARDS & SUNDERLAND, ARCHITECTS.

#13 1401 E. 10th Street  
1906 Source: Inland Architect and  
News Record, June, 1906



## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Parkview	
2. COUNTY Jackson		5. OTHER NAME(S) Alameda Hotel, Parkview Hotel; Dr. McCleary's Parkview Hotel & Sanitarium	
3. LOCATION OF NEGATIVES			
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS 1000 The Paseo Boulevard		16. THEMATIC CATEGORY	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		17. DATE(S) OR PERIOD 1912	
8. DESCRIPTION OF LOCATION Lots 7 thru 10, Block B, Pratts Addition See Attached Map		18. STYLE OR DESIGN Neo-Classical Colonnaded Building with Prairie influenced details	
9. COORDINATES UTM LAT LONG		19. ARCHITECT OR ENGINEER G. B. Sloan	
10. SITE ( ) BUILDING (X) STRUCTURE ( ) OBJECT ( )		20. CONTRACTOR OR BUILDER Walter M. Davis	
11. ON NATIONAL REGISTER? YES ( ) NO ( )		21. ORIGINAL USE, IF APPARENT Hotel	
12. IS IT ELIGIBLE YES ( ) NO ( )		22. PRESENT USE Apartments	
13. PART OF ESTAB. HIST. DISTRICT YES ( ) NO (X)		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
14. DISTRICT POTENTIAL YES (X) NO ( )		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
15. NAME OF ESTABLISHED DISTRICT		25. OPEN TO PUBLIC YES ( ) NO (X)	
		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
		27. OTHER SURVEYS IN WHICH INCLUDED	
		28. NO. OF STORIES 5-1/2	
		29. BASEMENT full YES (X) NO ( )	
		30. FOUNDATION MATERIAL natural faced, random coursed stone	
		31. WALL CONSTRUCTION brick	
		32. ROOF TYPE AND MATERIAL flat - membrane	
		33. NO. OF BAYS FRONT 5 SIDE 1	
		34. WALL TREATMENT running bond brick	
		35. PLAN SHAPE 'U'	
		36. CHANGES (EXPLAIN IN NO. 42) ADDITION ( ) ALTERED (X) MOVED ( )	
		37. CONDITION INTERIOR fair EXTERIOR good	
		38. PRESERVATION UNDERWAY? YES ( ) NO (X)	
		39. ENDANGERED? BY WHAT? YES (X) NO ( ) blighted area, lack of maintenance	
		40. VISIBLE FROM PUBLIC ROAD YES (X) NO ( )	
		41. DISTANCE FROM AND FRONTAGE ON ROAD	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The four-story porch has been modified slightly with the replacement of the handrails and two of the floor slabs. The porch sets atop a dark brick base with ashlar stone banding. Projecting pressed-metal cornices cap the porch projection and the top of the building. On the east facade, the windows are grouped in sets of three double-hung windows. On the north facade the first floor windows are either single double-hung			
43. HISTORY AND SIGNIFICANCE This colonnaded hotel building, constructed in 1912, is architecturally compatible with the apartment buildings constructed along The Paseo Boulevard between 9 <sup>th</sup> Street and 14 <sup>th</sup> Street between the years of 1901 and 1913. See historic context for proposed district.			
A 1912 building permit identifies Walter M. Davis as the owner of the property at the time of construction. Mr. Davis was also the owner/builder of other apartment buildings in the area including 930, 1300, and 1304 Paseo. A 1913 building permit identifies rebuilding fire damage of the "Alameda" Hotel. Two historic postcards identify the property as Parkview Hotel and Dr. McCleary's Parkview Hotel and Sanitarium, dates unknown.			
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The primary facade faces The Paseo and the secondary facade faces 10 <sup>th</sup> Street. The adjacent lot to the south is vacant and is used for a parking lot. North of the intersection of 10th and Paseo, there is an apartment building. The entrance on the east side of the building is raised several feet above the level of the sidewalk and there are stairs at the north and			
45. SOURCE OF INFORMATION Building Permits 10605-1912, 54345-1913; See Bibliography, sources: 1, 7, 9, 13, 23, 25, 29, 31, & 32.		46. PREPARED BY Brenda R. Spencer (785) 456-9857	
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION PO BOX 176		47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.	
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM		48. DATE February 2000	
		49. REVISION DATE(S)	

PHOTO MUST  
BE PROVIDED



## 1000 PASEO - CONTINUATION SHEET

### 42. FURTHER DESCRIPTION OF IMPORTANT FEATURES - Continued

windows or are grouped in sets of four double-hung windows. On all of the other facades the windows are either single or paired double-hung windows with exception of the first floor windows, which are in groups of three. The upper floor windows are enframed with ashlar stone blocks and all windows have ashlar stone sills. On the north facade there are two projecting bays, which occur at the second through fourth floors, with three windows in each bay. Pressed metal cornices cap each projecting bay. There are ashlar stone bands below the second floor windows and the upper floor windows. The stone foundation wall is coated with stucco on the north facade. There is historic floor tile extant in some parts of the interior. The windows and doors were replaced and the interior was remodeled during a HUD project in 1975. A 1937 building permit notes interior remodeling. According to a building permit, rear and front porches were added in 1953.

### 44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS - Continued

south ends of the first floor porch to access the main entrance.



#11  
1401 E. 10th STREET  
Apartment Interior  
(Under remodeling due to fire)



#12  
1401 E. 10th STREET  
Existing terrazzo/tile  
in apartment (possible  
former fireplace hearth)







#10 1401 E. 10th STREET  
Replacement window -  
exterior view



#9 1401 E. 10th STREET  
"Typical" Apartment interior



#7 1401 E. 10th STREET  
1/00 Entry detail (north elevation)



#8 1401 E. 10th STREET  
1/00 Interior terrazzo stairway







#6  
1401 E. 10th STREET  
East (side) elevation  
from NE corner of building



#5  
1401 E. 10th STREET  
Porch and cornice detail  
(North elevation)



#3 1401 E. 10th STREET.  
Porch detail (north elevation)  
1/00



#4 1401 E. 10th STREET  
Cornice detail (north elevation)  
1/00







#1 1401 E. 10th STREET  
North (front) elevation &  
West (side) elevation  
from NW corner of building



#2 1401 E. 10th STREET  
South (rear) elevation

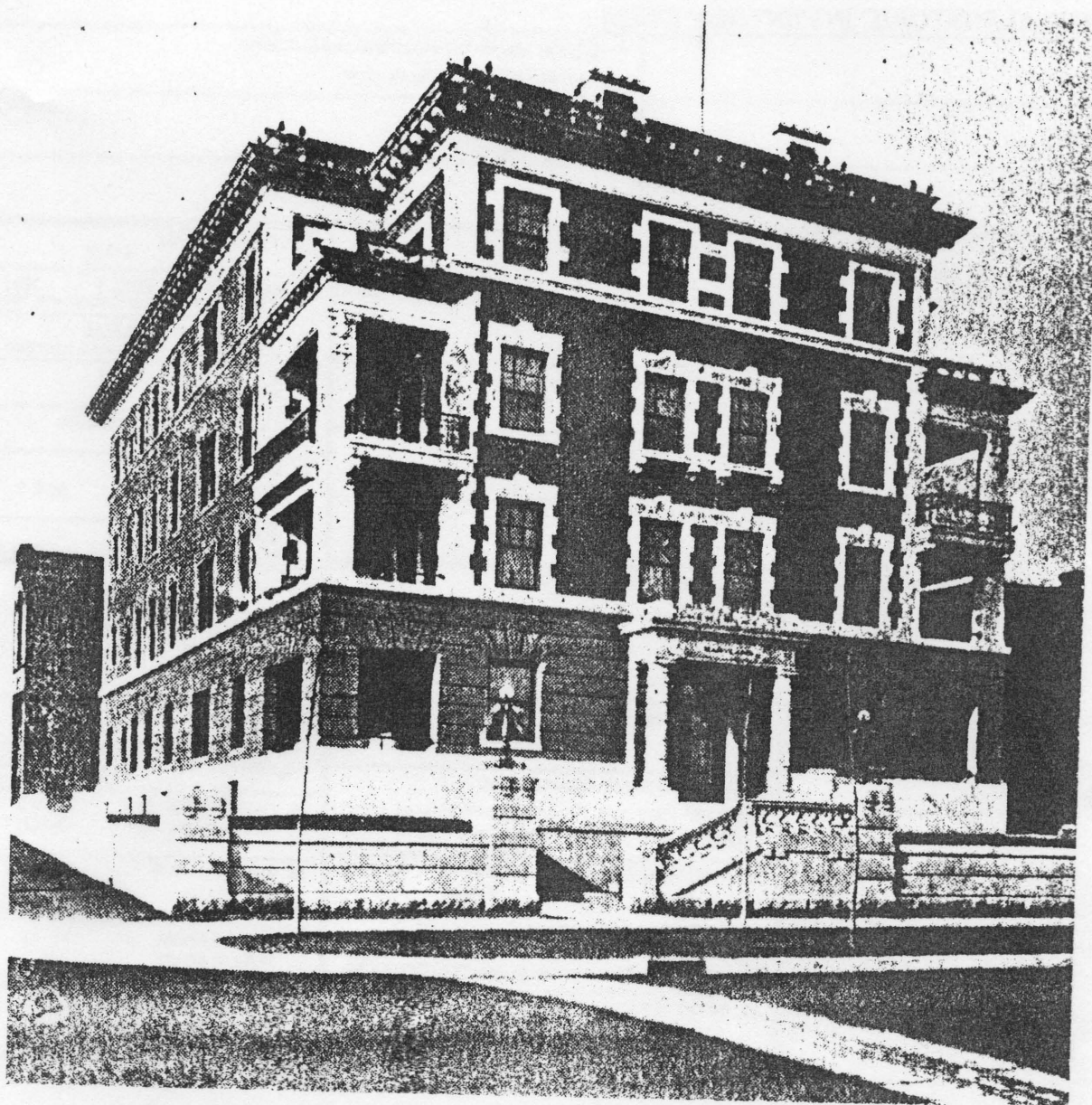


**1401 E. 10th STREET - CONTINUATION SHEET**

**42. FURTHER DESCRIPTION OF IMPORTANT FEATURES - Continued**

windows were replaced, a few windows on the secondary facades were filled with masonry, and the interior was remodeled during a HUD project in 1975.





#13 930 PASEO  
1902 Source: Kansas City Illustrated



## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The August	
2. COUNTY Jackson		5. OTHER NAME(S) The Maples Apartments	
3. LOCATION OF NEGATIVES			
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS 1401 East 10th Street		16. THEMATIC CATEGORY	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		17. DATE(S) OR PERIOD circa 1906	
8. DESCRIPTION OF LOCATION Lot 1, Block B, Pratts Addition See Attached Map		18. STYLE OR DESIGN Neo-Classical Colonnaded Apartment Building w/ Prairie Influences	
9. COORDINATES UTM LAT LONG		19. ARCHITECT OR ENGINEER Edwards & Sunderland	
10. SITE ( ) BUILDING (X) STRUCTURE ( ) OBJECT ( )		20. CONTRACTOR OR BUILDER unknown	
11. ON NATIONAL REGISTER? YES ( ) NO ( )		21. ORIGINAL USE, IF APPARENT Apartments	
12. IS IT ELIGIBLE YES ( ) NO ( )		22. PRESENT USE Apartments	
13. PART OF ESTAB. HIST. DISTRICT YES ( ) NO (X)		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
14. DISTRICT POTENTIAL YES (X) NO ( )		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
15. NAME OF ESTABLISHED DISTRICT		25. OPEN TO PUBLIC YES ( ) NO (X)	
		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
		27. OTHER SURVEYS IN WHICH INCLUDED	
28. NO. OF STORIES 4-1/2		29. BASEMENT YES ( ) NO ( ) full + partial sub-basement (east side)	
30. FOUNDATION MATERIAL natural faced, random coursed stone		31. WALL CONSTRUCTION brick	
32. ROOF TYPE AND MATERIAL flat - membrane		33. NO. OF BAYS FRONT 5 SIDE 1	
34. WALL TREATMENT Flemish bond red brick w/ dark klinkers		35. PLAN SHAPE rectangular - long facade	
36. CHANGES ADDITION ( ) ALTERED (X) MOVED ( ) (EXPLAIN IN NO. 42)		37. CONDITION INTERIOR fair EXTERIOR good	
38. PRESERVATION UNDERWAY? YES ( ) NO (X)		39. ENDANGERED? YES (X) NO ( ) BY WHAT? blighted area, lack of maintenance	
40. VISIBLE FROM PUBLIC ROAD YES (X) NO ( )		41. DISTANCE FROM AND FRONTAGE ON ROAD	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The three-story porches have modified Ionic columns. There is a very wide wooden cornice with dentils and brackets. A cornice projects from the exterior wall at between the third and fourth stories. The windows typically have stone sills. The upper story windows have stone lintels (flat arches with keystones.) There is extant terrazzo and tile flooring and stairs at the entrances and on the interior. The porch railings and			
43. HISTORY AND SIGNIFICANCE This colonnaded apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9th Street and 14th Street through the construction of elite apartment housing in the years 1901 through 1913. See Historic Context for the proposed district.  The Maple's Apartment Building was designed by Edwards & Sunderland, Architects circa 1906. Around the same time, Edwards & Sunderland were responsible for the design of the New England Apartments at 1116 Paseo. Both buildings were featured in Inland Architect & News Record in June and May 1906 respectively.			
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The primary facade faces 10th Street and the secondary facade faces Lydia. The porches on the primary facade abut the sidewalk. The adjacent lot to the east contains an apartment building. A one-story concrete block warehouse is located on the adjacent lot to the south.			
45. SOURCE OF INFORMATION See Bibliography, sources: 1, 7, 12, 13, 29, 31, and 32.		46. PREPARED BY Brenda R. Spencer (785) 456-9857	
47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.		48. DATE February 2000	
49. REVISION DATE(S)			
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION PO BOX 176 JEFFERSON CITY, MO 65102 PH. 573-751-7858			
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM			

PHOTO MUST  
BE PROVIDED





#11 930 PASEO  
Interior dropped ceiling detail  
(Former water damage)



#12 930 PASEO  
"Typical" Apartment Interior





#10 930 PASEO  
1/00 2nd floor interior stairway

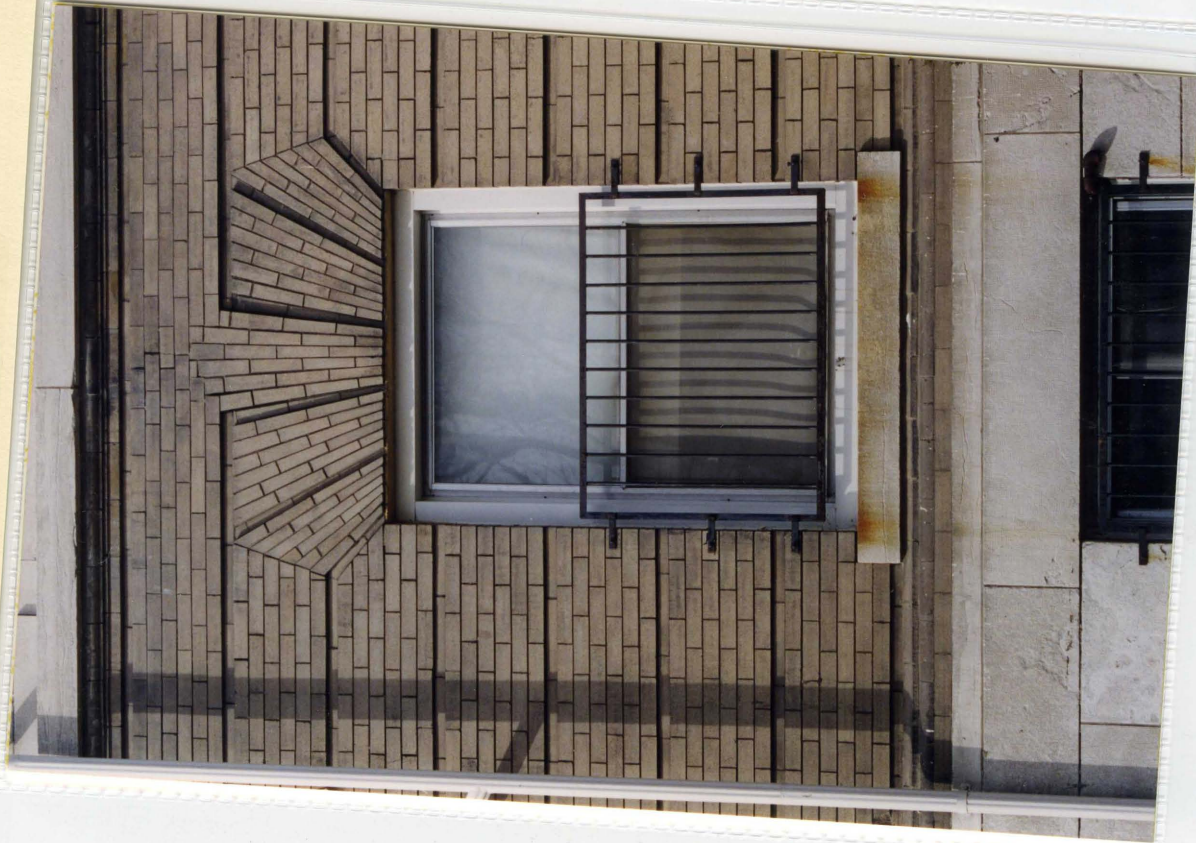


#9 930 PASEO  
1/00 1st floor interior stairway



#8

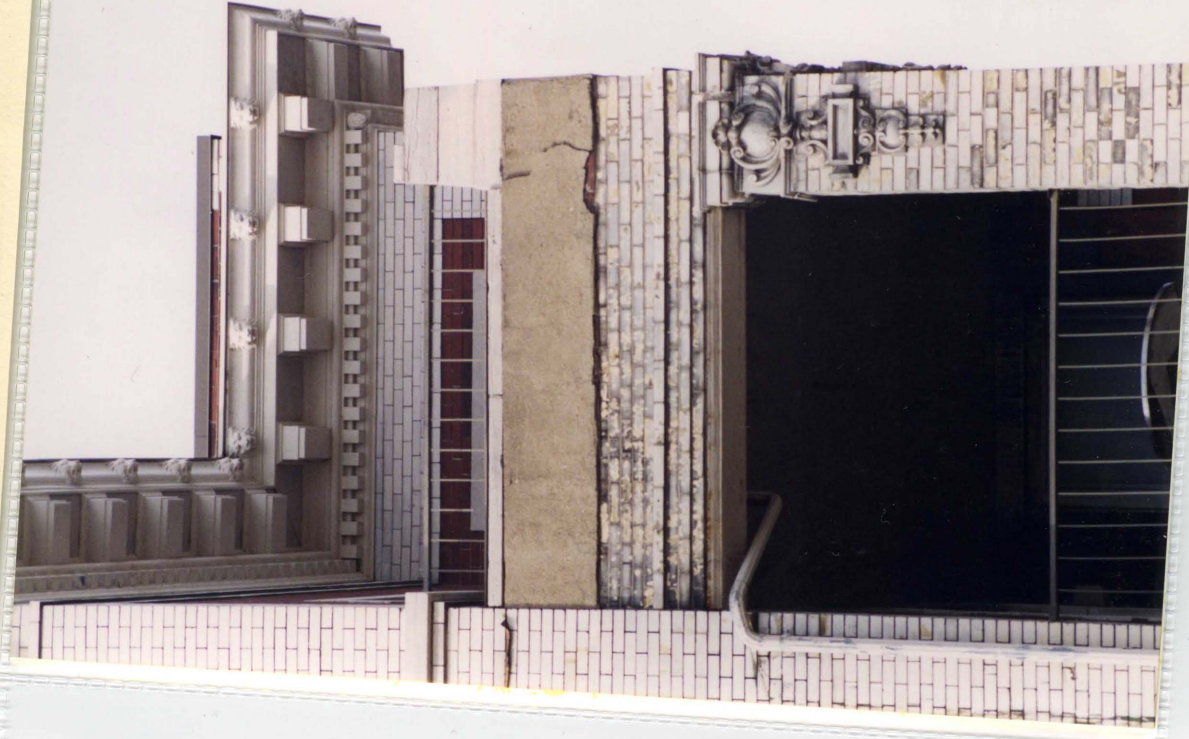
930 PASEO  
Window detail  
1st floor-east elevation



#7

930 PASEO  
Porch and cornice detail  
(East elevation)

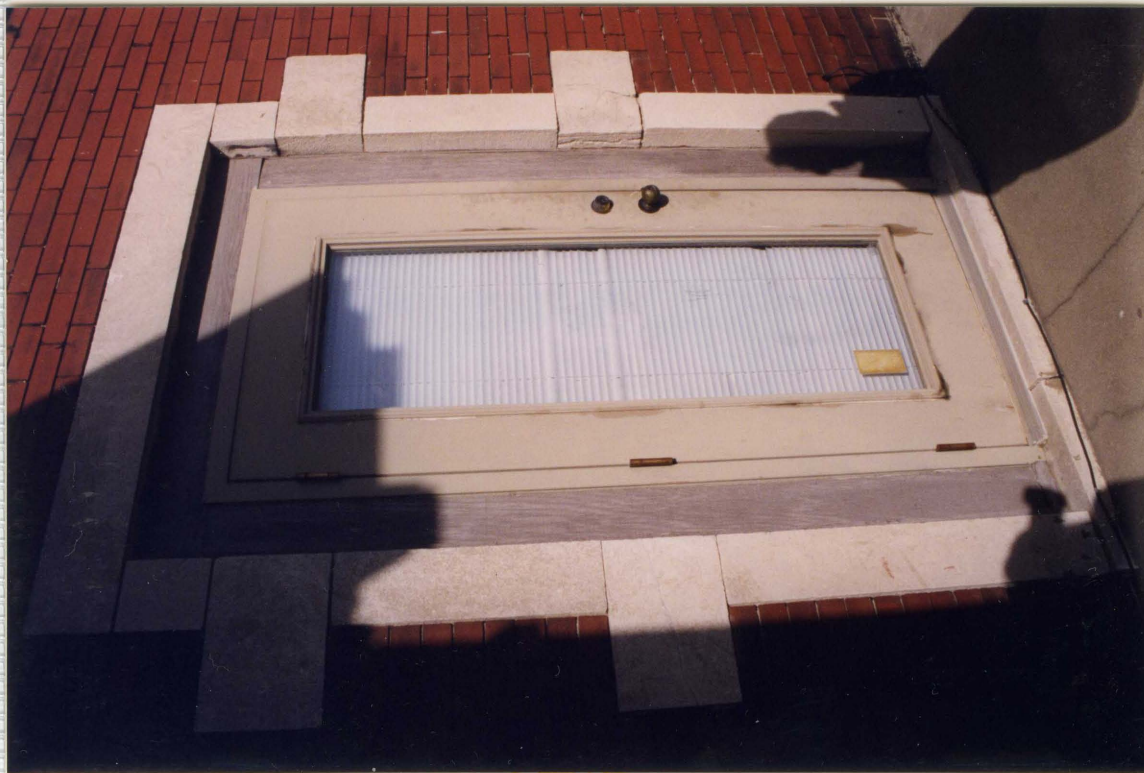
1/00







#5 930 PASEO  
Entry detail (east elevation)  
1/00



#6 930 PASEO  
Porch doorway (2nd level)  
1/00



#3 930 PASEO  
South (side) elevation  
from SE corner of building  
1/00



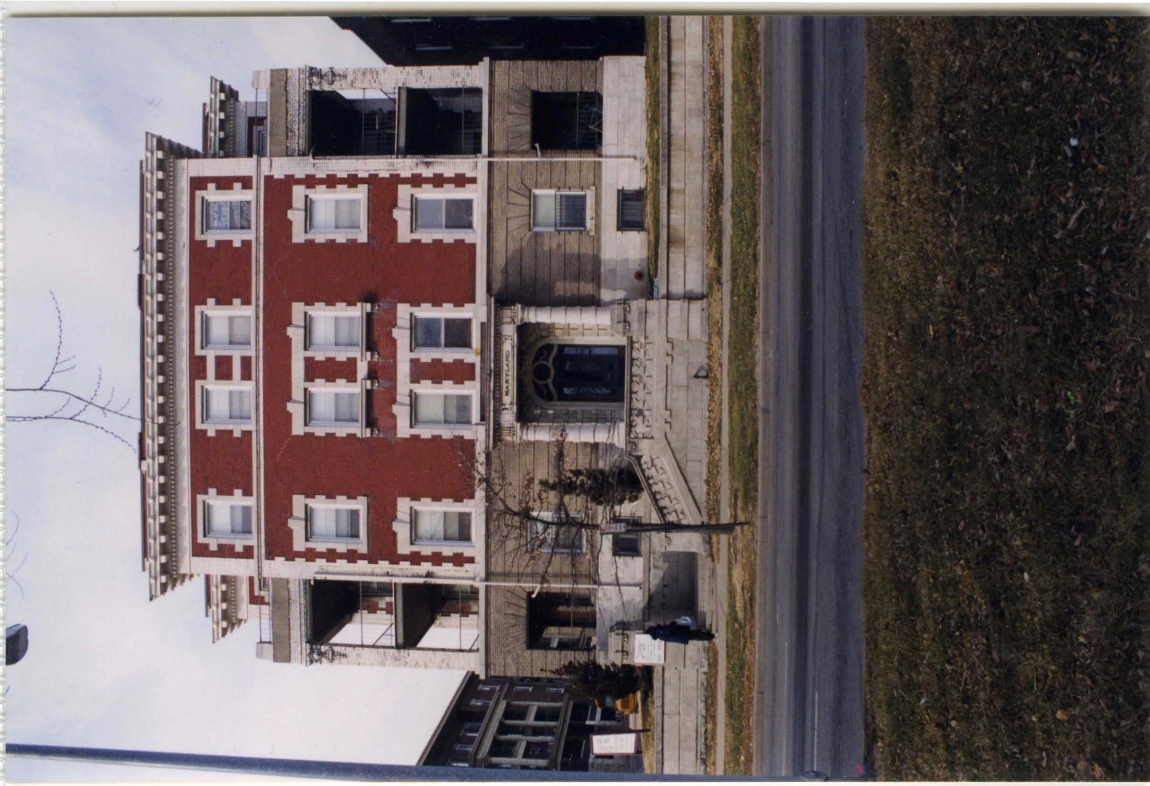
#4 930 PASEO (right)  
West (rear) elevation  
1/00







#2 930 PASEO  
North (side) elevation  
from NW corner of building



#1 930 PASEO  
East (front) elevation



## 930 PASEO - CONTINUATION SHEET

### 42. FURTHER DESCRIPTION OF IMPORTANT FEATURES - Continued

"quoins" and porch columns are white glazed brick. The porch columns have ornamental terra cotta details at the top. The window surrounds on the second, third and fourth floors are ashlar stone. The main entrance on the east facade is an entablature on columns. The east door is surrounded by elaborate cut stone. The interior wood stairway is intact. A 1917 building permit notes that sleeping porches were added over the stairs. The porch railings, porch steps, doors, and windows were replaced, a rear fire escape was added, and the interior was remodeled during a HUD project in 1975.

### 44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS - Continued

with Neo-Classical detailing adjacent to the sidewalk.



#13  
1975

928 PASEO  
Source: 1975 Drawings  
for HUD remodeling  
William Johnson, Architect





## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Maryland	
2. COUNTY Jackson		5. OTHER NAME(S)	
3. LOCATION OF NEGATIVES			

6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS  930 The Paseo Boulevard		16. THEMATIC CATEGORY		28. NO. OF STORIES 4-1/2	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		17. DATE(S) OR PERIOD 1901		29. BASEMENT YES (X) NO ( ) full	
8. DESCRIPTION OF LOCATION (Southern Section) Lots 11 Thru 14 of Block A, Pratts Addition (924, 928, and 930 Paseo are combined in one legal description). See Attached Map		18. STYLE OR DESIGN Neo-Classical		30. FOUNDATION MATERIAL coursed, ashlar stone	
9. COORDINATES UTM LAT LONG		19. ARCHITECT OR ENGINEER unknown		31. WALL CONSTRUCTION brick	
10. SITE ( ) STRUCTURE ( ) BUILDING (X) OBJECT ( )		20. CONTRACTOR OR BUILDER unknown		32. ROOF TYPE AND MATERIAL flat - membrane	
11. ON NATIONAL REGISTER? YES ( ) NO ( )		21. ORIGINAL USE, IF APPARENT Apartments		33. NO. OF BAYS FRONT 3; 5 w/ porches SIDE 6	
12. IS IT ELIGIBLE YES ( ) NO ( )		22. PRESENT USE Apartments		34. WALL TREATMENT running bond brick	
13. PART OF ESTAB. HIST. DISTRICT YES ( ) NO (X)		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)		35. PLAN SHAPE rectangular - short facade	
14. DISTRICT POTENTIAL YES (X) NO ( )		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331		36. CHANGES ADDITION ( ) (EXPLAIN IN ALTERED (X) NO. 42) MOVED ( )	
15. NAME OF ESTABLISHED DISTRICT		25. OPEN TO PUBLIC YES ( ) NO (X)		37. CONDITION INTERIOR fair EXTERIOR good	
		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122		38. PRESERVATION UNDERWAY? YES ( ) NO (X)	
		27. OTHER SURVEYS IN WHICH INCLUDED		39. ENDANGERED? YES (X) NO ( ) BY WHAT? blighted area, lack of maintenance	
				40. VISIBLE FROM PUBLIC ROAD YES (X) NO ( )	
				41. DISTANCE FROM AND FRONTAGE ON ROAD	

42. FURTHER DESCRIPTION OF IMPORTANT FEATURES  
The first floor exterior material is tan brick that is banded and detailed to mimic rusticated stonework. There is a stone band between the brick of the first floor and the red brick of the upper floors. There is additional stone banding below the fourth floor windows. There is glazed white brick below the cornice. The projecting cornice is pressed metal with ornamentation that includes dentils, brackets, and lion heads. The

43. HISTORY AND SIGNIFICANCE  
This apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9<sup>th</sup> Street and 14<sup>th</sup> Street through the construction of elite apartment housing in the years 1901 through 1913. See Historic Context for the proposed district.

A 1901 water permit identifies Walter M. Davis as owner of the property. Mr. Davis was also owner/builder of the Alameda/Parkview Hotel at 1000 Paseo and the Missouri and Maine apartment buildings at 1300 and 1304 Paseo.

44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS  
The primary facade faces The Paseo and the secondary facade faces 10<sup>th</sup> Street. The adjacent lots to the north contain apartment buildings. South of the intersection of 10th and Paseo, there is an apartment building. The lawn at the east and south side of the building is raised several feet above the level of the sidewalk and there is an ashlar limestone retaining wall

45. SOURCE OF INFORMATION Water Permit #1817, 1901; See Bibliography, sources: 1, 7, 9, 13, 14, 29, 30, & 32.

46. PREPARED BY  
Brenda R. Spencer (785) 456-9857

47. ORGANIZATION  
for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.

48. DATE February 2000

49. REVISION DATE(S)

RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION  
PO BOX 176  
JEFFERSON CITY, MO 65102  
PH 573-751-7858

IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM

PHOTO MUST  
BE PROVIDED



#13 924 PASEO  
1975 Source: 1975 Drawings  
for HUD remodeling  
William Johnson, Architect





## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Lee Building	
2. COUNTY Jackson		5. OTHER NAME(S) The Ellsworth	
3. LOCATION OF NEGATIVES			
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS  928 The Paseo Boulevard		16. THEMATIC CATEGORY  17. DATE(S) OR PERIOD circa 1906	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		18. STYLE OR DESIGN Colonnaded Apartment Building	
8. DESCRIPTION OF LOCATION (Center Section) Lots 11 Thru 14 of Block A, Pratts Addition (924, 928, and 930 Paseo are combined in one legal description). See Attached Map		19. ARCHITECT OR ENGINEER unknown	
9. COORDINATES UTM LAT LONG		20. CONTRACTOR OR BUILDER unknown	
10. SITE ( ) BUILDING (X)		21. ORIGINAL USE, IF APPARENT Apartments	
11. ON NATIONAL REGISTER? YES ( ) NO ( )		22. PRESENT USE Apartments	
12. IS IT ELIGIBLE YES ( ) NO ( )		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
13. PART OF ESTAB. HIST. DISTRICT YES ( ) NO (X)		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
14. DISTRICT POTENTIAL YES (X) NO ( )		25. OPEN TO PUBLIC YES ( ) NO (X)	
15. NAME OF ESTABLISHED DISTRICT		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
		27. OTHER SURVEYS IN WHICH INCLUDED	
		28. NO. OF STORIES 3-1/2	
		29. BASEMENT YES (X) NO ( ) full	
		30. FOUNDATION MATERIAL natural faced, coursed, rubble stone	
		31. WALL CONSTRUCTION brick	
		32. ROOF TYPE AND MATERIAL flat - membrane	
		33. NO. OF BAYS FRONT 3 SIDE 1	
		34. WALL TREATMENT running bond brick (painted)	
		35. PLAN SHAPE rectangular - short facade	
		36. CHANGES ADDITION ( ) (EXPLAIN IN ALTERED (X) NO. 42) MOVED ( )	
		37. CONDITION INTERIOR fair EXTERIOR good	
		38. PRESERVATION UNDERWAY? YES ( ) NO (X)	
		39. ENDANGERED? YES (X) BY WHAT? NO ( ) vacant, blighted area, lack of maintenance	
		40. VISIBLE FROM PUBLIC ROAD YES (X) NO ( )	
		41. DISTANCE FROM AND FRONTAGE ON ROAD	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The upper facade is ornamented with brick corbelling. The front corners of the building are ornamented with alternating bands (quoins) of white glazed brick and red brick. The three-story porch has full-height columns of white glazed brick. The historic doors, sidelights, transom windows, and interior stairway are intact. The porch railings, front steps, and windows were replaced, a rear fire escape was added, and the interior was remodeled during a HUD project in 1975.			
43. HISTORY AND SIGNIFICANCE This colonnaded apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9 <sup>th</sup> Street and 14 <sup>th</sup> Street through the construction of elite apartment housing in the years 1901 through 1913. See historic context for proposed district.			
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The property faces The Paseo. Adjacent lots to the north and south contain apartment buildings. The lawn at the front of the building is raised several feet above the level of the sidewalk and there is a natural-faced and coursed limestone retaining wall, which matches the stone foundation wall, near the sidewalk.			
45. SOURCE OF INFORMATION See Bibliography, sources: 1, 7, 9, 13, 29, 31, and 32.		46. PREPARED BY Brenda R. Spencer (785) 456-9857	
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION PO BOX 176		47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.	
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM		48. DATE February 2000	
		49. REVISION DATE(S)	

PHOTO MUST  
BE PROVIDED





#2 928 PASEO  
North (side) elevation  
from NE corner of building



#1 928 PASEO  
East (front) elevation



#4 928 PASEO  
West (rear) elevation and  
south (side) elevation  
from sw corner of building



#3 928 PASEO  
Porch detail (east elevation)







#5 928 PASEO  
1/00 Porch detail (east elevation)



#6 928 PASEO  
1/00 Transom at east entry



#7 928 PASEO  
1/00 1st floor interior stairway



#8 928 PASEO  
1/00 2nd floor interior stairway







#9 928 PASEO  
1/00 Stair detail



#10 928 PASEO  
1/00 2nd floor entry to porch (east)



#11 928 PASEO  
"Typical" Interior Corridor  
1/00



#12 928 PASEO  
"Typical" Apartment Interior  
1/00





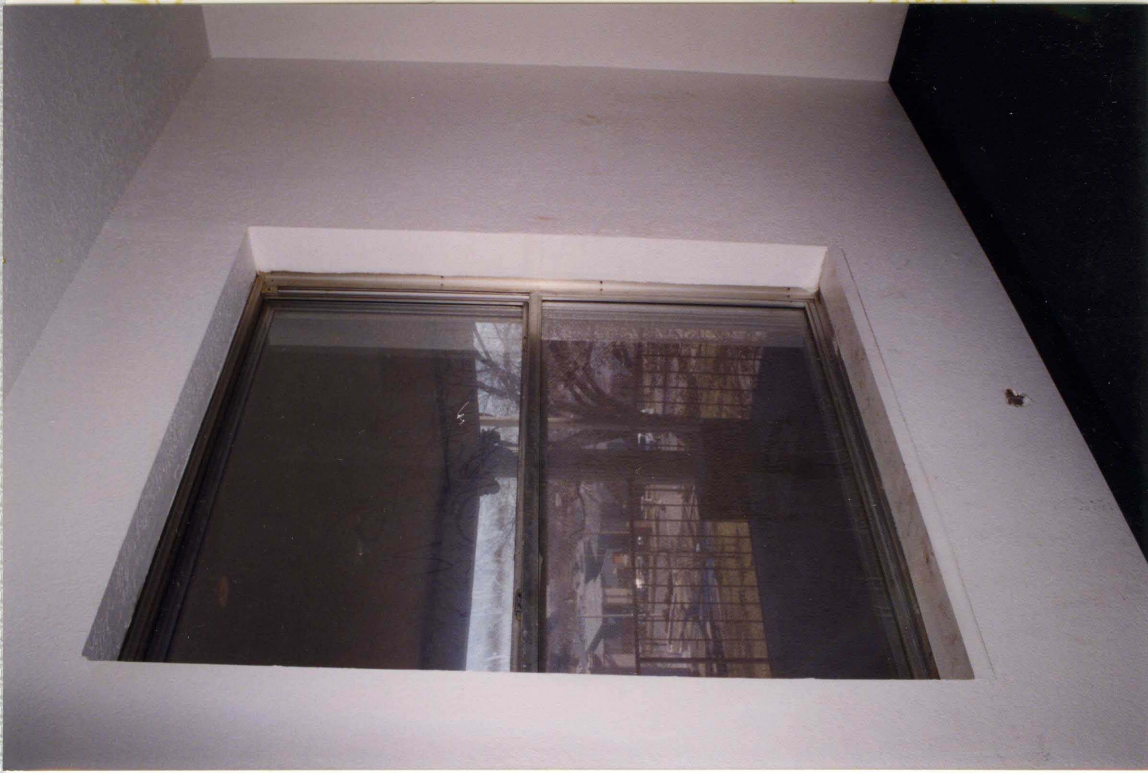
#11 924 PASEO  
"Typical" Apartment Interior  
1/00



#12 924 PASEO  
"Typical" Apartment Interior  
1/00







#9 924 PASEO  
Interior view  
replacement windows  
1/00



#10 924 PASEO  
"Typical" Interior Corridor  
1/00



#7 924 PASEO  
South (side) elevation  
at southwest corner of building



#8 924 PASEO  
West (rear) elevation







#5 924 PASEO  
1/00 Porch detail (east elevation)



#6 924 PASEO  
1/00 South (side) elevation-west end





#4 924 PASEO  
Exterior view of replacement  
windows (on porch)



#3 924 PASEO (right)  
Southeast corner of building





#1 924 PASEO  
East (front) elevation  
1/00



#2 924 PASEO  
North (side) elevation  
from NE corner of building  
1/00



## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Kessler Building	
2. COUNTY Jackson		5. OTHER NAME(S)	
3. LOCATION OF NEGATIVES			
6. SPECIFIC LEGAL LOCATION TOWNSHIP 49 RANGE 33 SECTION 4 IF CITY OR TOWN, STREET ADDRESS  924 The Paseo Boulevard		16. THEMATIC CATEGORY  17. DATE(S) OR PERIOD between 1896-1909	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		18. STYLE OR DESIGN Colonnaded Apt. Bldg. — Queen Anne w/ Neo Classical modifications	
8. DESCRIPTION OF LOCATION (Northern Section) Lots 11 Thru 14 of Block A, Pratts Addition (924, 928, and 930 Paseo are combined in one legal description). See Attached Map		19. ARCHITECT OR ENGINEER unknown	
9. COORDINATES UTM LAT LONG		20. CONTRACTOR OR BUILDER unknown	
10. SITE ( ) STRUCTURE ( ) BUILDING (X) OBJECT ( )		21. ORIGINAL USE, IF APPARENT Apartments	
11. ON NATIONAL YES ( ) REGISTER? NO ( )		22. PRESENT USE Apartments	
12. IS IT YES ( ) ELIGIBLE NO ( )		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
13. PART OF ESTAB. YES ( ) HIST. DISTRICT NO (X)		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
14. DISTRICT YES (X) POTENTIAL NO ( )		25. OPEN TO PUBLIC YES ( ) NO (X)	
15. NAME OF ESTABLISHED DISTRICT		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
		27. OTHER SURVEYS IN WHICH INCLUDED	
		28. NO. OF STORIES 2-1/2	
		29. BASEMENT YES (X) NO ( ) partial	
		30. FOUNDATION MATERIAL natural faced, coursed, rubble stone	
		31. WALL CONSTRUCTION brick	
		32. ROOF TYPE AND MATERIAL flat - membrane	
		33. NO. OF BAYS FRONT 2; 3 on porch SIDE 4	
		34. WALL TREATMENT running bond red brick	
		35. PLAN SHAPE rectangular - short facade	
		36. CHANGES ADDITION (X) (EXPLAIN IN ALTERED (X) NO. 42) MOVED ( )	
		37. CONDITION INTERIOR good EXTERIOR good	
		38. PRESERVATION YES ( ) UNDERWAY? NO (X)	
		39. ENDANGERED? YES (X) BY WHAT? NO ( ) blighted area, lack of maintenance	
		40. VISIBLE FROM YES (X) PUBLIC ROAD NO ( )	
		41. DISTANCE FROM AND FRONTAGE ON ROAD	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The upper facade is ornamented with brick corbelling. The two-story porch with modified Ionic columns is not part of the original construction but was added along with a rear addition between 1925 - 1940. The existing porch replaced a smaller porch located in the void of the 'L' on the SE corner of the building. The porch railings and floor, front steps, windows, and doors were replaced and the interior was remodeled during a HUD project in 1975.			
43. HISTORY AND SIGNIFICANCE This colonnaded apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9th Street and 14th Street through the construction of elite apartment housing in the years 1901 through 1913. See Historic Context for proposed district.			
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The property faces The Paseo. The half-block to the north of this building is vacant. Adjacent lots to the south contain apartment buildings. The lawn at the front of the building is raised several feet above the level of the sidewalk and there is a natural-faced and coursed limestone retaining wall, which matches the stone foundation wall, near the sidewalk.			
45. SOURCE OF INFORMATION See Bibliography, sources: 1, 3, 7, 9, 13, 29, 31, and 32.		46. PREPARED BY Brenda R. Spencer (785) 456-9857	
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION PO BOX 176		47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.	
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM		48. DATE February 2000	
		49. REVISION DATE(S)	

PHOTO MUST  
BE PROVIDED

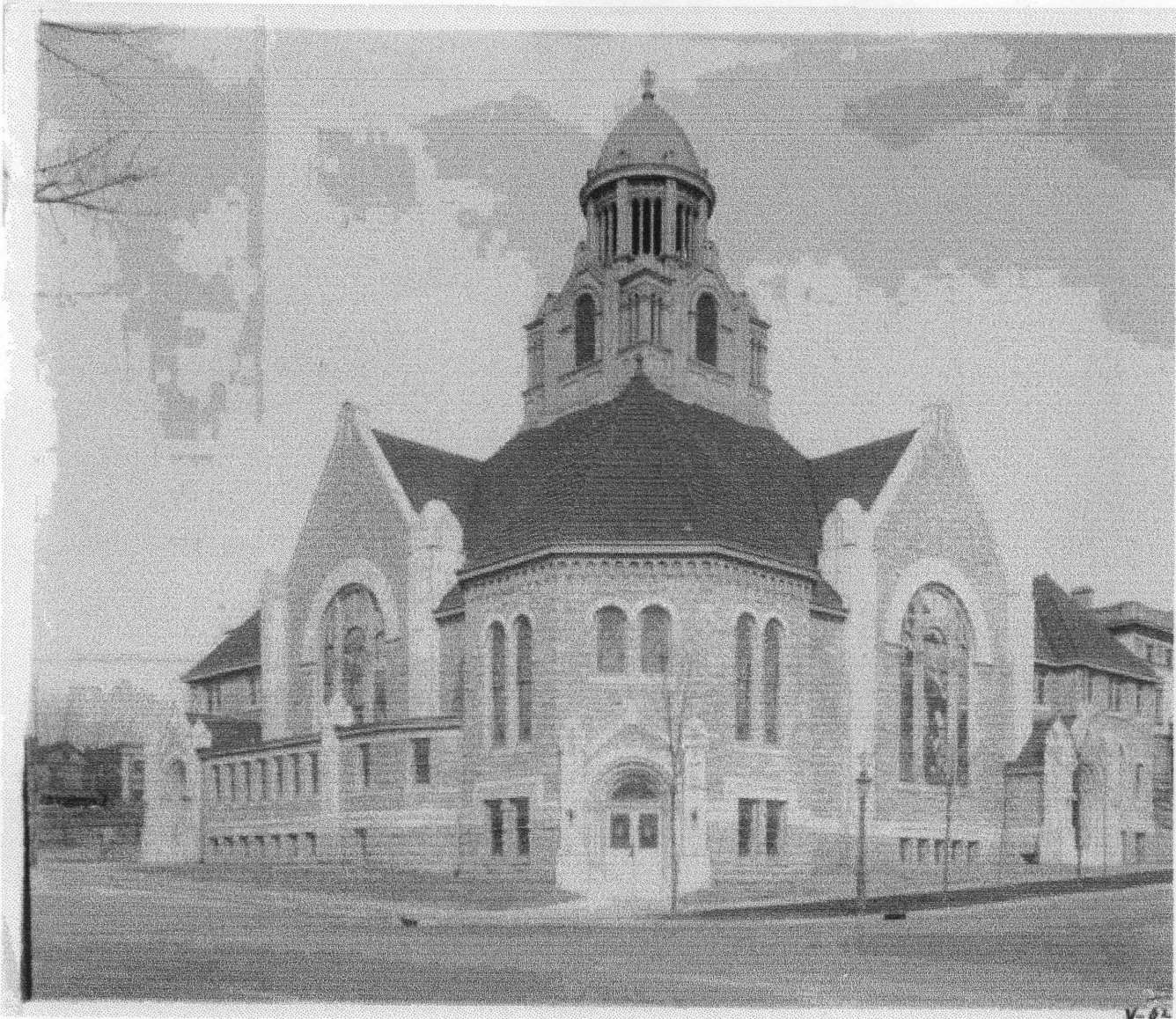


## Images of Kansas City

[Photographs](#) [Postcards](#) [Maps](#) [Biographies](#) [Exhibits](#)

### Photographs

Central Methodist Church, 11th and Paseo, full frontal and side view.



**Location:**  
Churches--Methodist  
#6

Negative Number: V-626-6  
Dimensions: 8x10  
Identifier Number: 10001716

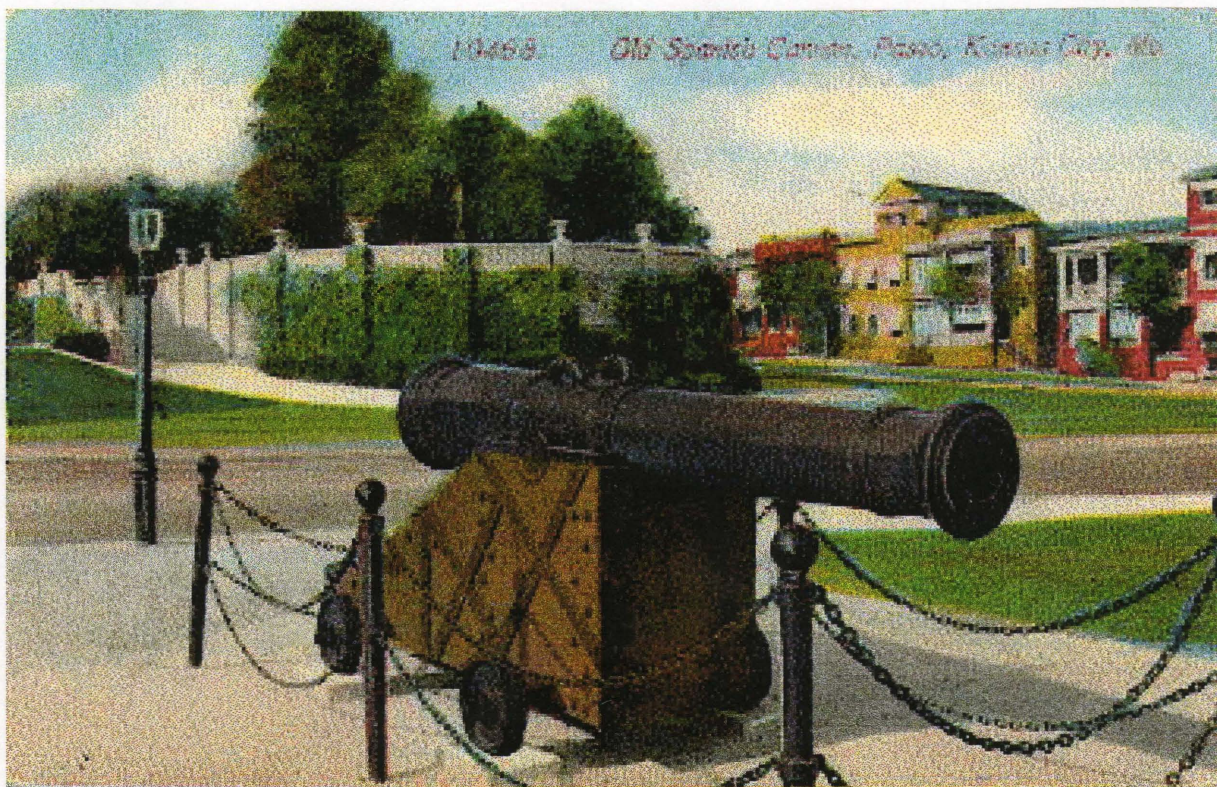
#22

#### CONTEXT

Date unknown  
Images of Kansas City  
Kansas City Library  
The church has been demolished

[Photograph Collection Home](#)





The old 11-foot-long Spanish cannon, cast in Seville, Spain, in 1865 from 6,500 pounds of bronze, with the crest of Spain inscribed near the breech and the words "Sancho El Bravo" inscribed near the muzzle, was a gift from the United States government to the Kansas City Board of Park Commissioners Aug. 22, 1899.

The cannon had been captured by the U.S. Navy the year before during the Spanish-American war, in the battle of Santiago. For years, every evening at sunset, it had been fired in a ceremony in Santiago.

After its presentation to Kansas City several locations were suggested for its placement: 15th and the Paseo, Gladstone Boulevard near Scarritt Point, 12th and the Paseo, and 9th and the Paseo. It was placed at 12th and the Paseo, as shown on the old post card, at the north end of the colorful sunken flower gardens and was pointed south. The fashionable Paseo had just been completed as far south as 17th.

The cannon still stands at the location today. All the apartments shown in the picture, some of Kansas City's finest at the time, have been razed within the last few years.

Kansas City Times  
June 29, 1974

#21

#### CONTEXT

Date unknown  
Mrs. Sam Ray's Postcard Collection  
Kansas City Library, Special Collections  
Note: Apartments on the East side of  
The Paseo were demolished through  
Urban Renewal.





The 3-story mansion of Dr. Generous L. Henderson at 1016 Paseo, built before the turn of the century of cut stone and glazed brick with terra cotta ornamentation, still stands today, and is still protected by the spikes of a tall wrought-iron fence.

Dr. Henderson is listed at the Paseo address in city directories as early as 1900. (His former home was in the Mulkey Square district.)

The Paseo residence is pictured on the old post card beyond the pergola or colonnade between the Paseo roadways.

At the rear of the Henderson place was the stone barn and carriage house, large enough for several horses and vehicles.

The Neo-Palladian style home was designed by Rudolph Markgras. Notable in the interior are the pastel shaded ceilings of the drawing room and parlor, which are still in good condition. They are described by James Ryan, a curator of the Kansas City Museum, as "tinted ornamental plasterwork in Louis XV style, featuring a scallop shell and white blossoms." The same design is carried out on the front of the fireplace.

The monumental mahogany staircase, with classical balustrade, leads up from the entrance hall and features a "musician's gallery" in the bay window at the first landing.

Isadore Chinn of Higginsville, Mo., present owner, rents out rooms in the once fashionable mansion.

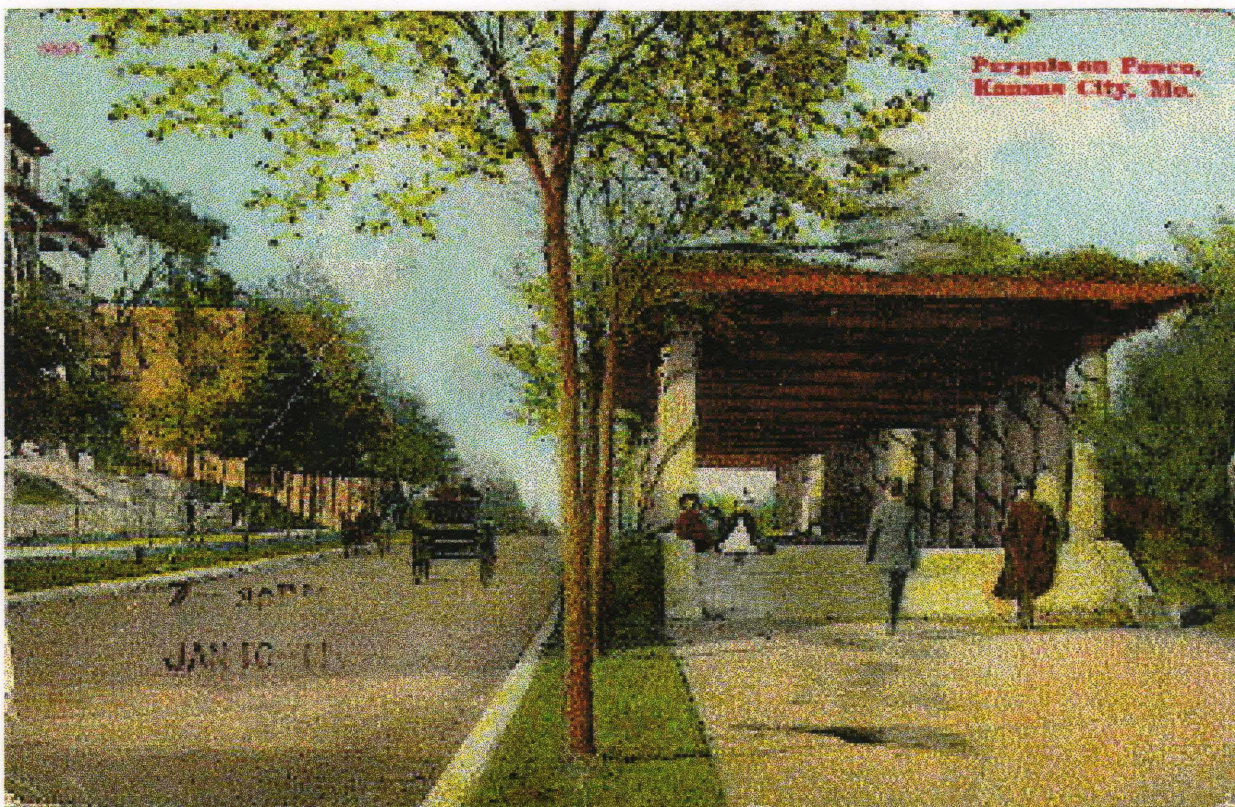
Kansas City Times  
April 13, 1974

#19

#### CONTEXT

Date unknown  
Mrs. Sam Ray's Postcard Collection  
Kansas City Library, Special Collections  
The Henderson Home is listed on  
the National Register.





A spring scene is shown on this 1910 post card of the pergola on the Paseo.

A high-seated motor car and a horse and buggy are the only traffic on the fashionable boulevard.

Minutes of a park board meeting of Aug. 24, 1898, show the city engineer was instructed to have "foundation for peers for arbor or pergola built between 10th Street and 11th Street in the Paseo."

After advertisements were circulated for bids for material and labor "to be performed in the execution and completion of terra cotta cut stone and timber pergola," a contract was awarded George W. Goodlander, Aug. 2, 1899. Sidewalks, trees, vines and other plantings completed the project.

In 1971, almost 80 years later, the park board built a new overhead trellis in concrete, using the old wood beams as forms. They also replaced broken or damaged sidewalks and steps. This spring new plants and vines will be planted to complete the restoration of the early day landmark.

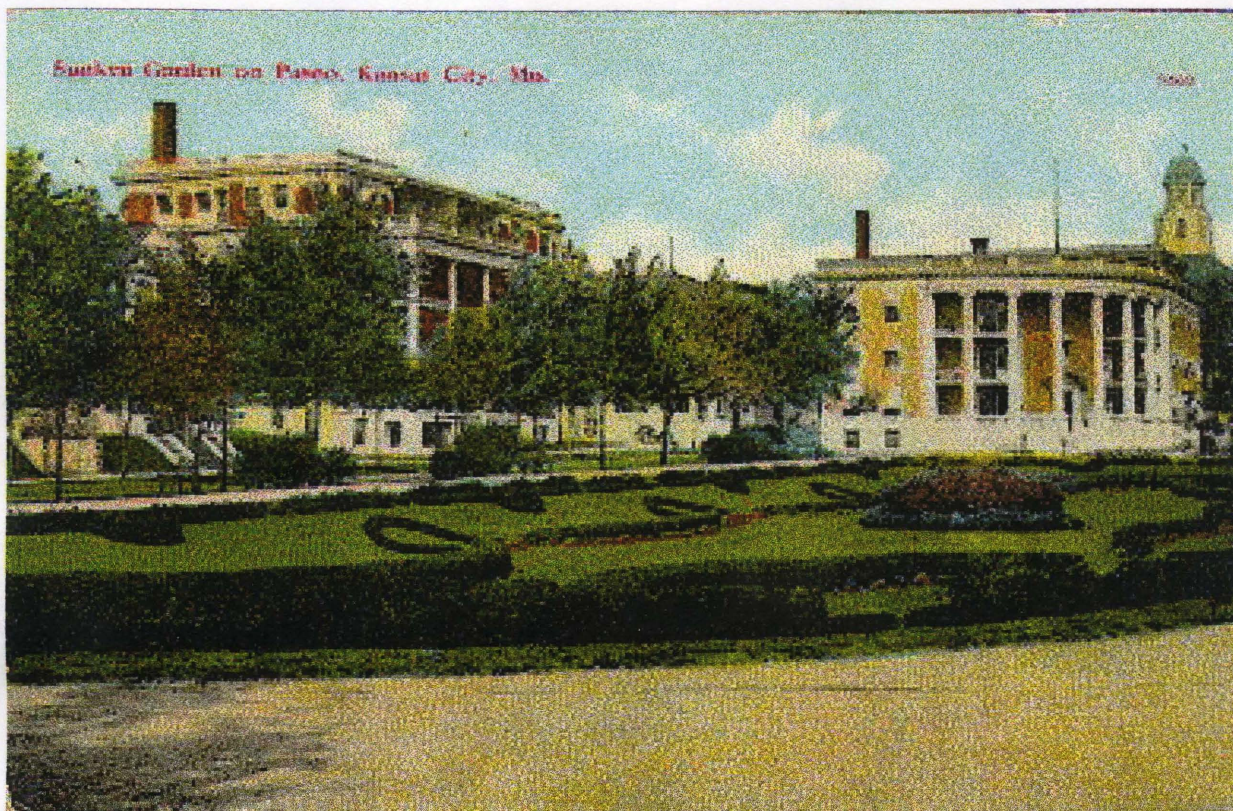
Kansas City Times  
April 28, 1978

#20  
1910

#### CONTEXT

Mrs. Sam Ray's Postcard Collection  
Kansas City Library, Special Collections





The New York apartments at the northwest corner of 12th and the Paseo, shown at the right side of the post card, served a quality clientele early in this century, and the sturdy building with the rounded façade and eight tall Ionic columns became a landmark.

This apartment house was one of the four pictured in Emery-Bird-Thayer's 24-page 1908 brochure extolling the beauty spots and accomplishments of Kansas City at the time. (Other apartments pictured were the Elsmere, the Eleanor and the Maryland.)

In the foreground are the carefully landscaped sunken gardens of the park board, their pride, as was all of the Paseo, Kansas City's finest and longest of the boulevard system.

The church dome seen in the background, is that of the newly finished central Methodist Church at 11th and the Paseo. It seated 2,500 persons and was one of the largest and best-equipped in the city.

Today fire and age show their scars on the aristocratic old New York apartment house. Only two of the stately pillars remain in place and they are cracked, unpainted and without a roof above them.

Other old homes and apartments directly east across the street on Paseo have been razed as part of the 12th and Vine urban renewal project which extends from the Paseo east to Woodland, and from 9th to 12th.

The post card was printed in color by Paul Eskenasay, 107 W. 9th, Kansas City.

Kansas City Times  
February 26, 1972

#18

#### CONTEXT

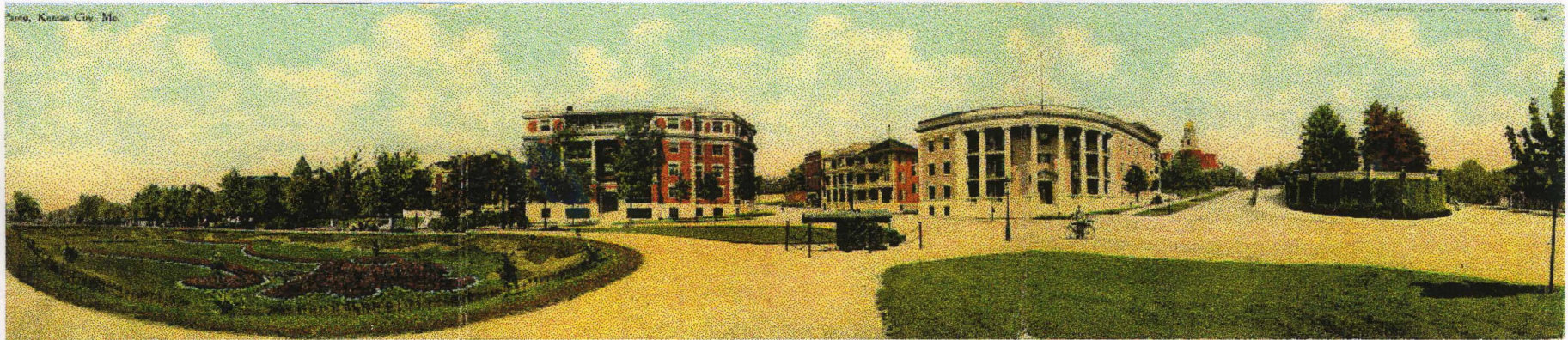
Date unknown

Mrs. Sam Ray's Postcard Collection

Kansas City Library, Special Collections

Note: the New York Apartments have since been demolished





Sunken flower gardens, an old Spanish cannon, the Central Methodist South Church (in background) and two fine apartment buildings are pictured on the triple post card panorama showing the Paseo at the turn of the century.

The Circle apartment (left center), built in 1905 and the New York (with tall columns), 1906, are still standing.

The apartments are typical of those built in Kansas City at this time with large open porches.

John W. McKecknie, well-known Kansas City architect of the period, in an interview May 16, 1900, discussing Kansas City apartments, commented: "The porches of necessity are a dominating feature of the modern flat in this climate."

Recently the Paseo roadway between 11th and 13th was relocated so that the sharp turn at the vine-covered retaining wall at 12th could be eliminated.

New sidewalks, curbs, traffic lights and traffic islands have been installed. The cannon was moved 50 feet east and the old sunken gardens were leveled and regraded for new landscaping.

Kansas City Times  
January 11, 1975

#17

#### CONTEXT

Date unknown

Mrs. Sam Ray's Postcard Collection

Kansas City Library, Special Collections

Note: the New York Apartments have since been demolished



#15  
1/00

CONTEXT  
1200 Paseo  
Spanish cannon in foreground



#16  
1/00

CONTEXT  
1300 and 1304 Paseo (L to R)  
with gardens in 1200 block in  
foreground







#13  
1/00

CONTEXT  
1100 block of Paseo with  
The Terrace in foreground  
1116, 1106 & 1100 Paseo  
in background



#14  
1/00

CONTEXT  
1200 block of Paseo  
Fitzsimons Memorial at 11th  
1200, 1116, 1106, 1100  
Paseo (L to R in background)



#11  
1/00

CONTEXT  
The Pergola  
in the 1000 block of Paseo  
Henderson Home (1016 Paseo)  
& 1000 Paseo in background



#12  
1/00

CONTEXT  
1000 block of Paseo  
Henderson Home (1016 Paseo)  
and 1000 Paseo







#9  
1/00

CONTEXT  
900 block of Paseo from  
Women's Leadership Fountain  
930, 928, & 924 Paseo in  
background



#10  
1/00

CONTEXT  
August R. Meyer Memorial  
at 10th & Paseo  
930, 928, & 924 Paseo in  
background



#7  
1/00  
CONTEXT  
12th and Paseo (SW corner)  
1200 Paseo



#8  
1/00  
CONTEXT  
13th & Paseo (SW corner)  
1304 and 1300 Paseo (L to R)







#5  
1/00  
CONTEXT  
1100 Block of Paseo  
1106 and 1100 Paseo (L to R)



#6  
1/00  
CONTEXT  
1100 Block of Paseo  
1116 Paseo (foreground)





#10 1304 PASEO  
"Typical" Apartment interior



#9 1304 PASEO  
"Typical" Apartment interior





#7 1304 PASEO  
1/00 Interior stairway

#8 1304 PASEO  
1/00 "Typical" interior door/surround





#6 1304 PASEO  
Porch/entry detail  
(east elevation)



#5 1304 PASEO  
Cornice detail  
(East elevation)



#4 1304 PASEO  
1/00 West (rear) elevation



#3 1304 PASEO  
1/00 North (side) elevation  
from NE corner of building







#2 1300 PASEO  
South (side) elevation  
from SE corner of building



#1 1304 PASEO  
East (front) elevation



## Images of Kansas City

Photographs Postcards Maps Biographies Exhibits

### Photographs

Cars in procession moving southward along the Paseo at 14th. 1923  
Harding visible.



**Location:**  
Parades--Presidential--Harding  
#3

Negative Number: V-2316  
Dimensions: 8x10  
Identifier Number: 10005521

**Related Subjects:**  
[Presidential Parade](#)  
[Paseo](#)  
[14th Street](#)

#13 1300 PASEO  
1923 Images of Kansas City  
Kansas City Public Library

[Photograph Collection Home](#)



# MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Lovett	
2. COUNTY Jackson		5. OTHER NAME(S) The Missouri Apartments	
3. LOCATION OF NEGATIVES			

6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS  1304-06 The Paseo Boulevard	16. THEMATIC CATEGORY  17. DATE(S) OR PERIOD 1901	28. NO. OF STORIES 3-1/2 29. BASEMENT YES (X) NO ( ) full 30. FOUNDATION MATERIAL natural faced, random coursed stone
7. CITY OR TOWN IF RURAL, VICINITY Kansas City	18. STYLE OR DESIGN Neo-Classical Colonnaded Apartment Bldg.	31. WALL CONSTRUCTION brick
8. DESCRIPTION OF LOCATION East 109.75 feet of Lot 17, South 10 feet of West 27 feet of Lot 17, East 109.75 feet of Lot 18; Block 2, Munford & Francher's Addition. (1300-02 & 1304-06 Paseo are combined in one legal description. See Attached Map.	19. ARCHITECT OR ENGINEER unknown 20. CONTRACTOR OR BUILDER Walter M. Davis	32. ROOF TYPE AND MATERIAL flat - membrane 33. NO. OF BAYS FRONT 3 SIDE 3
9. COORDINATES UTM LAT LONG	21. ORIGINAL USE, IF APPARENT Apartments 22. PRESENT USE Apartments	34. WALL TREATMENT running bond brick 35. PLAN SHAPE rectangular - short facade
10. SITE ( ) STRUCTURE ( ) BUILDING (X) OBJECT ( )	23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	36. CHANGES ADDITION ( ) (EXPLAIN IN ALTERED (X) NO. 42) MOVED ( )
11. ON NATIONAL YES ( ) REGISTER? NO ( )	24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	37. CONDITION INTERIOR fair - good EXTERIOR good
12. IS IT YES ( ) ELIGIBLE NO ( )	25. OPEN TO PUBLIC YES ( ) NO (X)	38. PRESERVATION YES ( ) UNDERWAY? NO (X)
13. PART OF ESTAB. YES ( ) HIST. DISTRICT NO (X)	26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	39. ENDANGERED? YES (X) BY WHAT? NO ( ) blighted area, lack of maintenance
14. DISTRICT YES (X) POTENTIAL NO ( )	27. OTHER SURVEYS IN WHICH INCLUDED	40. VISIBLE FROM YES (X) PUBLIC ROAD NO ( )
15. NAME OF ESTABLISHED DISTRICT	41. DISTANCE FROM AND FRONTAGE ON ROAD	

42. FURTHER DESCRIPTION OF IMPORTANT FEATURES  
 The central bay of the east facade is a full-height projecting porch with brick and wooden columns and projecting cornices. The original wooden porch railings were replaced with metal in 1975 to meet life-safety codes. There are four glazed brick (white) pilasters at the east facade. The brick at the first floor is banded in alternating courses of buff brick and white glazed brick. The glazed brick is used to create a corbelled

PHOTO MUST  
BE PROVIDED

43. HISTORY AND SIGNIFICANCE  
 This colonnaded apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9<sup>th</sup> Street and 14<sup>th</sup> Street through the construction of elite apartment housing in the years 1901 through 1913. See historic context for the proposed district.

A 1901 water permit identifies Walter M. Davis as owner of the property. Landmarks Commission records identify Walter Davis also as the builder of 1300 and 1304 Paseo. Mr. Davis was also the owner of the Maryland Apartments at 930 Paseo in 1901 and the Alameda/Parkview Hotel at 1000 Paseo in 1912.

44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS  
 The primary facade faces The Paseo. There is a small lawn between the building and the sidewalk on the east side. The adjacent lots to the south are occupied by single-family residences. The adjacent lot north is occupied by an apartment building.

46. PREPARED BY  
 Brenda R. Spencer (785) 456-9857

45. SOURCE OF INFORMATION Water Permit #18420-1901; See Bibliography, sources: 1, 7, 9, 13, 27, 29, 31, & 32.

47. ORGANIZATION  
 for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.

48. DATE February 2000

49. REVISION DATE(S)

RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION  
 PO BOX 176  
 JEFFERSON CITY, MO 65102  
 PH. 573-751-7858

IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM





**POLY-VU**

42.

brick cornice at the top of the east facade. Ashlar stone window sills are present on all of the double-hung windows. The second story windows on the east facade have flat ashlar lintels. The building was converted from six to twelve apartments in 1944 (Building Permit #15745-A). A 1957 building permit notes the addition of the front fire escape. The doors and windows were replaced and a fire escape was installed at the rear of the building in 1975. The interior was remodeled in 1975, but the wooden stairway and several door surrounds are extant.



#11 1300 PASEO  
"Typical" apartment interior



#12 1300 PASEO  
"Typical" interior door/surround







#9 1300 PASEO  
2nd level porch entry  
1/00 from porch



#10 1300 PASEO  
2nd level porch entry  
1/00 from interior



#7 1300 PASEO  
Front entrance (east elevation)  
from interior



#8 1300 PASEO  
Interior stairway







#5 1300 PASEO  
Cornice detail  
(East elevation)  
1/00



#6 1300 PASEO  
Detail east elevation  
1/00



#3  
1300 PASEO  
Porch/entry detail  
(East elevation)  
1/00



#4  
1300 PASEO  
North (side) elevation &  
West (rear) elevation  
from NW corner of building  
1/00







#2 1300 PASEO  
1/00 South (side) elevation  
from SE corner of building



#1 1300 PASEO  
1/00 East (front) elevation



## MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Thomas	
2. COUNTY Jackson		5. OTHER NAME(S) The Maine Apartments and The Missouri Apartments (along w/ 1304 Paseo)	
3. LOCATION OF NEGATIVES			
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS  1300-02 The Paseo Boulevard		16. THEMATIC CATEGORY	
7. CITY OR TOWN IF RURAL, VICINITY Kansas City		17. DATE(S) OR PERIOD 1901	
8. DESCRIPTION OF LOCATION East 109.75 feet of Lot 17, South 10 feet of West 27 feet of Lot 17, East 109.75 feet of Lot 18; Block 2, Munford & Francher's Addition. (1300-02 & 1304-06 Paseo are combined in one legal description. See Attached Map.		18. STYLE OR DESIGN Neo-Classical Colonnaded Apartment Bldg.	
9. COORDINATES UTM LAT LONG		19. ARCHITECT OR ENGINEER unknown	
10. SITE ( ) STRUCTURE ( ) BUILDING (X) OBJECT ( )		20. CONTRACTOR OR BUILDER Walter M. Davis	
11. ON NATIONAL REGISTER? YES ( ) NO ( )		21. ORIGINAL USE, IF APPARENT Apartments	
12. IS IT ELIGIBLE YES ( ) NO ( )		22. PRESENT USE Apartments	
13. PART OF ESTAB. HIST. DISTRICT YES ( ) NO (X)		23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
14. DISTRICT POTENTIAL YES (X) NO ( )		24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
15. NAME OF ESTABLISHED DISTRICT		25. OPEN TO PUBLIC YES ( ) NO (X)	
		26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
		27. OTHER SURVEYS IN WHICH INCLUDED	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The central bay of the east facade is a full-height projecting porch with wooden Doric columns and pediments with projecting cornices. The original wooden porch railings were replaced with metal in 1975 to meet life-safety codes. There are four glazed brick (white) pilasters at the east facade. The brick at the first floor is corbelled to resemble quoins at the building corners. There is a projecting wooden cornice on the east and		28. NO. OF STORIES 3-1/2	
		29. BASEMENT YES (X) NO ( ) full	
		30. FOUNDATION MATERIAL natural faced, coursed rubble stone	
		31. WALL CONSTRUCTION brick	
		32. ROOF TYPE AND MATERIAL flat - membrane	
		33. NO. OF BAYS FRONT 3 SIDE 4	
		34. WALL TREATMENT Flemish bond brick	
		35. PLAN SHAPE rectangular - short facade	
		36. CHANGES ADDITION ( ) (EXPLAIN IN ALTERED (X) NO. 42) MOVED ( )	
		37. CONDITION INTERIOR good EXTERIOR fair-good	
		38. PRESERVATION UNDERWAY? YES ( ) NO (X)	
		39. ENDANGERED? YES (X) NO ( ) BY WHAT? blighted area, lack of maintenance	
		40. VISIBLE FROM PUBLIC ROAD YES (X) NO ( )	
		41. DISTANCE FROM AND FRONTAGE ON ROAD	
43. HISTORY AND SIGNIFICANCE This colonnaded apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9 <sup>th</sup> Street and 14 <sup>th</sup> Street through the construction of elite apartment housing in the years 1901 through 1913. See historic context for the proposed district. A 1901 water permit identifies Walter M. Davis as owner of the property. Landmarks Commission records identify Walter Davis also as the builder of 1300 and 1304 Paseo. Mr. Davis was also owner of the Maryland Apartments at 930 Paseo in 1901 and the Alameda/Parkview Hotel at 1000 Paseo in 1912. This apartment building was identified as The Maine Apartments on the 1901 water permit and in the 1905 Hoyer's Kansas City Blue Book and Club Directory. However, the 1907 Tuttle and Pike Atlas of Kansas City identified 1300 and 1304 Paseo together as The Missouri Apartments.		PHOTO MUST BE PROVIDED	
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The primary facade faces The Paseo. The secondary facade on the north faces 13 <sup>th</sup> Street. There is a small lawn between the building and the sidewalk on the east side. The north facade abuts the sidewalk. Several lots to the north of 13 <sup>th</sup> Street are vacant. The adjacent lot south is occupied by an apartment building.			
45. SOURCE OF INFORMATION Water Permit 18420-1901; See Bibliography, sources: 1, 4, 7, 9, 13, 23, 29, 31, & 32.		46. PREPARED BY Brenda R. Spencer (785) 456-9857	
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION PO BOX 176		47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.	
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM		48. DATE February 2000	
JEFFERSON CITY, MO 65102 PH. 573-751-7858		49. REVISION DATE(S)	

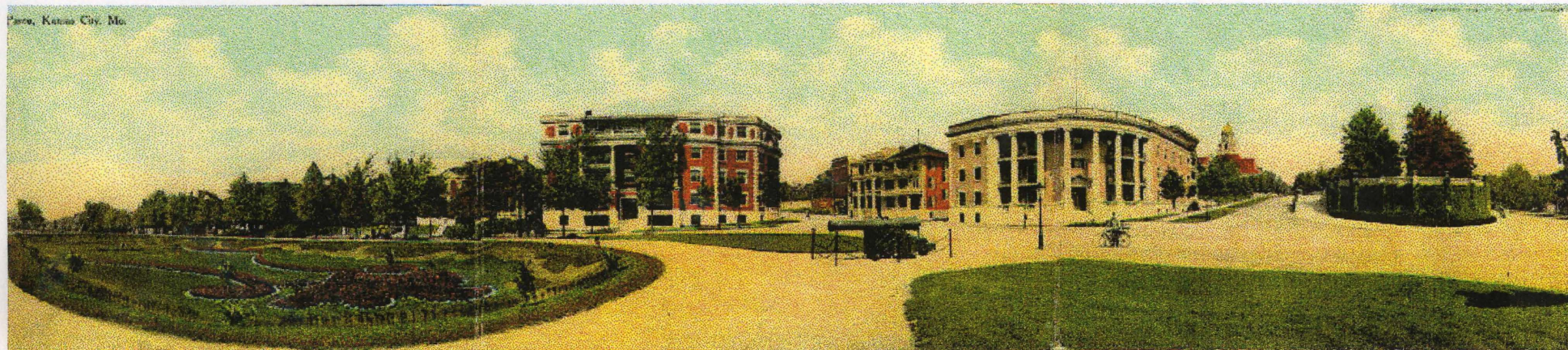


## **1300 PASEO - CONTINUATION SHEETS**

### **42. FURTHER DESCRIPTION OF IMPORTANT FEATURES - Continued**

north sides of the parapet wall. Ashlar stone window sills and flat arch lintels with keystones ornament the windows on the east and north facades. Ashlar sills are present on all other double-hung windows. The building was converted from six to twelve apartments in 1944 (Building Permit #15744A). The doors and windows were replaced and a fire escape was installed at the rear of the building in 1975. The interior was remodeled in 1975, but the original stairway with newels and railings and several door surrounds are extant.





#13

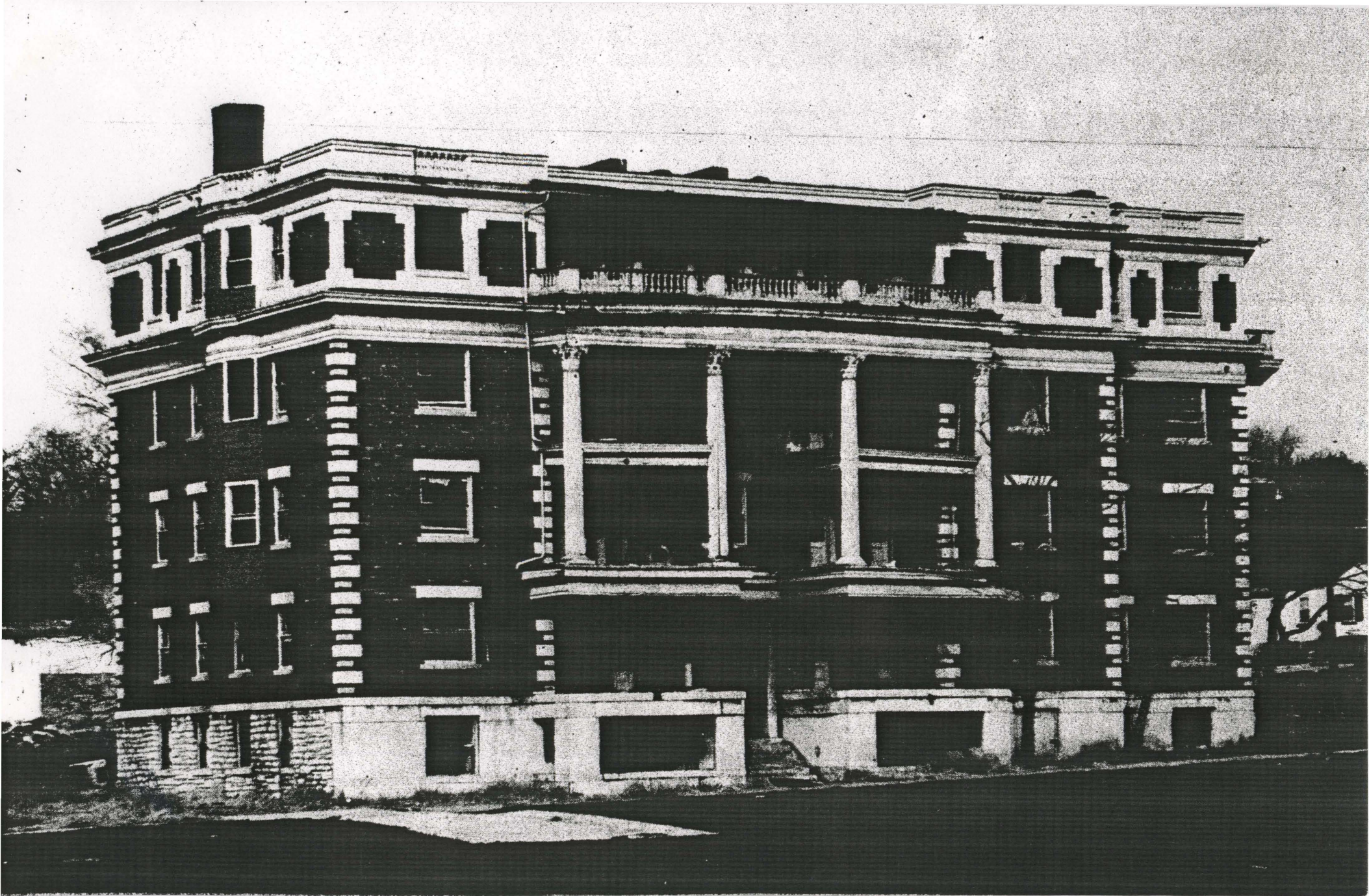
1200 PASEO (The Circle Apts)

Date unknown

Mrs. Sam Ray's Postcard Collection  
Kansas City Library, Special Collections

Note: the New York Apartments have  
since been demolished





#14 1200 PASEO  
1975 Source: 1975 Drawings  
for HUD remodeling  
William Johnson, Architect



#11 1200 PASEO  
1/00 Basement



#12 1200 PASEO  
1/00 Sub-basement







#9 1200 PASEO  
"Typical" apartment interior



#10 1200 PASEO  
Interior stairway



#7 1200 PASEO  
Tile at building entrance  
(East elevation)



#8 1200 PASEO  
"Typical" interior corridor







#6 1200 PASEO  
North (side) elevation  
from NW corner of building



#5 1200 PASEO  
South (side) elevation  
from SE corner



#3 1200 PASEO  
Cornice detail  
(East elevation)



#4 1200 PASEO  
West (rear) elevation







#1 1200 PASEO  
East (front) elevation  
1/00



#2 1200 PASEO  
Northeast elevation  
from NE corner of building  
1/00





THE NEW ENGLAND APARTMENT HOUSE, KANSAS CITY, MO.

EDWARDS & SUNDERLAND, ARCHITECTS.

#13 1116 PASEO  
1906 Source: Inland Architect and  
News Record, May, 1906



# MISSOURI HISTORIC PRESERVATION PROGRAM

## ARCHITECTURAL/HISTORIC INVENTORY FORM

1. NO.		4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Parkview Homes, The Cameron	
2. COUNTY Jackson		5. OTHER NAME(S) The Circle Apartments	
3. LOCATION OF NEGATIVES			

6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>49</u> RANGE <u>33</u> SECTION <u>4</u> IF CITY OR TOWN, STREET ADDRESS  1200 The Paseo Boulevard	16. THEMATIC CATEGORY  17. DATE(S) OR PERIOD circa 1902	28. NO. OF STORIES 4-1/2 29. BASEMENT YES (X) NO ( ) full + partial sub-basement (south end) 30. FOUNDATION MATERIAL ashlar coursed stone-east/north 31. WALL CONSTRUCTION brick 32. ROOF TYPE AND MATERIAL flat - membrane 33. NO. OF BAYS FRONT 4 SIDE 2 34. WALL TREATMENT running bond brick 35. PLAN SHAPE rectangular - long facade 36. CHANGES ADDITION ( ) (EXPLAIN IN ALTERED (X) NO. 42) MOVED ( ) 37. CONDITION INTERIOR fair - poor EXTERIOR fair 38. PRESERVATION YES ( ) UNDERWAY? NO (X) 39. ENDANGERED? YES (X) BY WHAT? NO ( ) blighted area, lack of maintenance 40. VISIBLE FROM YES (X) PUBLIC ROAD NO ( ) 41. DISTANCE FROM AND FRONTAGE ON ROAD
7. CITY OR TOWN IF RURAL, VICINITY Kansas City	18. STYLE OR DESIGN Neo-Classical Colonnaded Apartment Bldg.	
8. DESCRIPTION OF LOCATION Lots 11, 12 & 13, except that part in The Paseo; Block 2, East Dundee  See Attached Map	19. ARCHITECT OR ENGINEER unknown 20. CONTRACTOR OR BUILDER unknown 21. ORIGINAL USE, IF APPARENT Apartments 22. PRESENT USE Apartments	
9. COORDINATES UTM LAT LONG	23. OWNERSHIP PUBLIC ( ) PRIVATE (X)	
10. SITE ( ) STRUCTURE ( ) BUILDING (X) OBJECT ( )	24. OWNER'S NAME AND ADDRESS Jazz Hill Homes, L.P. c/o Pioneer Group, Inc.* 1200 S. Kansas Ave. Topeka, KS 66612-1331	
11. ON NATIONAL YES ( ) REGISTER? NO ( )	25. OPEN TO PUBLIC YES ( ) NO (X)	
12. IS IT YES ( ) ELIGIBLE NO ( )	26. LOCAL CONTACT PERSON OR ORGANIZATION *Ross Freeman, Pioneer Group, Inc. 785/232-1122	
13. PART OF ESTAB. YES ( ) HIST. DISTRICT NO (X)	27. OTHER SURVEYS IN WHICH INCLUDED	
14. DISTRICT YES (X) POTENTIAL NO ( )		
15. NAME OF ESTABLISHED DISTRICT		

42. FURTHER DESCRIPTION OF IMPORTANT FEATURES  
 This apartment building is a unique crescent shape. There are two full-height porches-one on the east facade and one on the north facade. The porches were modified in 1975 to meet life-safety codes. The original wooden porch columns and railings were replaced with metal on the east facade. The masonry columns at the first floor on the east facade and the substantial wooden cornices are extant. The porch on the north

43. HISTORY AND SIGNIFICANCE  
 This colonnaded apartment building is directly associated with the historically significant effort to redevelop the blighted property along The Paseo Boulevard between 9<sup>th</sup> Street and 14<sup>th</sup> Street through the construction of elite apartment housing in the years 1901 through 1913. See historic context for proposed district.

The Circle Apartments are first listed in the City Directories in 1902; however, a historic postcard identifies the date of construction as 1905 and the Landmarks Commission card file puts the date of construction at 1907. The Circle Apartment building is one of the most widely recognized buildings remaining in this area. It was frequently pictured alongside the well known New York Apartments (located on the northeast corner of 12th and Paseo and demolished since the 1975) on numerous photographs and postcards in the early twentieth century.

44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS  
 The primary facade faces The Paseo. The secondary facade on the north faces 12<sup>th</sup> Street. There is a large lawn on the east and north sides of the building. The lots between this apartment building and 13<sup>th</sup> Street to the south are vacant. The lot north of 12<sup>th</sup> Street is vacant.

PHOTO MUST  
 BE PROVIDED

45. SOURCE OF INFORMATION See Bibliography, sources: 1, 3, 4, 9, 13, 21, 23, 28, 29, 31, and 32.	46. PREPARED BY Brenda R. Spencer (785) 456-9857 47. ORGANIZATION for Jazz Hill Homes, L.P. c/o Pioneer Group, Inc. 48. DATE February 2000 49. REVISION DATE(S)
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RETURN THIS FORM WHEN COMPLETED TO : OFFICE OF HISTORIC PRESERVATION  
 PO BOX 176  
 JEFFERSON CITY, MO 65102  
 PH. 573-751-7858

IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM



## 1200 PASEO - CONTINUATION SHEET

### 42. FURTHER DESCRIPTION OF IMPORTANT FEATURES - Continued

facade is intact with the exception of replacement metal railings. Ashlar stone banding, cornices, quoins, window sills, window lintels and window enframement contribute to the architectural character of the east, south, and north facades. Fire escapes were installed at the rear of the building in 1975. The doors and windows were replaced in 1975. The interior was remodeled in 1975, but ceramic tile at the entrance and wooden stairs are extant.



#3 CONTEXT  
1/00  
1000 Block of Paseo  
Henderson Home  
1016 Paseo



#4 CONTEXT  
1/00  
11th & Paseo (NW corner)  
Liquor Store (Slated for  
condemnation and demolition)







#1      CONTEXT  
1/00      10th & Paseo (NW corner)  
930, 928 & 924 Paseo (L to R)



#2      CONTEXT  
1/00      10th & Paseo (SW Corner)  
1000 Paseo (foreground)  
1401 E. 10th Street